



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 6/30/15

Permit No.: B15002881

Building Address: 5104 Mountain Lane
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. # - SDP/WP/BA #: -
Census Tract: 605104 Subdivision: Walnut Grove
Section: - Area: - Lot: 87
Tax Map: 28 Parcel: 74 Grid: 18
Zoning: RC-DEDM Map Coordinates: 4933-J4 Lot Size: .818 ac

Existing Use: vacant building lot
Proposed Use: single family dwelling
Estimated Construction Cost: \$1,150,000.00
Description of Work: construct 2-story SFD w/finished basement + pool house per Plan and per Code
Occupant or Tenant: N/A

Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: George & Kelly Divil
Address: 2321 Boston St #6
City: Baltimore State: MD Zip Code: 21224
Phone: 410-633-2338 Fax: _____
Email: gdivil@capitolsecurities.com

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Deni Tabor c/o Ashley Custom Homes
Address: 1605 Union Ave
City: Baltimore State: MD Zip Code: 21211
Phone: 410-559-0000 Fax: 410-559-9999
Email: deni@ashleyhomes.com

Contractor Company: Ashley Custom Homes, Inc
Contact Person: Deni Tabor
Address: 1605 Union Ave
City: Baltimore State: MD Zip Code: 21211
License No.: MHDR #0126
Phone: 410-559-0000 Fax: 410-559-9999
Email: deni@ashleyhomes.com

Engineer/Architect Company: GBL Custom Home Design
Responsible Design Prof.: greg Little
Address: P.O. Box 237
City: Finksburg State: MD Zip Code: 21048
Phone: 443-250-4355 Fax: 410-833-4706
Email: GBLPLANS@AIS.NET

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>69'</u>	<u>130'</u>
Area of construction (sq. ft.):	2 nd floor: <u>66'</u>	<u>106'</u>
Use group:	Basement: <u>69'</u> <u>130'</u>	
Construction type:	<input checked="" type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input checked="" type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling	
	No. of efficiency units:	
	No. of 1 BR units:	
	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>615000218</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Deni Tabor
Applicant's Signature
deni@ashleyhomes.com
Email Address
COO, Ashley Custom Homes, Inc
Title/Company

Deni Tabor
Print Name
6/30/15
Date
RECEIVED
JUN 30 2015
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>8/11/15</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>1326</u>

Deni Tabor

From: Oswald, Hank [hoswald@howardcountymd.gov]
Sent: Thursday, July 16, 2015 3:03 PM
To: deni@ashleyhomes.com
Subject: RE: B15002881_5104 Mountain Lane

Hi Ms. Tabor:

I'm able to print copies at this time. Would you be able to send an extra copy of the floor plan to me?

Thanks,

Hank

From: Deni Tabor [mailto:deni@ashleyhomes.com]
Sent: Thursday, July 16, 2015 11:52 AM
To: Oswald, Hank
Subject: RE: B15002881_5104 Mountain Lane

Hi Mr. Oswald. Per our conversation, the plans are attached.

Please confirm receipt. Thank you!
Deni Tabor

Deni Tabor
Ashley Custom Homes
1605 Union Avenue
Baltimore, MD 21211
(410) 559-0000 / (410) 559-9999 - fax
(410) 627-6287 - cell
www.ashleyhomes.com

From: Oswald, Hank [mailto:hoswald@howardcountymd.gov]
Sent: Thursday, July 16, 2015 11:26 AM
To: DENI@ASHLEYHOMES.COM
Subject: B15002881_5104 Mountain Lane

Deni Tabor:

This email is in response to building permit # B15002881. The application describes the construction of a single family dwelling, garage and pool house. Upon review of the application, the submittal did not include a copy of the floor plans for each structure. Please submit floor plans for the house, garage and pool house.

At this time, the building permit application has been placed on hold until floor plans have been submitted for review. Should you have any questions, please don't hesitate to contact me.

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
410.313.1786

Oswald, Hank

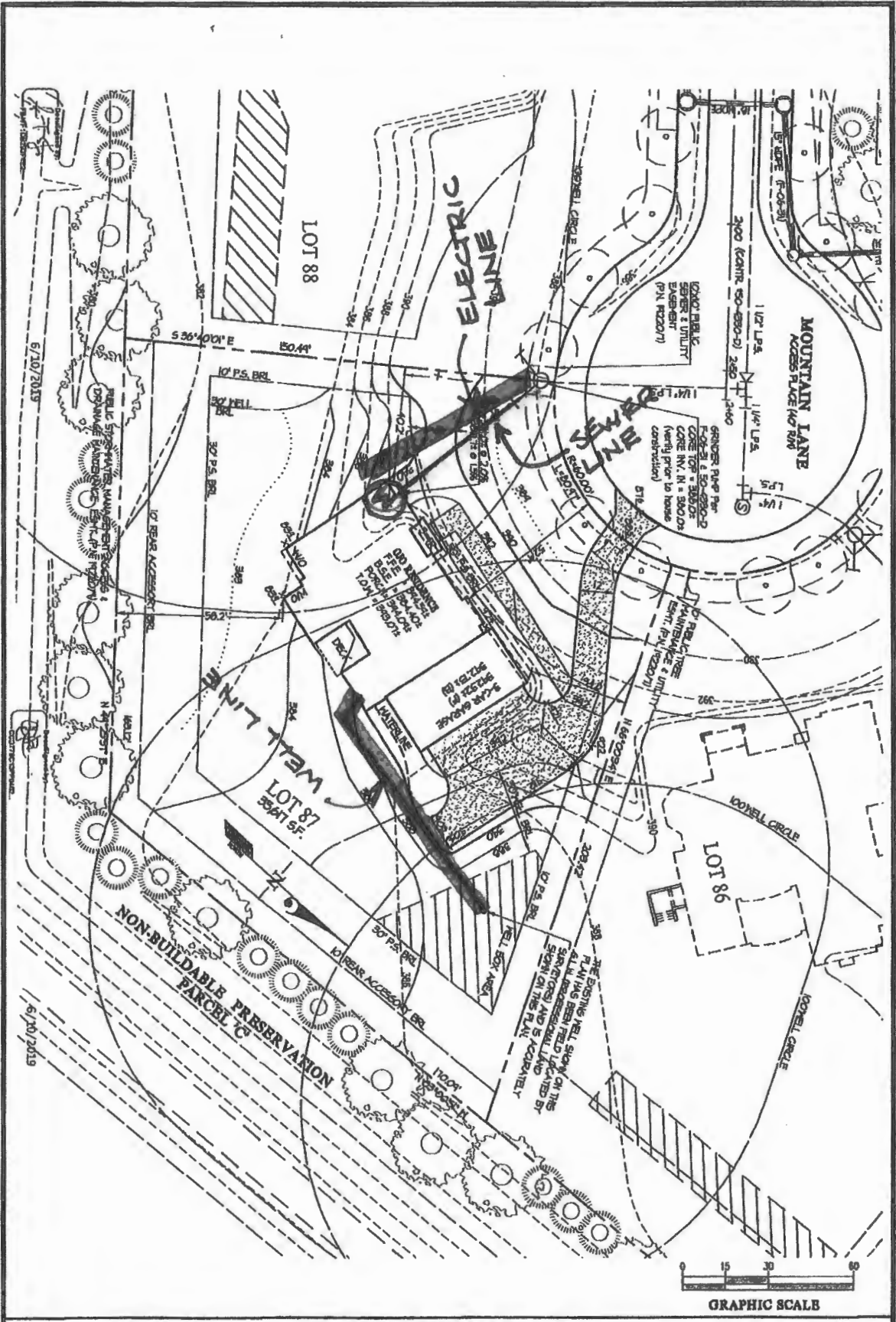
From: Oswald, Hank
Sent: Thursday, July 16, 2015 11:26 AM
To: 'DENI@ASHLEYHOMES.COM'
Subject: B15002881_5104 Mountain Lane

Deni Tabor:

This email is in response to building permit # B15002881. The application describes the construction of a single family dwelling, garage and pool house. Upon review of the application, the submittal did not include a copy of the floor plans for each structure. Please submit floor plans for the house, garage and pool house.

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Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
410.313.1786



BUILDING PERMIT PLOT PLAN

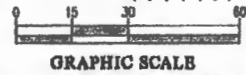
GLW
 PLANNING CONSULTANTS & ENGINEERS
 1500 W. 10th Street, Suite 100
 Lincoln, NE 68502
 Phone: 402-441-1111

DES.	
DRN.	
CHK.	

PREPARED FOR:
 CARRN CUSTOM HOMES
 10548 GORMAN ROAD
 LAUREL, MD 20723
 PH: 301-480-5317

WALNUT GROVE
LOT 87 (5104 MOUNTAIN LANE)
 PLAT No. 19226-19227

C. L. W. No.	17083
ZONING	RC-DEO
TAX MAP/GRID	28-18A17
DATE	MAY 2019
SCALE	1"=30'
SHEET	1 OF 1



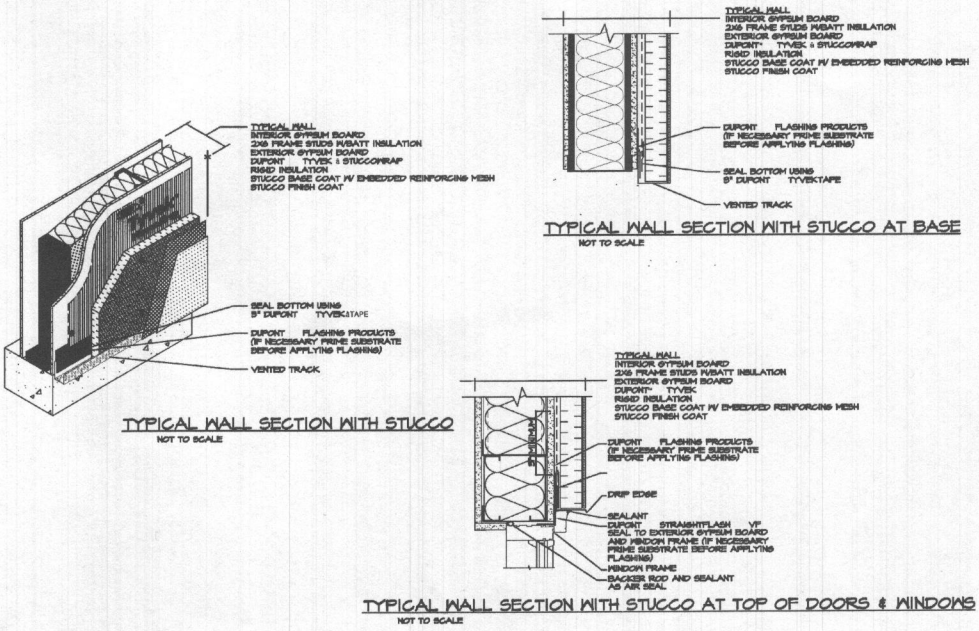
AUG 27 2023

Cairn Homes
5104 Mountain Ln
Clarksville, MD

sewer/house
connection
permit
per Spencer



FRONT ELEVATION
SCALE 3/8"=1'-0"



5104 Mountain Lane
Permit # B15002881

THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/12/2015
REVISED 11/25/2014

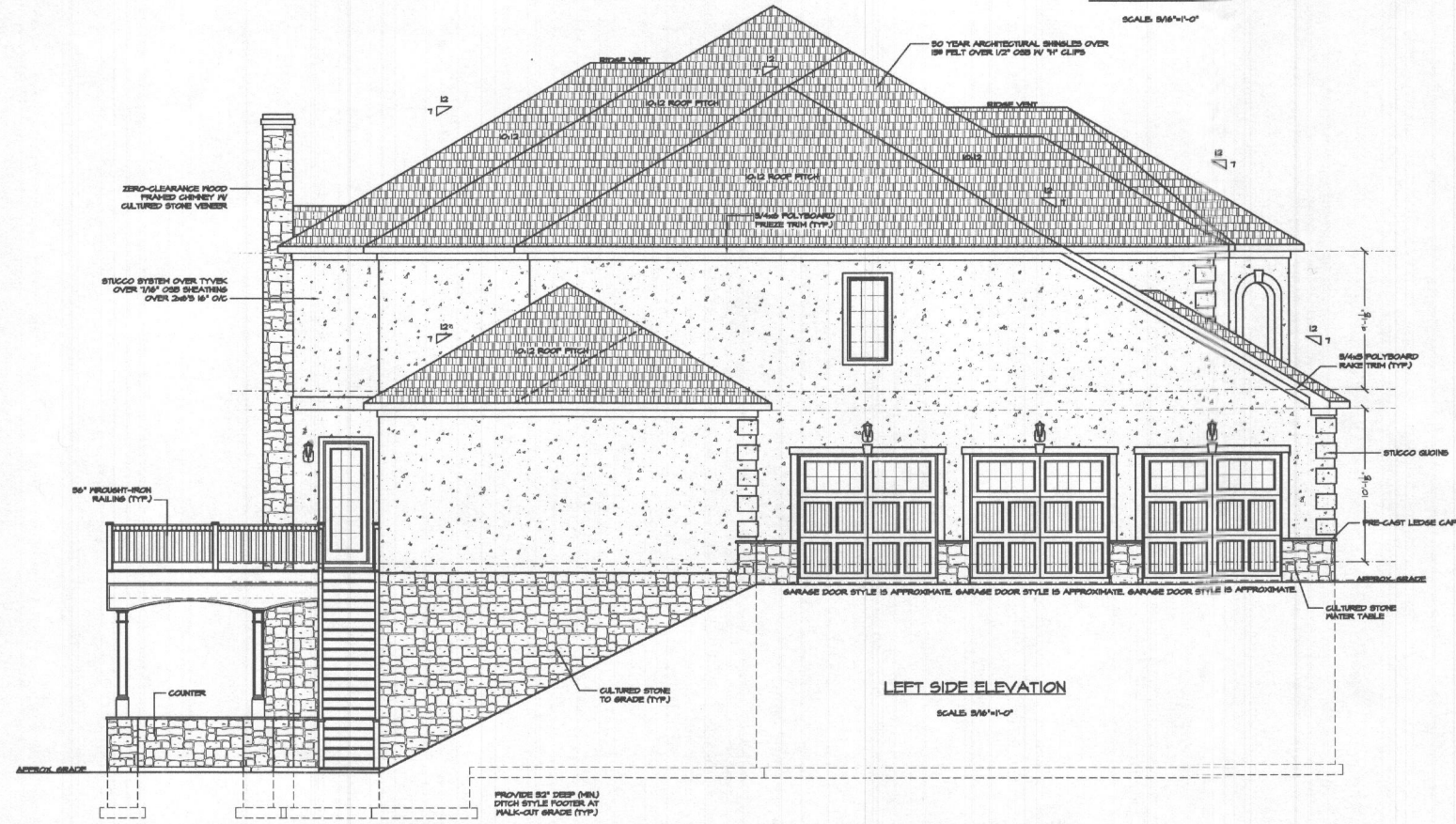
FILE: DIVEL RESIDENCE

SCALE: NOTED
DATE: 5/2014
SHEET NO.: 1

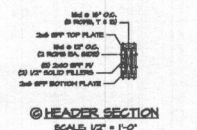
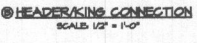
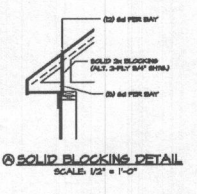
GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8330



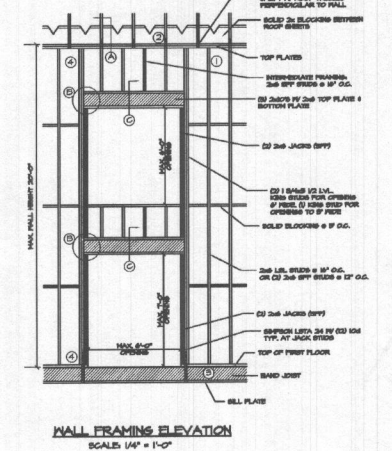
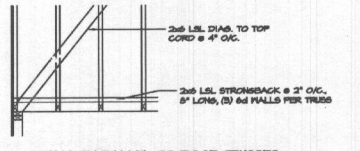
REAR ELEVATION
SCALE: 3/8"=1'-0"



LEFT SIDE ELEVATION
SCALE: 3/8"=1'-0"



- NAILING SCHEDULE:**
- 1 STUDS TO TOP & BOTTOM PLATES @ 16"
 - 2 PLATE TO PLATE, 2x4 @ 8" O.C. BY 2x4 / 2x6
 - 3 BOTTOM PLATE TO STUD, 2x4 @ 8" O.C. BY 2x4 / 2x6
 - 4 TOP PLATE TO STUD, 2x4 @ 8" O.C. BY 2x4 / 2x6
 - 5 STUDS AT ANGLES, TYP. @ 12"



WALL FRAMING ELEVATION
SCALE: AS SHOWN

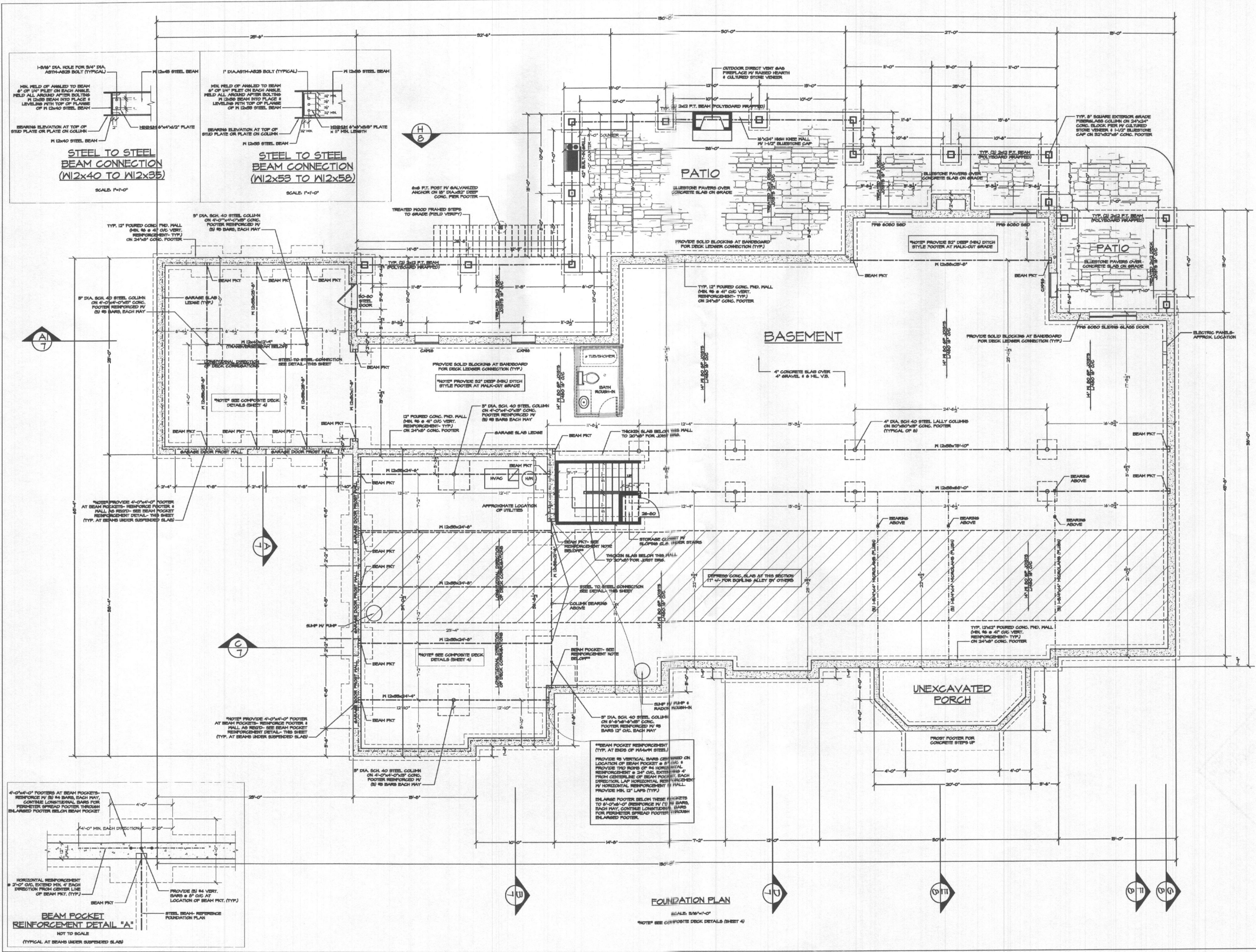
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/12/2015
REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
DATE: 5/2014
SHEET NO.: 2

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PHONE 410-833-8320



THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-9-15 PERMIT SET
 REVISED 2/5/2015
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
 DATE: 5/20/14
 SHEET NO.: 5

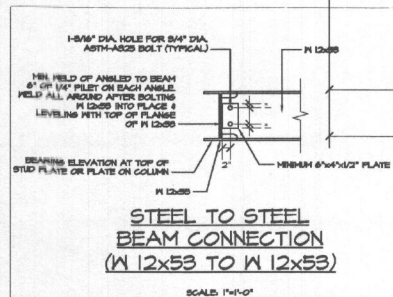
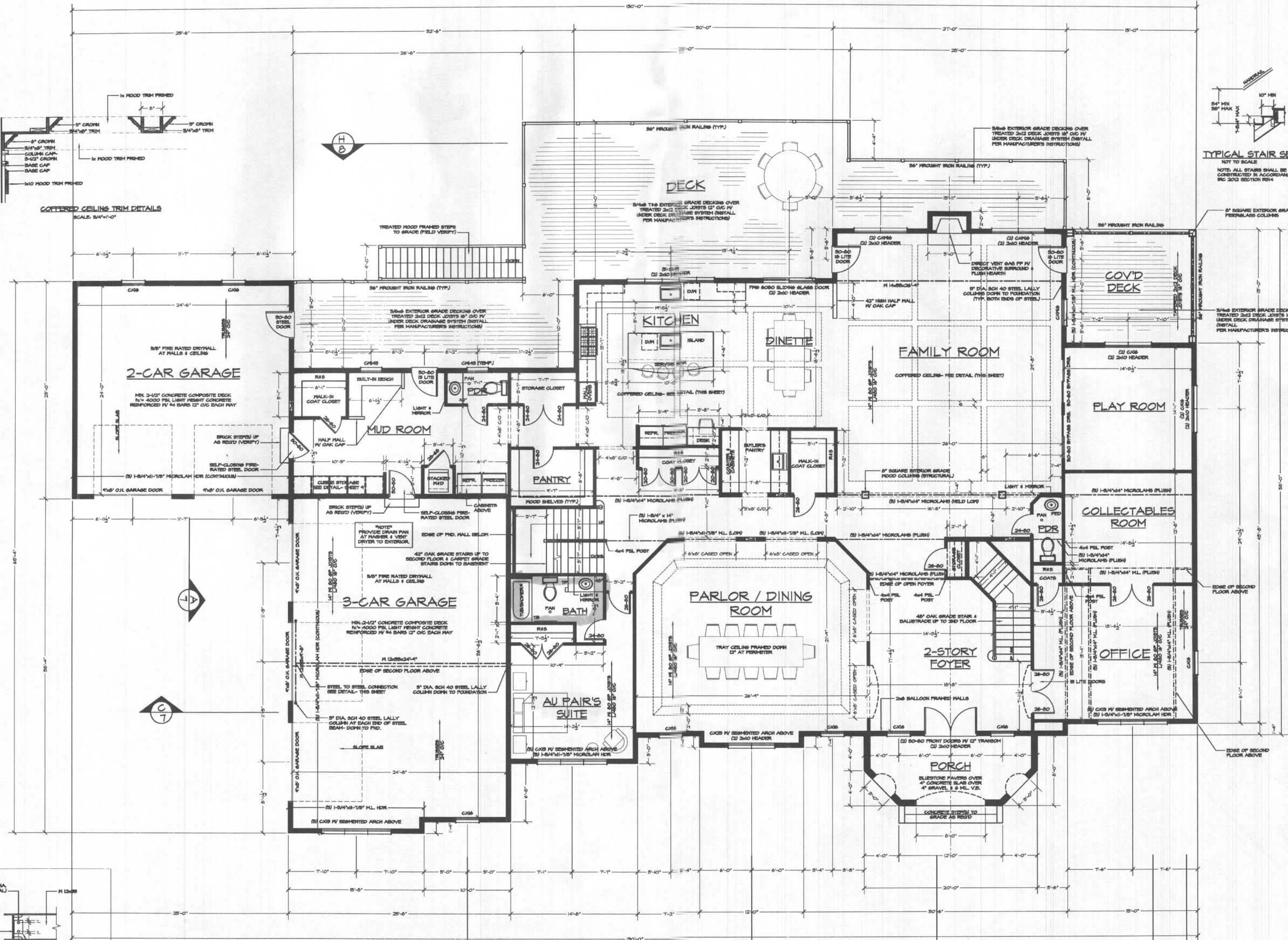
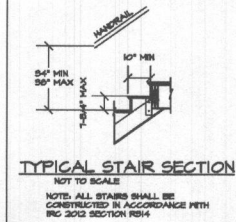
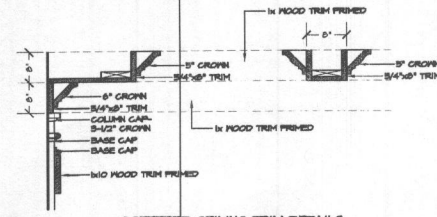
GBL CUSTOM HOME DESIGN INC.
 PO BOX 237 FINNKSBURG, MD 21046
 PHONE 410-833-8320

FOUNDATION PLAN

SCALE: 3/8"=1'-0"
 NOTES: SEE COMPOSITE DECK DETAILS (SHEET 4)

BEAM POCKET REINFORCEMENT DETAIL "A"

NOT TO SCALE
 (TYPICAL AT BEAMS UNDER SUSPENDED SLAB)



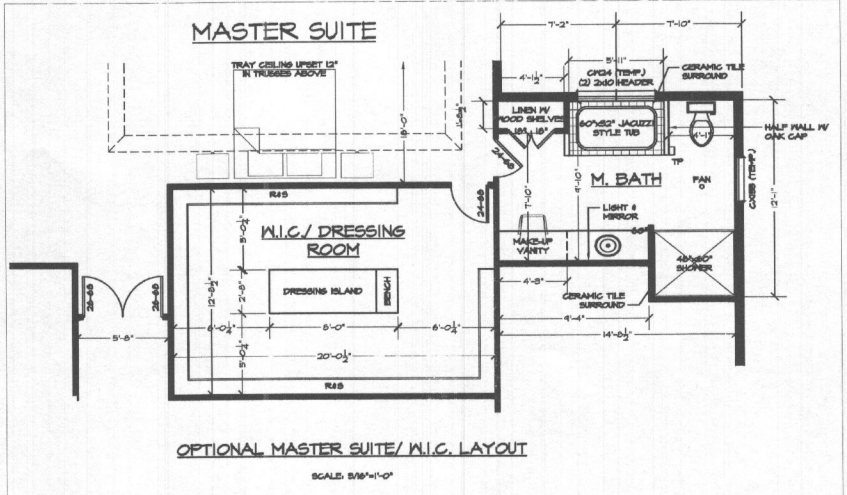
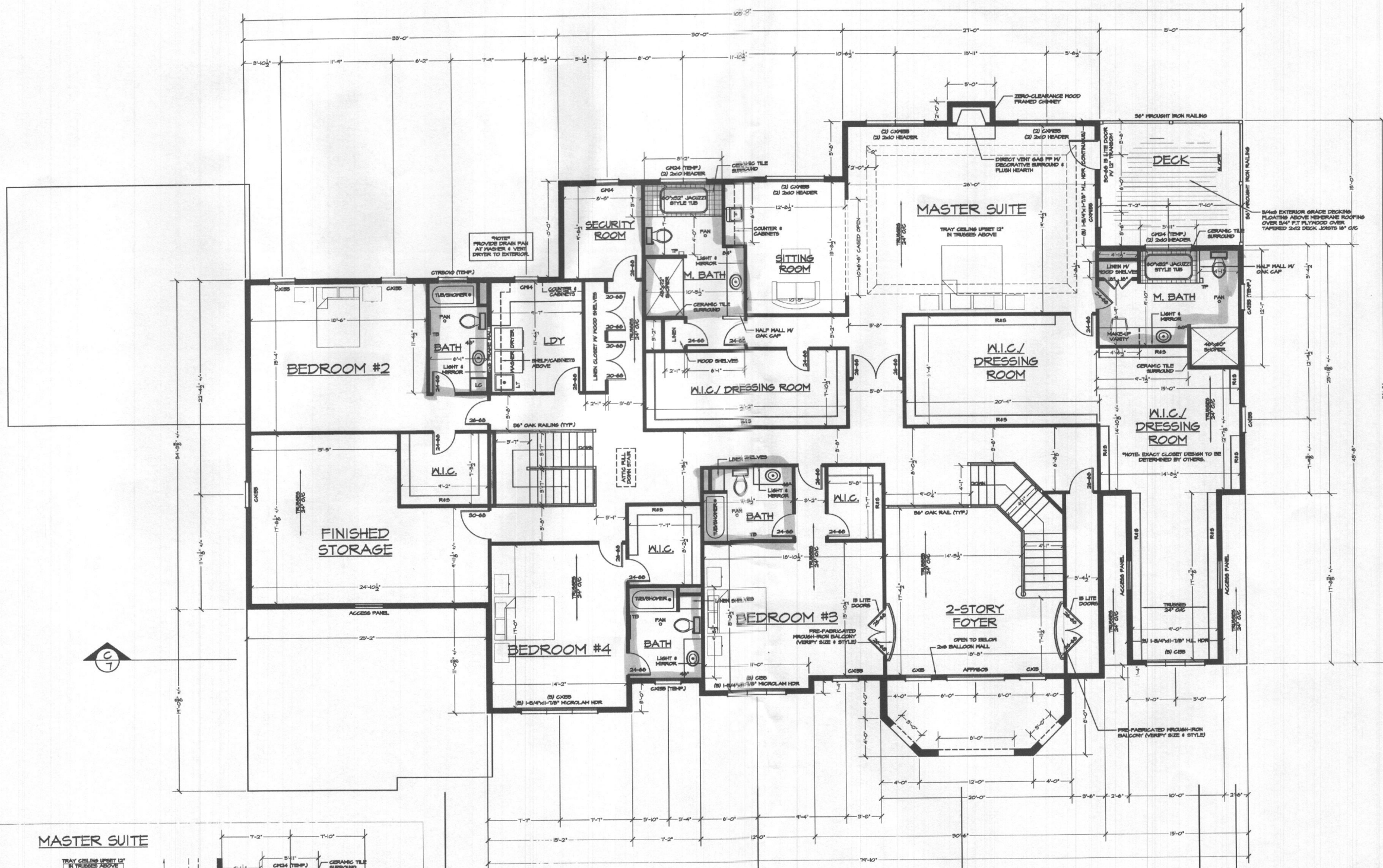
REVISED 6-3-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/2/2015
REVISED 11/25/2014

FILE: DIVEL RESIDENCE

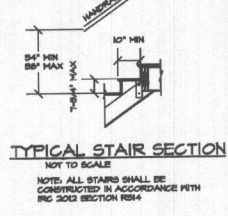
SCALE: NOTED
DATE: 5/2014
SHEET NO.: 5

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PHONE 410-833-8330

THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES



SECOND FLOOR FRAMING PLAN
 SCALE: 3/8"=1'-0"
 4° SECOND FLOOR CEILING HEIGHT
 4048 +/- FINISHED SQUARE FEET



TYPICAL STAIR SECTION
 NOT TO SCALE
 NOTE: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH IRC 2006 SECTION R304

REB.2 FINISH BILLS
 ALL FINISHES MORE THAN 12" ABOVE FINISH GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING SHALL BE A MIN. OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE FINISH IS LOCATED. SLABING BETWEEN THE FLOOR AND 24" SHALL BE FINISH OR HAVE OPENINGS THROUGH FINISH A 4" DIA. SPHERE CANNOT PASS.
 EXCEPTIONS:
 1. FINISHES MORE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPENINGS THAT ARE PROVIDED WITH FINISH GUARDS THAT COMPLY WITH ASTM F 2006 OF P 2040

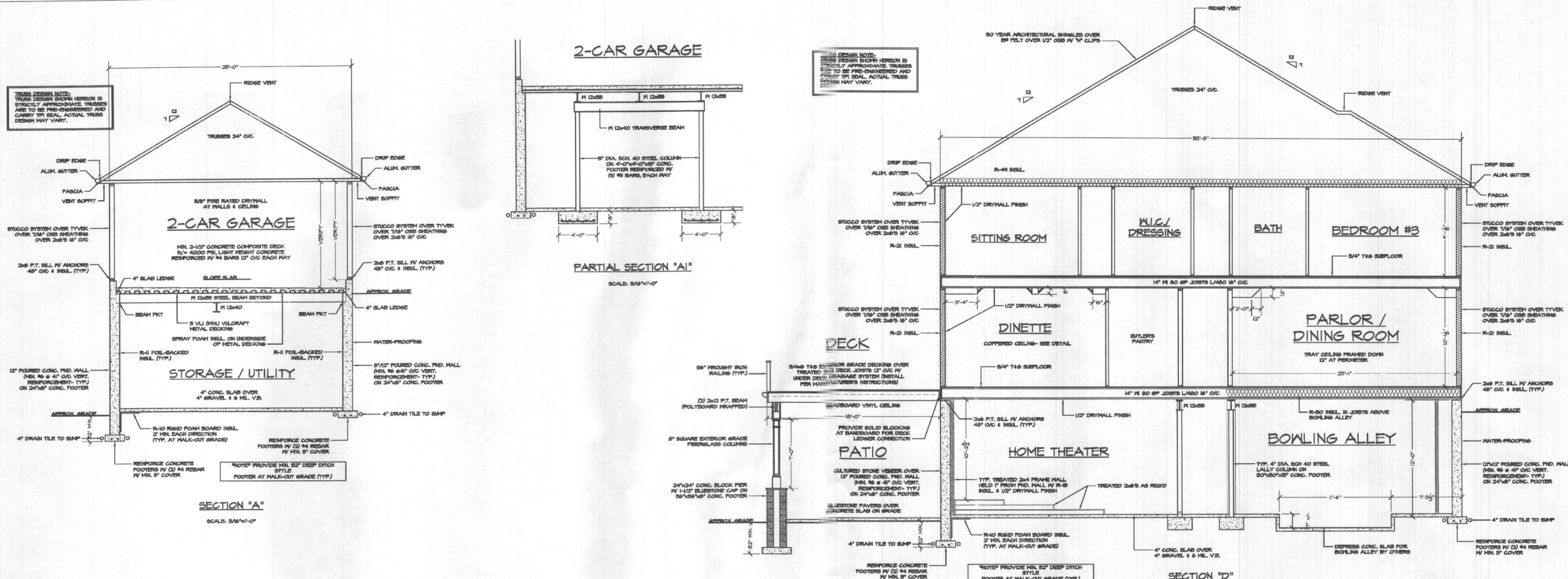
REVISED 6-3-15 PERMIT SET
 REVISED 2/5/2015
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE
 SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 6
 GBL CUSTOM HOME DESIGN INC.
 PO BOX 237 FINGERSBURG, MD 21043
 PHONE 410-833-8320

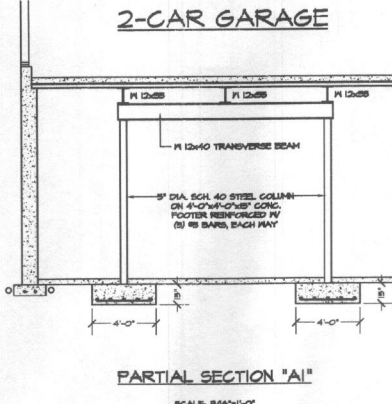
THE DIVEL RESIDENCE
 ASHLEY CUSTOM HOMES

THE DIVE! RESIDENCE

ASHLEY CUSTOM HOMES



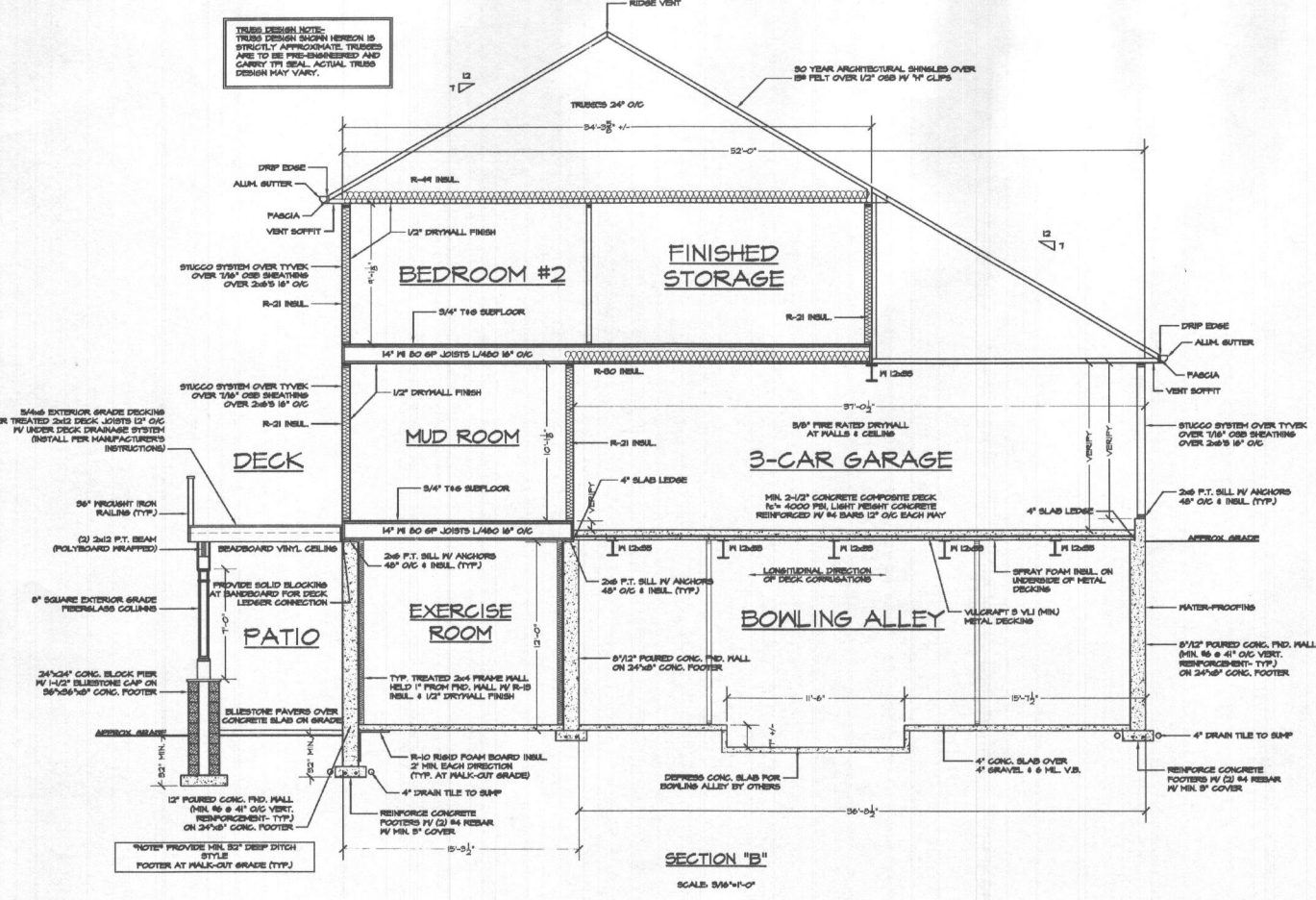
SECTION "A"
SCALE: 3/8"=1'-0"



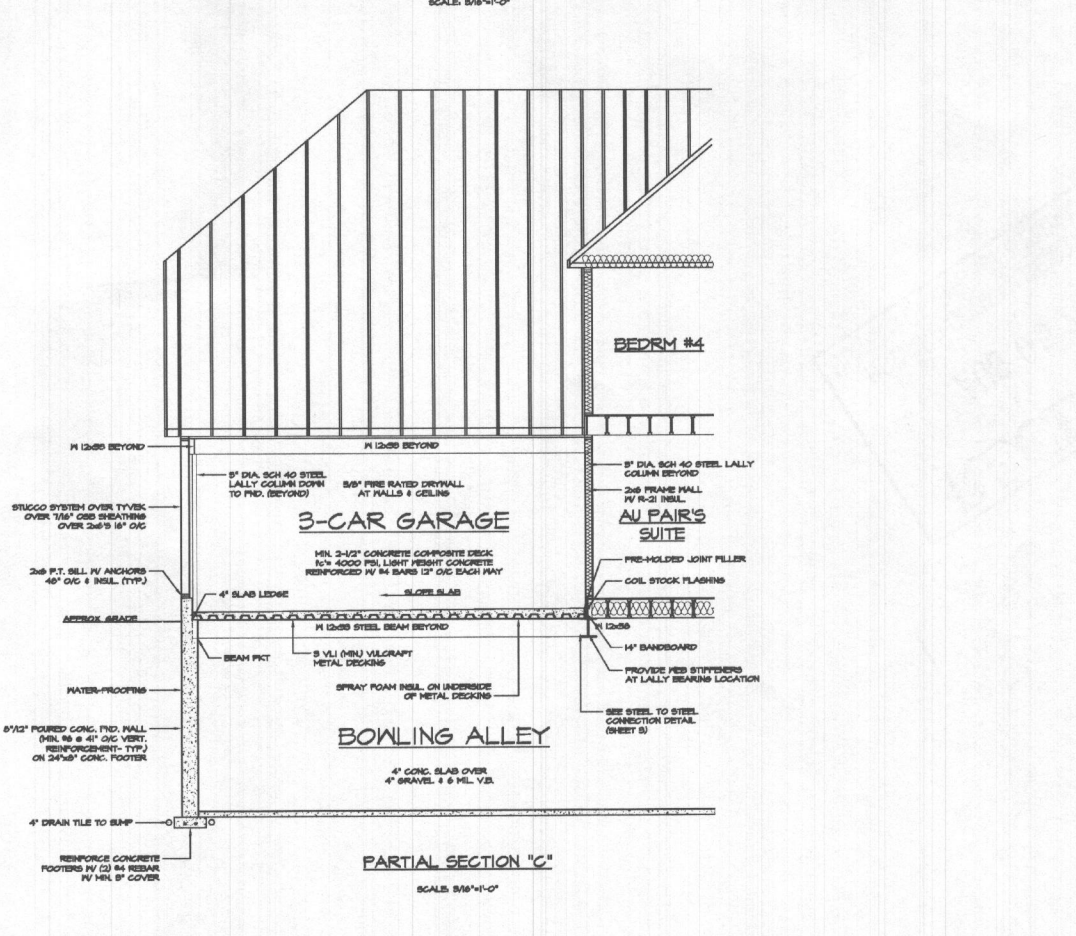
PARTIAL SECTION "A1"
SCALE: 3/8"=1'-0"

TRUSS DESIGN NOTE:
TRUSS DESIGN SHOWN HEREIN IS STRICTLY APPROXIMATE. TRUSSES ARE TO BE PRE-ENGINEERED AND VERIFY TRUSS ACTUAL TRUSS DESIGN MAY VARY.

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SECTION "B"
SCALE: 3/8"=1'-0"



PARTIAL SECTION "C"
SCALE: 3/8"=1'-0"

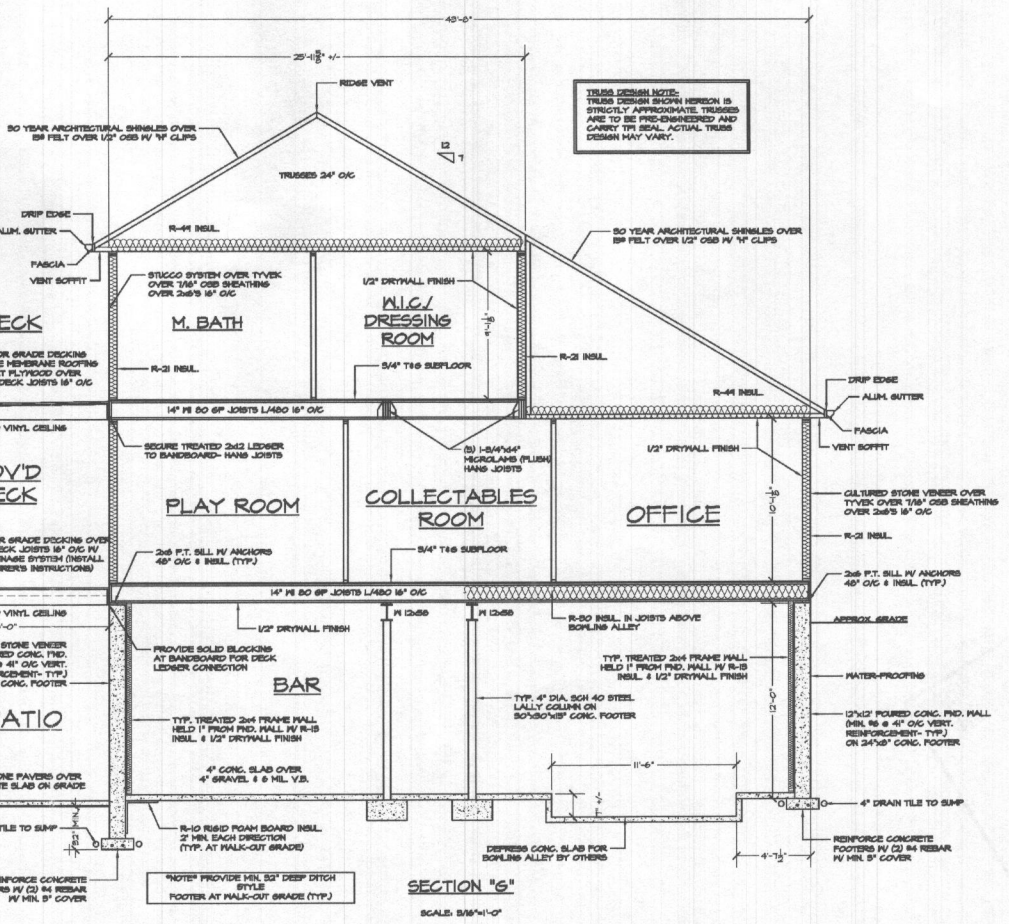
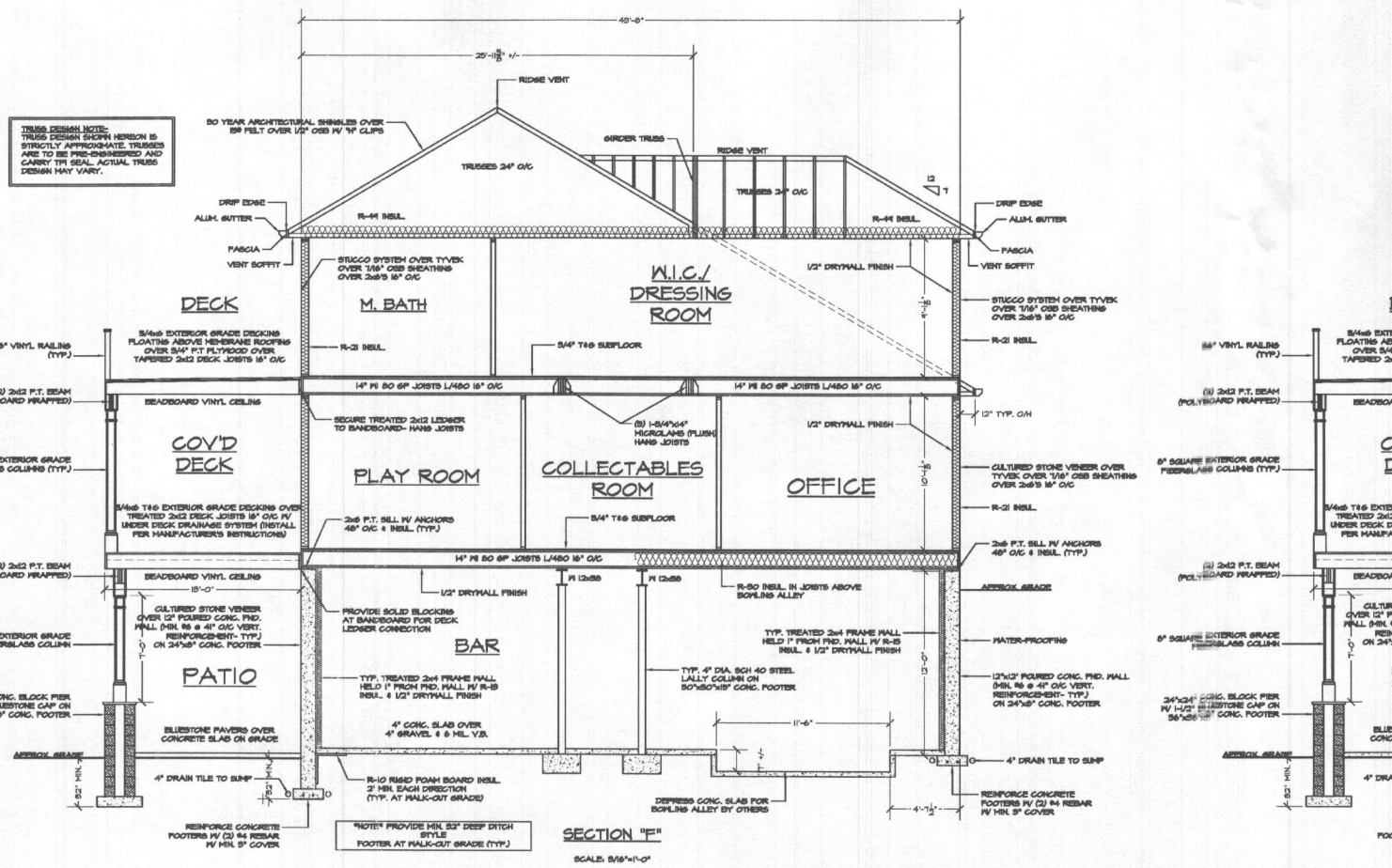
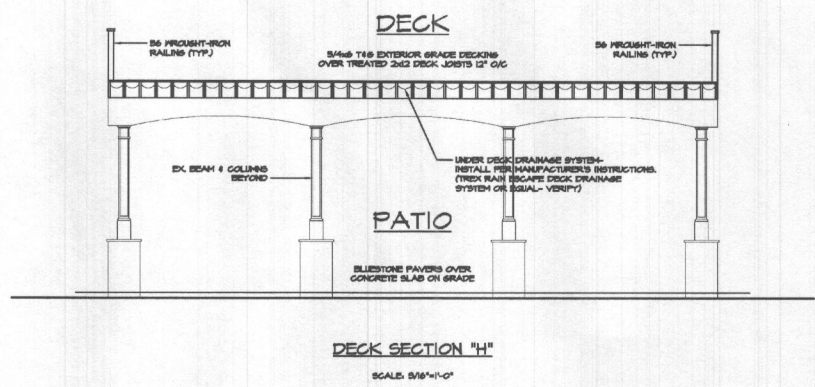
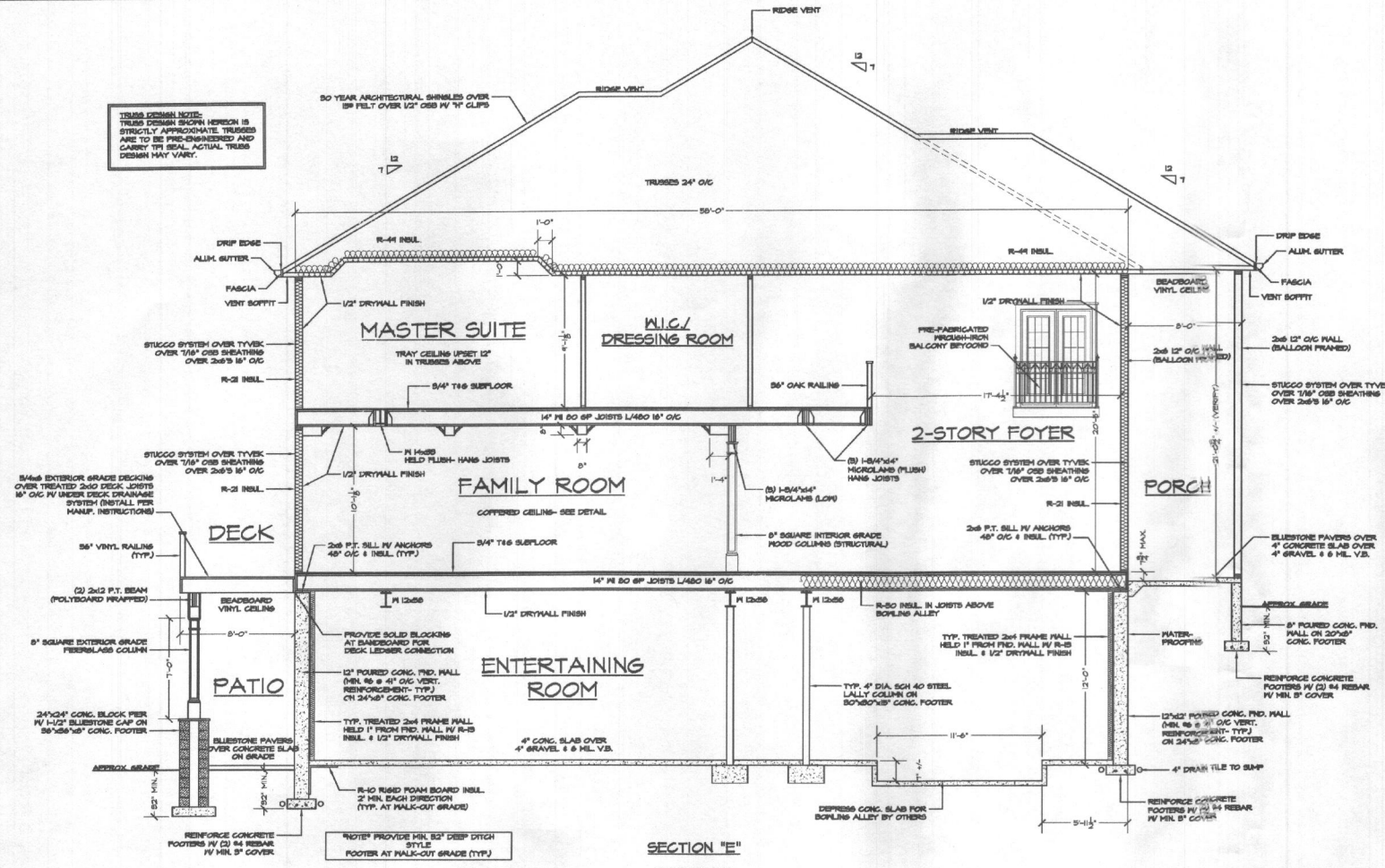
REVISED 6-9-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/12/2015
REVISED 11/25/2014

FILE: DIVE! RESIDENCE

SCALE: NOTED
DATE: 5/2014
SHEET NO.: 7

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320

TRUSS DESIGN NOTE:
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CARRY TR. SEAL. ACTUAL TRUSS
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REVISED 6-3-15 PERMIT SET
REVISED 2/3/2015
REVISED 2/2/2015
REVISED 1/2/2015
REVISED 11/25/2014

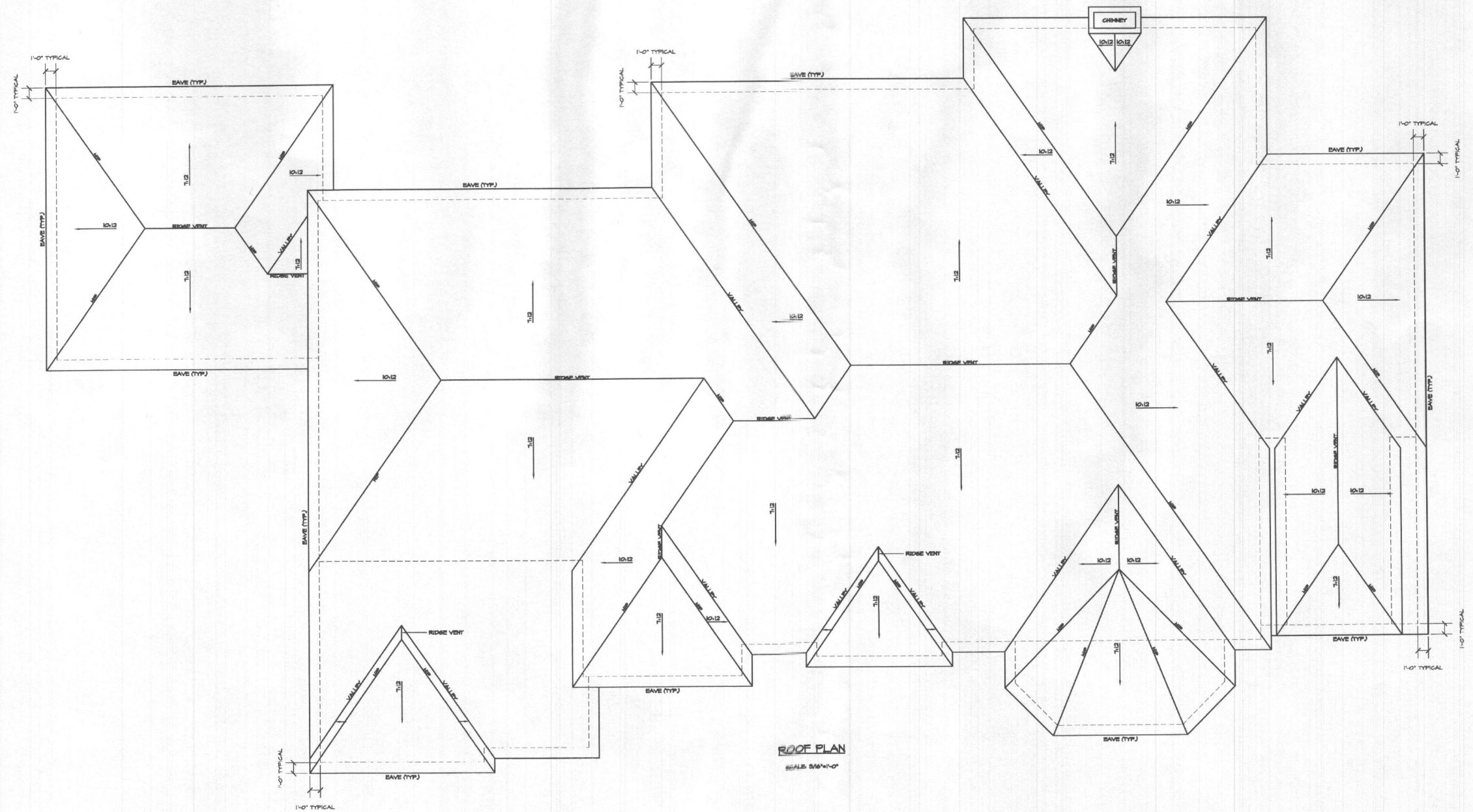
FILE: DIVEL RESIDENCE

SCALE: NOTED
DATE: 5/2014
SHEET NO.: 6

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINNSBURG, MD 21048
PHONE 410-833-8320

THE DIVEL RESIDENCE

ASHLEY CUSTOM HOMES



ROOF PLAN
SCALE: 3/8"=1'-0"

FILE: DIVEL RESIDENCE

SCALE: NOTED
DATE: 5/2014
SHEET NO.: 4

**GBL CUSTOM HOME
DESIGN INC.**
PO BOX 237 FINKSBURG, MD 21048
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REVISED 6-3-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
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REVISED 11/25/2014

THE DIVEL RESIDENCE

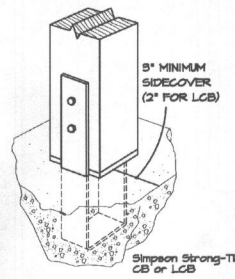
ASHLEY CUSTOM HOMES

GENERAL STRUCTURAL NOTES

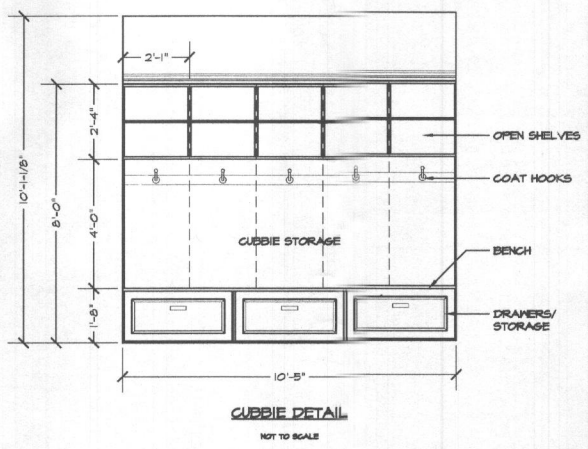
- GENERAL**
 - ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
 - DESIGN LIVE LOADS:**
 - ROOF: 20 PSF
 - FLOORS: 40 PSF
 - SLEEPING AREAS: 30 PSF
- FOUNDATIONS**
 - FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL BEARING CAPACITY IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.
- CAST IN PLACE CONCRETE**
 - ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:
 - ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
 - ACI-308 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (16,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.
 - SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH #5@18" IN AXES 4" MIN. OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.
- MASONRY**
 - ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-12/ASCE 5-12/MS 402-12) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-12/ASCE 6-12/MS 602-12) IN ALL RESPECTS.
 - MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED. WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.
 - ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-12.
 - ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM POUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.
 - PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.
 - ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 4 GAGE TRUSS TYPE GALVANIZED DUR-O-HALL SPACED VERTICALLY AT 16" O.C. UNDO LAP ALL DUR-O-HALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.
 - LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:
 - 0'-0" TO 5'-0" 3-1/2" X 3-1/2" X 5/16"
 - 5'-0" TO 5'-0" 4" X 3-1/2" X 5/16"
 - 5'-0" TO 6'-6" 5" X 3-1/2" X 5/8"
 - 6'-0" TO 8'-0" 6" X 3-1/2" X 3/8"
 - ALL ANGLES SHALL HAVE THEIR SHORT LEGS OUTSTANDING AND 6" MINIMUM BEARINGS.
- STRUCTURAL STEEL**
 - ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAIL FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.
 - ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND D.I.J. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.
- WOOD**
 - STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE #2 SURFACED DRY AT A MAXIMUM OF 14 % MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCESSES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
 - WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR TRUSSING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (11B-11) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
 - WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 PSI WHEN MEMBERS BEAR ON STUD WALLS, PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.
 - ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_v≥2850psi, E_x≥1,900,000psi, F_c≥2810psi(PARALLEL), F_c≥1800psi(PERPENDICULAR).
 - ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.
 - PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.
 - ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILING OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.
 - PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN BRIDGING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING FLOOR, CEILING OR ROOF TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARINGS OF JOISTS, RAFTERS OR TRUSSES OR WOOD PLATES.
 - PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:
 - 0'-0" OPENING 1 JACK STUD, 1 KING STUD
 - 3'-4" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD
 - 6'-4" - 9'-0" OPENING 2 JACK STUDS, 2 KING STUDS
 - PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.
 - ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.
 - ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM HANGERS SHALL BE PROVIDED BY SIMPSON STRONG-TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURERS' INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.

2012 IECC CODE COMPLIANCE

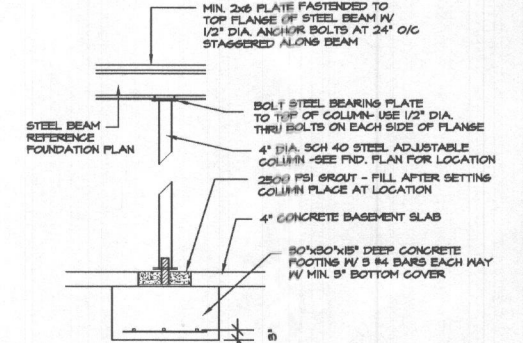
- R301.1 CLIMATE ZONE 4
- R401.2 COMPLIANCE METHOD, MANDATORY AND PREScriptive PROVISIONS
- R402.1.1 ATTIC INSULATION, RAISED HEEL TRUSSES, R-44
- R402.1.1 ROOF FRAME WALL, R-20 OR R15-RS CONTINUOUS INSULATION
- R402.1.1 BASEMENT WALL INSULATION, R-15/R-10 FOIL FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT.
- R402.1.1 CRAWL SPACE WALL INSULATION, R-15/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".
- R402.1.1 FLOOR INSULATION OVER UNCONDITIONED SPACE, R-14 BATT INSULATION
- R402.1.1 WINDOW U-VALUE / SHGC 55 (U-VALUE) / 40 (SHGC)
- R402.2.4 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE, R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 2'-0" HORIZONTALLY OR 2'-0" VERTICALLY.
- R402.2.4 ATTIC ACCESS, ATTIC ACCESS SCUTTLE WILL BE WEATHERSTRIPPED AND INSULATED R-44.
- R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE), EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2012 IECC WITH GASKETS, WEATHERSTRIPPINGS OR AN AIR BARRIER OF SUITABLE MATERIAL.
- R402.4.1 BUILDING ENVELOPE TIGHTNESS TEST, BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION MUST MEET THE INSPECTION CRITERIA LISTED IN TABLE 402.4.1.2. A TIGHTNESS TEST FOR AIR INFILTRATION TEST SHALL BE PERFORMED IN ALL UNITS. SEE ALSO SECTION R308.4 OF THE 2012 IECC.
- R402.4.2 FIREPLACES, ALL WOOD BURNING MASONRY FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR FIREPLACES SHALL HAVE GASKETED DOORS.
- R402.4.4 RECESSED LIGHTING, RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- R403.1 THERMOSTAT, ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2012 IECC SECTION 409.1.
- R403.2 MECHANICAL DUCT INSULATION, SUPPLY DUCTS IN ATTIC R-8 MINIMUM. SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MINIMUM. ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLABS MUST BE R-8 MINIMUM.
- R403.2.2 DUCT SEALING, ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M601.4.1 OF THE IECC.
- R403.5 MECHANICAL VENTILATION, OUTDOOR (MAKE-UP) AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER.
- R403.6 EQUIPMENT SIZING SHALL COMPLY WITH R403.5.
- R404.1 LIGHTING EQUIPMENT, A MINIMUM OF 75% OF ALL LAMPS (LIGHTS) MUST BE HIGH-EFFICACY LAMPS.
- R404.1 MECHANICAL TESTING, ALL MECHANICAL TESTING TO BE PERFORMED BY CONTRACTOR. THIS CONTRACTOR ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL.



POST TO FOOTER CONNECTION DETAIL
NOT TO SCALE

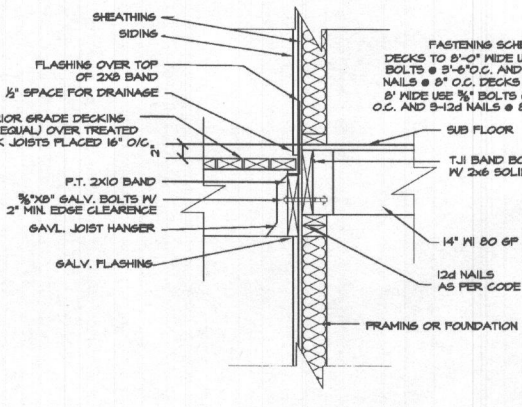


CUBBIE DETAIL
NOT TO SCALE

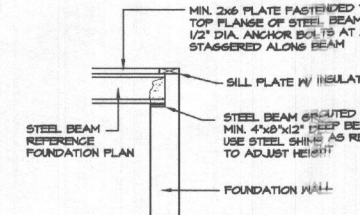


LALLY COLUMN DETAIL
SCALE: 1/2" = 1'-0"

*NOTE: THIS DETAIL DOES NOT APPLY TO COLUMNS UNDER SUSPENDED SLABS.

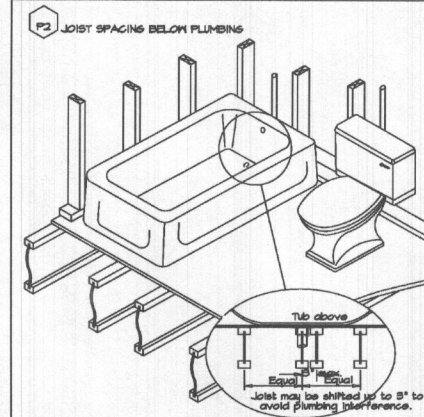


DECK TO HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"

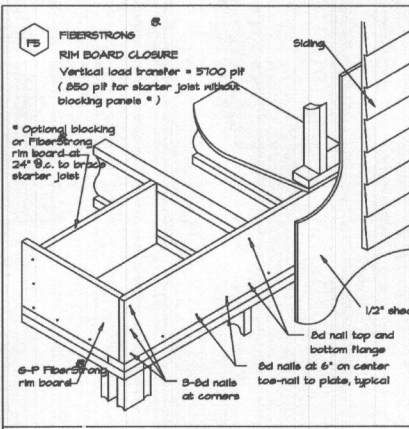


BEAM POCKET DETAIL
SCALE: 1/2" = 1'-0"

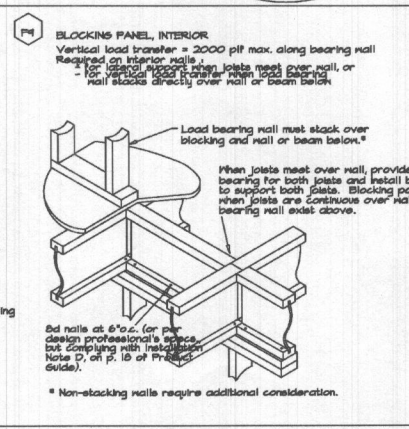
*NOTE: THIS DETAIL DOES NOT APPLY TO COLUMNS UNDER SUSPENDED SLABS.



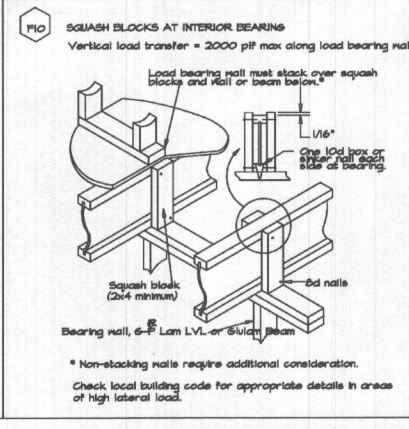
F3 JOIST SPACINGS BELOW PLUMBING



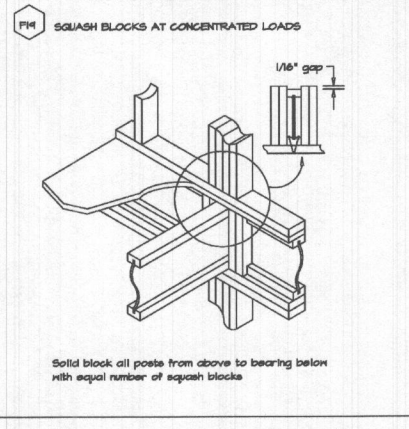
F5 FIBERSTRON RIM BOARD CLOSURE



F4 BLOCKING PANEL, INTERIOR



F10 SQUASH BLOCKS AT INTERIOR BEARINGS



F14 SQUASH BLOCKS AT CONCENTRATED LOADS

LVL FASTENING SCHEDULE

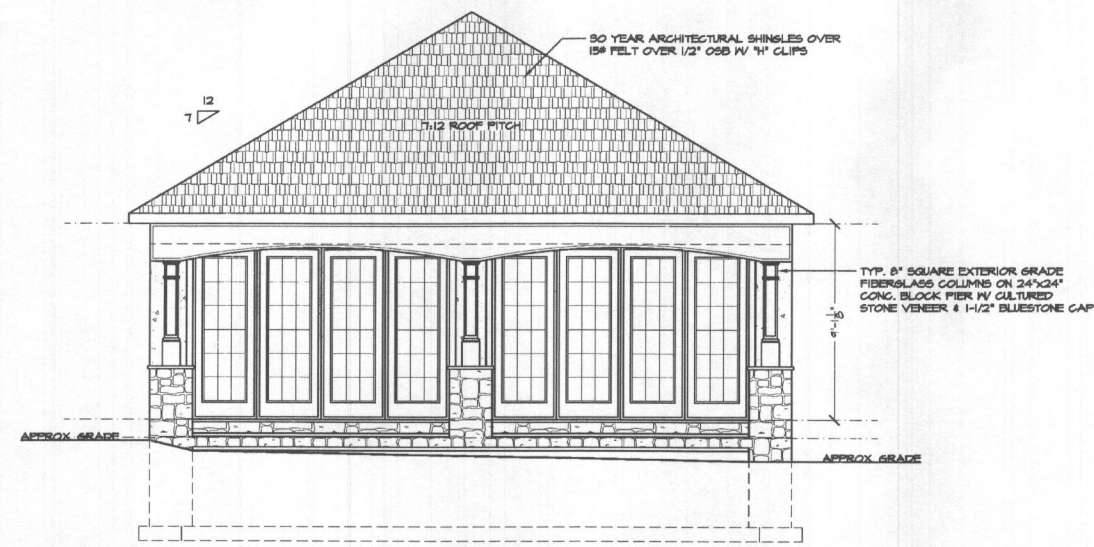
Pieces in Member	Maximum Uniform Load Applied to Either or Both Outside Pieces (Pounds per linear foot)					
	A	B	C	D	E	F
2	505	760	505	1015	500	495
3	560	870	560	160	575	745
4	Not Permitted	940	675	550	665	

NOTES:
1. Confirm adequacy of the beam (depth and number of pieces) for carrying the designated load.
2. Stress level for nail and bolt values is 100%. Increase of 15% for snow loaded or 25% for non-snow loaded roof conditions are permitted.
3. Top and bottom row of connectors should be 2" from edge.
4. Bolt holes are to be the same diameter as the bolt. Every bolt must extend through the full thickness of the member. Use washers under head and nut.
5. For three-piece member, specified nailing is from the each side.
6. To minimize rotation, four-piece members should only be used when loads are applied to both sides, or completely across the top of the member.
7. Four-piece members must be bolted or attached with 6" screws from both sides.
8. Floor joists must be attached with approved metal hangers.
9. Screws are USP #8 series or Simpson Strong-Tie SCS installed per manufacturer instructions.
10. Screws for 3-ply and 4-ply members must be from both sides of beam.

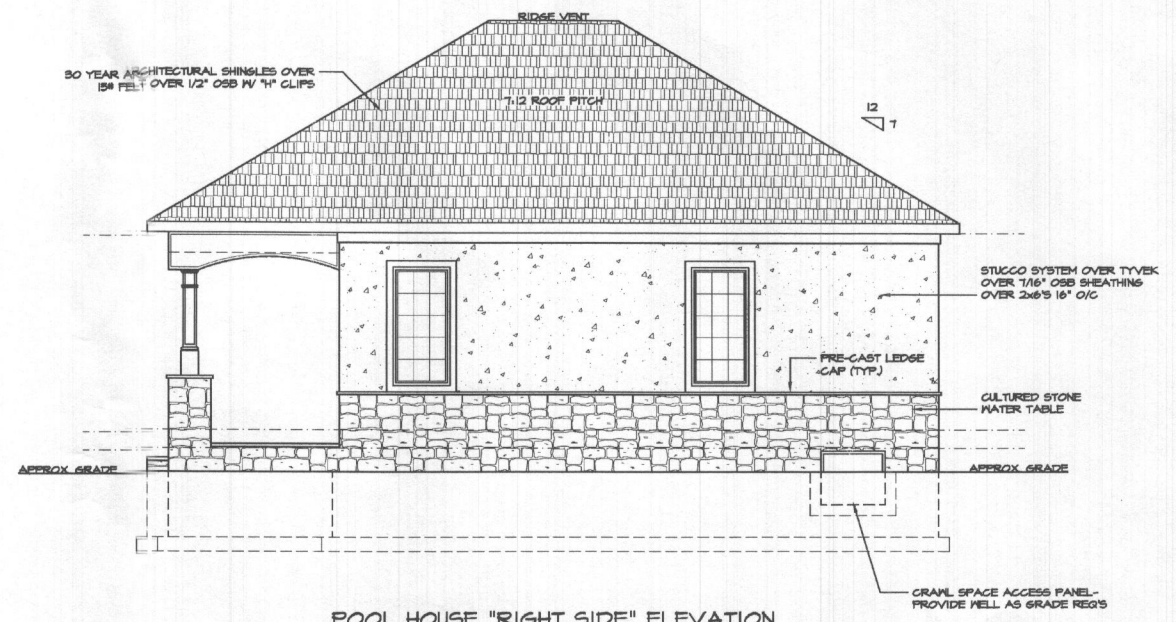
Member	Fastening Schedule
2 PLY	A (Nails) 4 F (Screws) TWO ROWS 12" O.C.
3 PLY	B (Nails) THREE ROWS 12" O.C.
4 PLY	C (Bolts) 4 E (Screws) TWO ROWS 24" IN O.C. STAGGERED
5 PLY	D (Bolts) 4 F (Screws) TWO ROWS 12" O.C.

THE DIVE! RESIDENCE
ASHLEY CUSTOM HOMES
 REVISED 6-9-15 PERMIT SET
 REVISED 2/5/2015
 REVISED 1/2/2015
 REVISED 11/25/2014

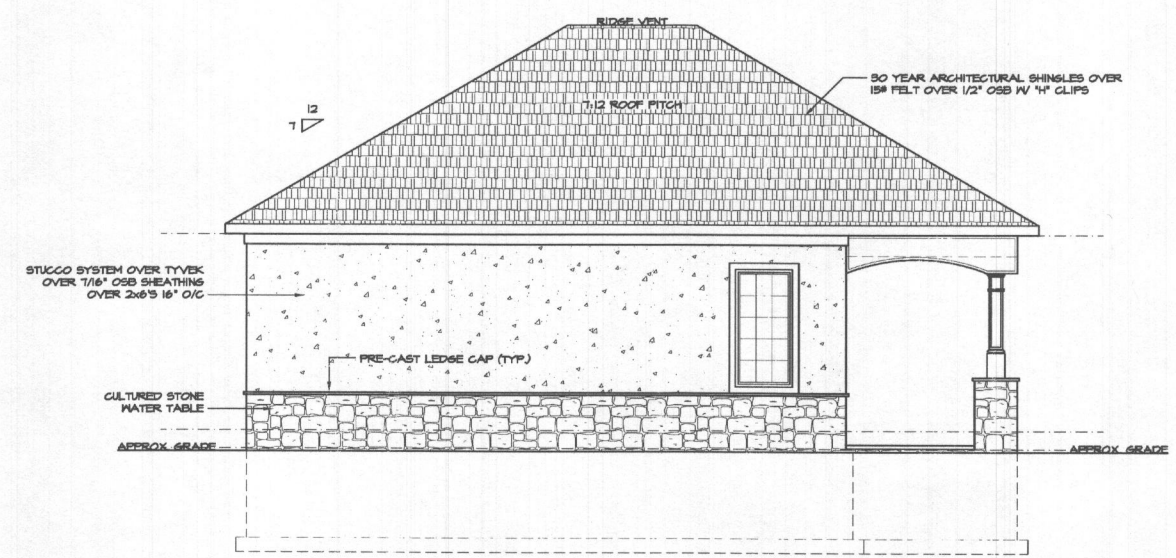
FILE: DIVE! RESIDENCE
 SCALE: 1/4" = 1'-0"
 DATE: 5/2014
 SHEET NO.: 10
GBL CUSTOM HOME DESIGN INC.
 PO BOX 237 FINNSBURG, MD 21048
 PHONE 410-533-5330



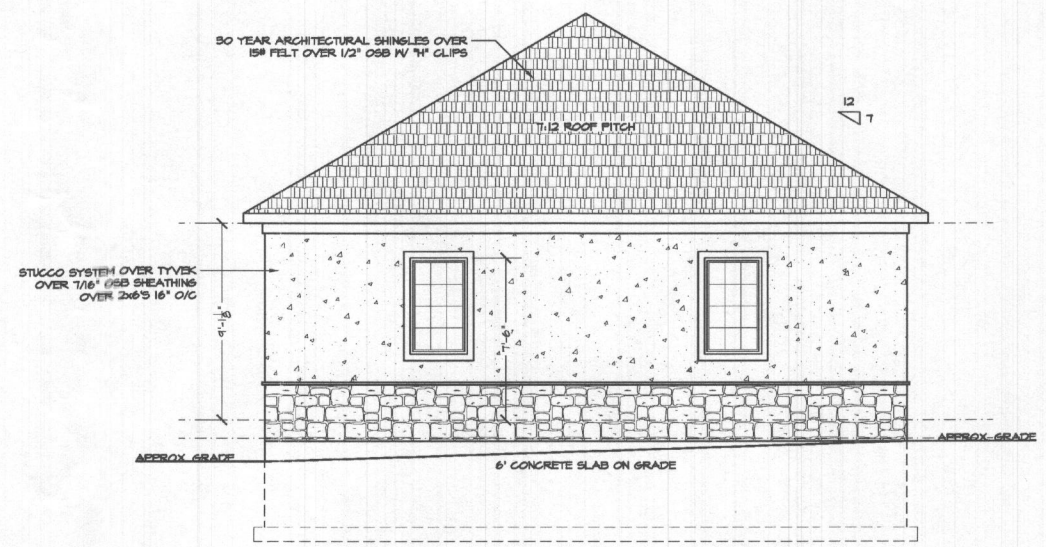
POOL HOUSE "FRONT" ELEVATION
SCALE: 1/4"=1'-0"



POOL HOUSE "RIGHT SIDE" ELEVATION
SCALE: 1/4"=1'-0"



POOL HOUSE "LEFT SIDE" ELEVATION
SCALE: 1/4"=1'-0"



POOL HOUSE "REAR" ELEVATION
SCALE: 1/4"=1'-0"

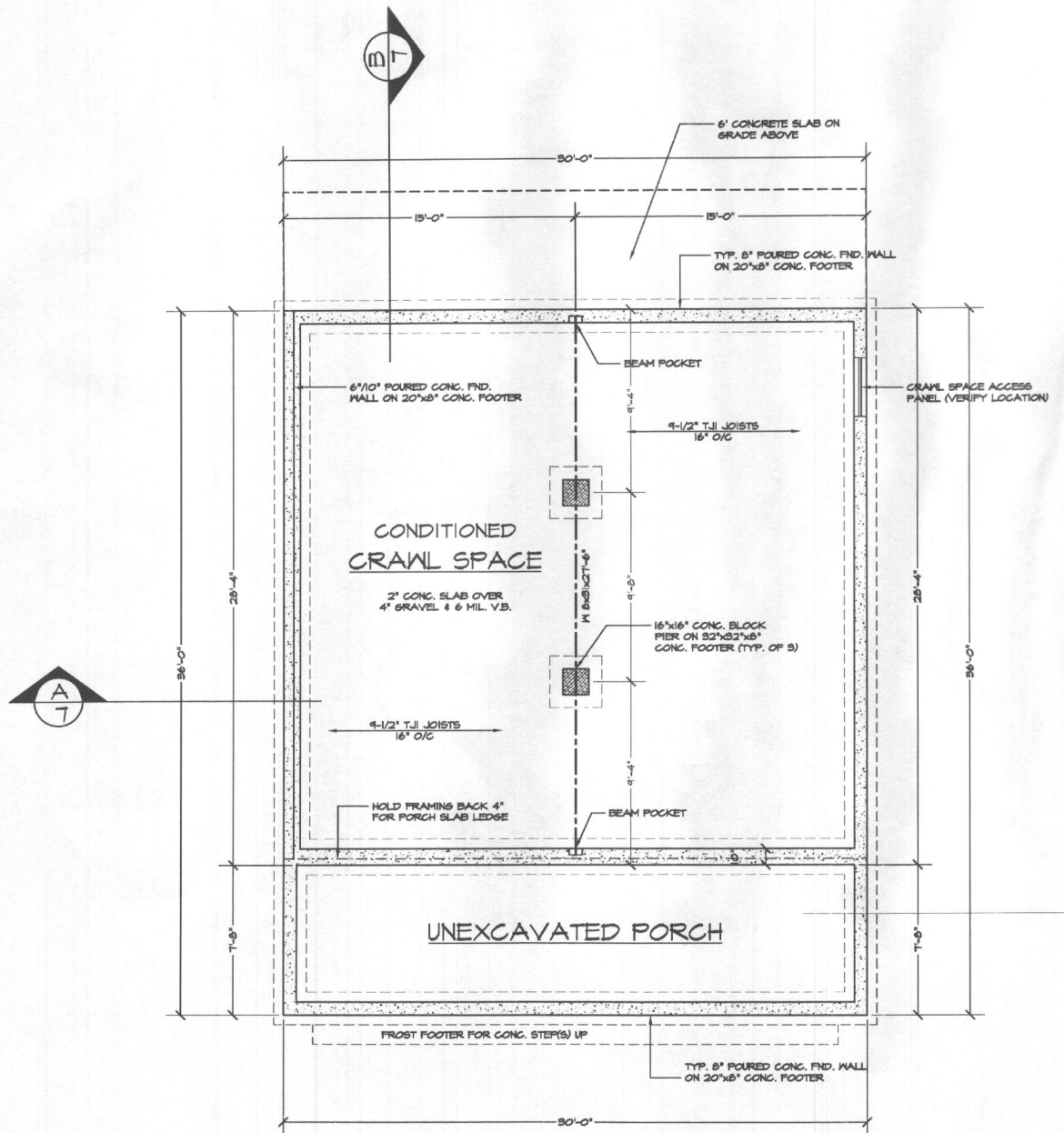
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-9-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/15/2015
REVISED 11/25/2014

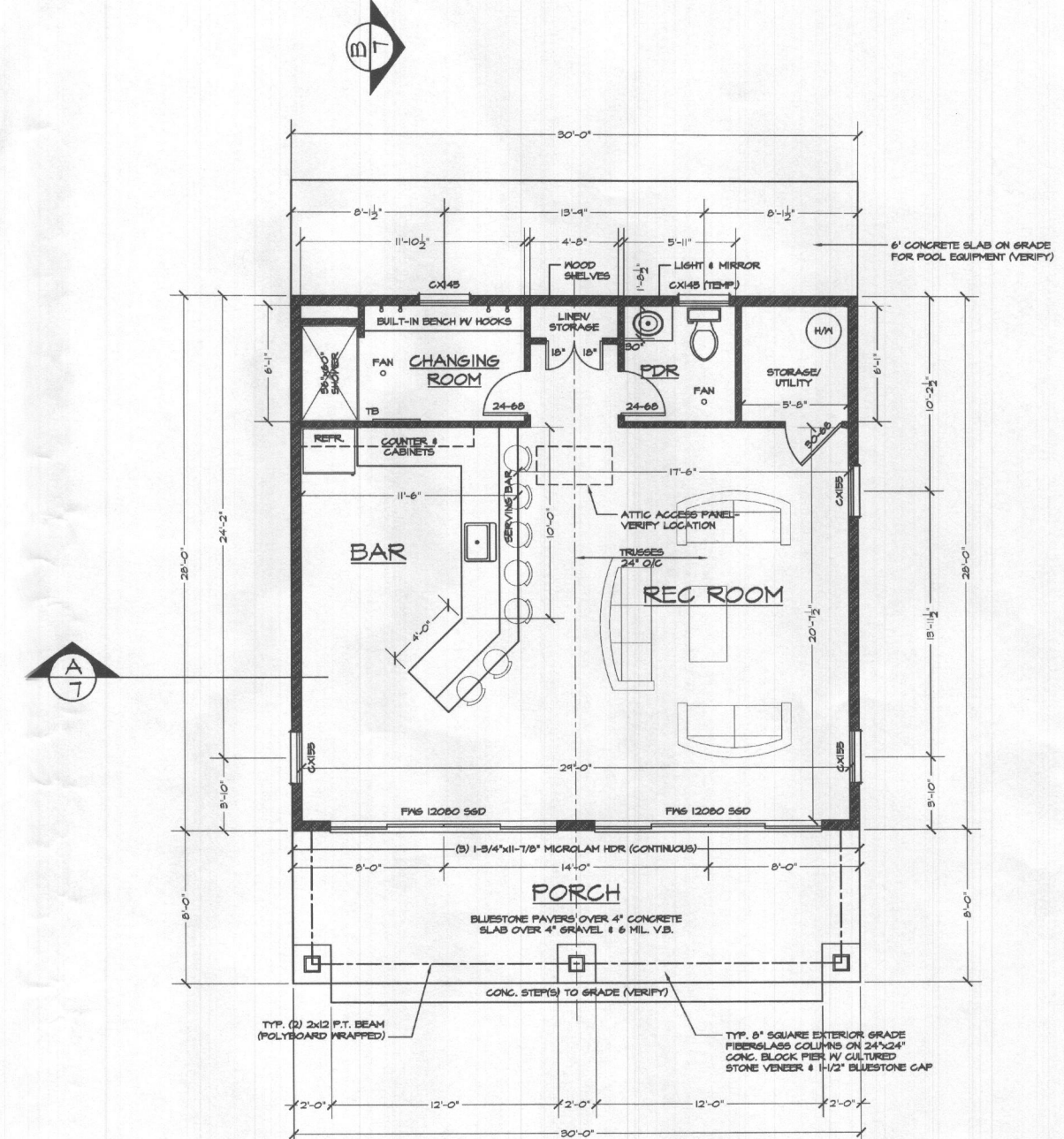
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SCALE: 1/4"=1'-0"
DATE: 5/2014
SHEET NO.: II

GBL CUSTOM HOME
DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



POOL HOUSE FOUNDATION PLAN
SCALE: 1/4"=1'-0"

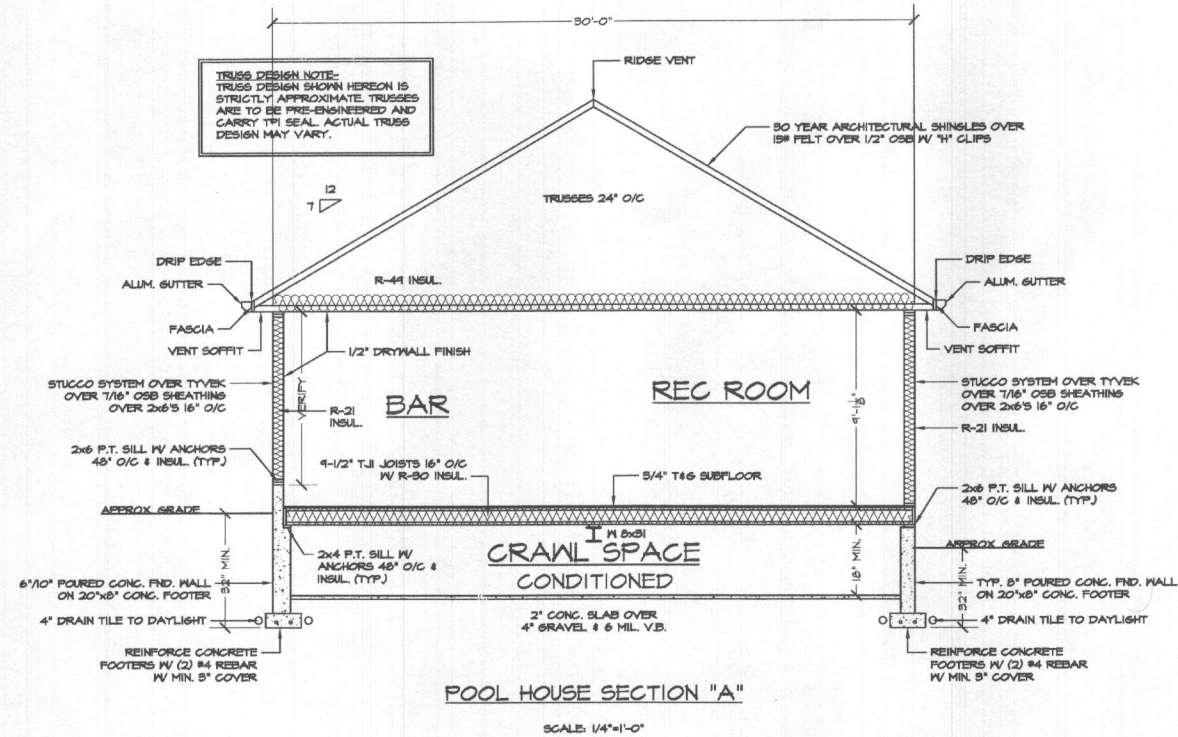


POOL HOUSE FRAMING PLAN
SCALE: 1/4"=1'-0"
9' CEILING HEIGHT
*NOTE: PROVIDE HVAC AT ATTIC.
840 SQUARE FEET

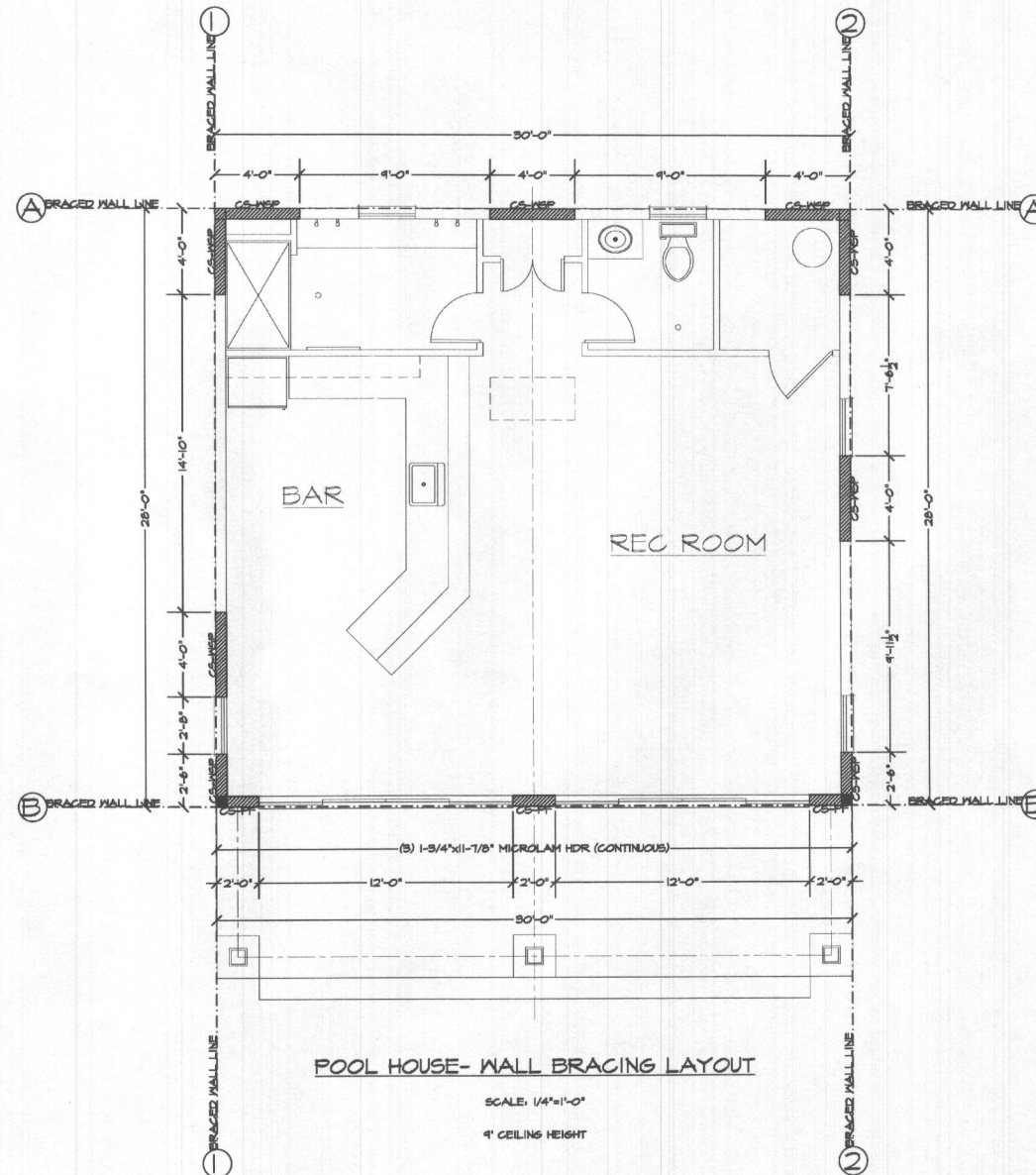
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-9-15 PERMIT SET
REVISED 6/3/2015
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/15/2015
REVISED 11/25/2014

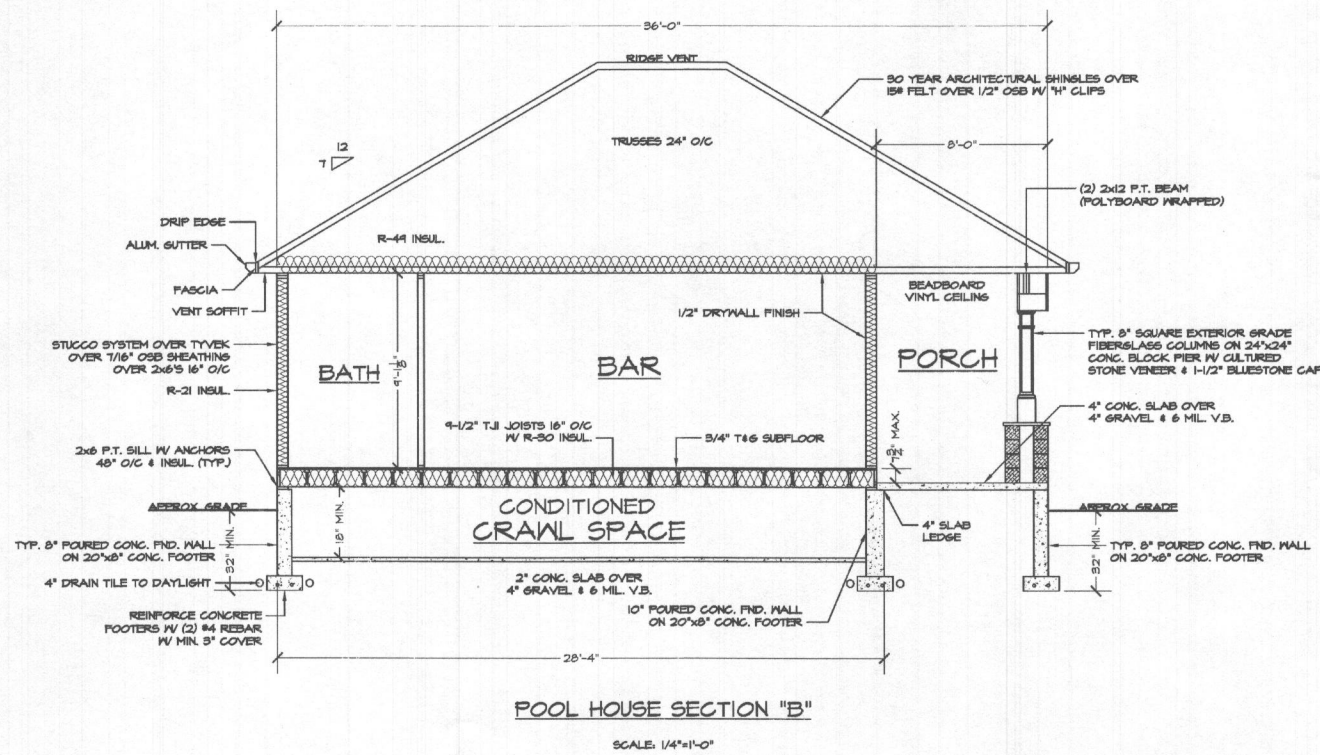
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GBL CUSTOM HOME DESIGN INC. PO BOX 237 FINNSBURG, MD 21048 PHONE 410-833-8320			



POOL HOUSE SECTION "A"
SCALE: 1/4"=1'-0"



POOL HOUSE- WALL BRACING LAYOUT
SCALE: 1/4"=1'-0"
4' CEILING HEIGHT



POOL HOUSE SECTION "B"
SCALE: 1/4"=1'-0"

POOL HOUSE FIRST FLOOR:		ADJUSTMENT FACTORS:						
B.W.L.	AVG. LINE SPACING (FT.)	"L" REQ'D (FT.)	EXPOSURE	ROOF HEIGHT	WALL HEIGHT	# OF B.W.L.	"L" REQ'D (NET) (FT.)	"L" PROVIDED (NET) (FT.)
A	28.0'	5.0	1.0	1.0	0.95	0.70	3.3'	12.0'
B	28.0'	5.0'	1.0	1.0	0.95	0.70	3.3'	6.0'
1	30.0'	5.0'	1.0	1.0	0.95	0.70	3.3'	10.5'
2	30.0'	5.0'	1.0	1.0	0.95	0.70	3.3'	10.5'

DESIGN CRITERIA:
BRACING METHODS: CS-WSP, CS-PF
FIRST FLOOR CEILING HEIGHT: 4'

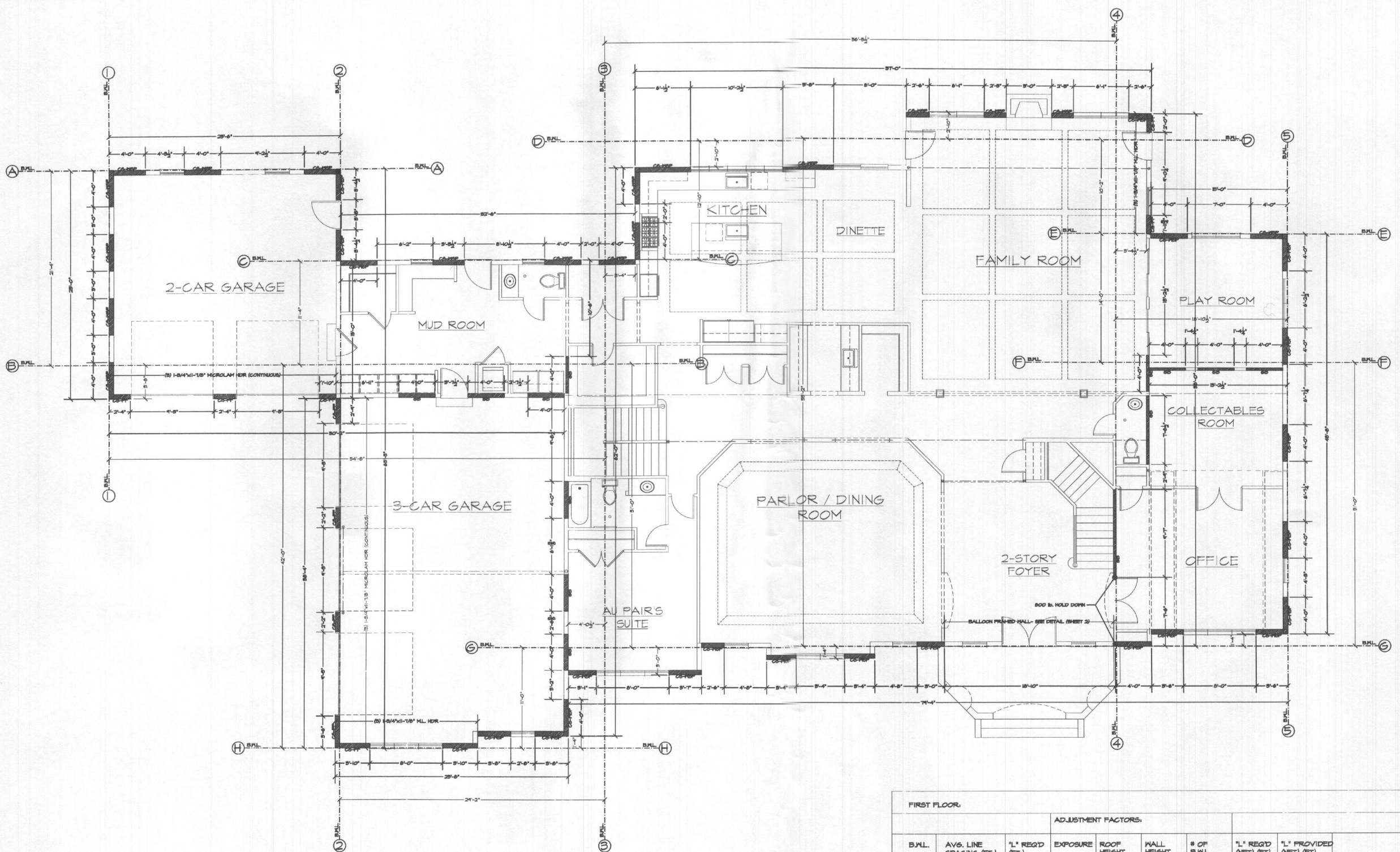
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-8-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/15/2015
REVISED 1/25/2014

FILE: DIVEL RESIDENCE

SCALE: 1/4"=1'-0"
DATE: 5/2014
SHEET NO.: 13

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DESIGN INC.
PO BOX 237 FINNSBURG, MD 21048
PHONE 410-833-8320



FIRST FLOOR-WALL BRACING LAYOUT

SCALE: 3/8"=1'-0"
 10' FIRST FLOOR CEILING HEIGHT
 B.M.L. = BRACED WALL LINE

HOLD-DOWN DEVICE: 800 LB. CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FLOOR FRAMING BELOW. (R602.10)

FIRST FLOOR:			ADJUSTMENT FACTORS:						"L" PROVIDED (NET) (FT)
B.M.L.	AVG. LINE SPACING (FT.)	"L" REQ'D (FT.)	EXPOSURE	ROOF HEIGHT	WALL HEIGHT	# OF B.M.L.	"L" REQ'D (NET) (FT)		
A	15.7'	5.8'	1.0	1.0	1.0	1.60	9.2'	12.0'	
B	26.4'	8.4'	1.0	1.0	1.0	1.60	13.4'	18.5'	
C	11.4'	4.3'	1.0	1.15	1.0	1.60	7.9'	15.5'	
D	26.0'	8.4'	1.0	1.45	1.0	1.60	14.9'	21.6'	
E	12.1'	4.3'	1.0	1.0	1.0	1.60	6.9'	8.0'	
F	22.5'	7.1'	1.0	1.0	1.0	1.60	11.4'	12.0'	
G	33.1'	10.5'	1.0	1.45	1.0	1.60	24.4'	24.8'	
H	26.5'	8.4'	1.0	1.30	1.0	1.60	17.5'	15.0'	
1	25.5'	8.4'	1.0	1.0	1.0	1.60	13.4'	16.0'	
2	21.3'	8.4'	1.0	1.0	1.0	1.60	13.4'	17.3'	
3	42.3'	13.3'	1.0	1.0	1.0	1.60	24.5'	28.0'	
4	37.1'	12.0'	1.0	1.45	1.0	1.60	27.3'	25.1'	
5	18.4'	6.5'	1.0	1.30	1.0	1.60	13.5'	20.0'	

DESIGN CRITERIA:
 BRACING METHODS: CS-WSP, CS-PF, GB
 FIRST FLOOR CEILING HEIGHT: 10'

OK- (2) 46' CS-PF PANELS

OK- (2) 24' CS-PF PANELS

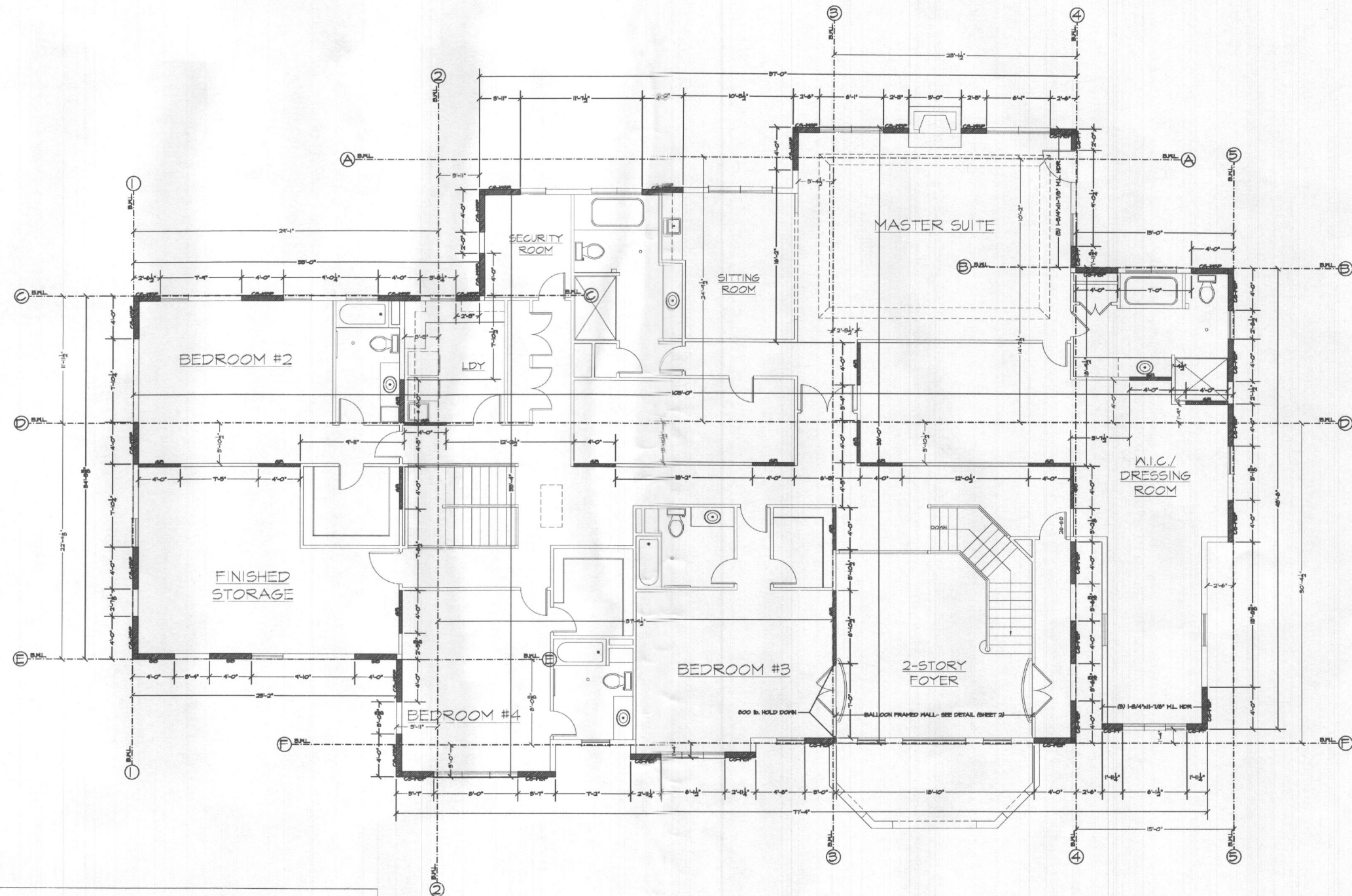
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
 REVISED 2/5/2015
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 14

GBL CUSTOM HOME DESIGN INC.
 PO BOX 237 FINNSBURG, MD 21046
 PHONE 410-633-8320



SECOND FLOOR- WALL BRACING LAYOUT

SCALE: 3/8"=1'-0"
 4' SECOND FLOOR CEILING HEIGHT
 B.W.L. = BRACED WALL LINE

HOLD-DOWN DEVICE: 800 LB. CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FLOOR FRAMES BELOW. (R60212)

SECOND FLOOR:								
			ADJUSTMENT FACTORS:					
B.W.L.	AVG. LINE SPACING (FT.)	"L" REQ'D (FT.)	EXPOSURE	ROOF HEIGHT	WALL HEIGHT	# OF B.W.L.	"L" REQ'D (NET) (FT.)	"L" PROVIDED (NET) (FT.)
A	16.0'	3.1'	1.0	1.30	0.95	1.60	6.1'	17.8'
B	12.4'	2.4'	1.0	1.0	0.95	1.60	3.7'	3.0'
C	12.4'	2.4'	1.0	1.15	0.95	1.60	4.2'	12.8'
D	20.8'	3.9'	1.0	1.15	0.95	1.60	13.3'	40.0'
E	15.2'	3.1'	1.0	1.45	0.95	1.60	6.8'	12.0'
F	14.2'	3.5'	1.0	1.15	0.95	1.60	6.1'	23.9'
1	24.1'	5.0'	1.0	1.45	0.95	1.60	11.0'	16.0'
2	33.4'	11.0'	1.0	1.15	0.95	1.60	14.2'	28.0'
3	30.5'	10.3'	1.0	1.45	0.95	1.60	22.7'	22.9'
4	14.0'	7.0'	1.0	1.45	0.95	1.60	13.4'	20.0'
5	15.0'	5.5'	1.0	1.0	0.95	1.60	5.1'	20.0'

DESIGN CRITERIA:
 BRACING METHODS: CS-MEP, CS-PF, GB
 SECOND FLOOR CEILING HEIGHT: 4'

REVISED 6-3-15 PERMIT SET
 REVISED 2/3/2015
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 15

GBL CUSTOM HOME
 DESIGN INC.
 PO BOX 237 FINEBURG, MD 21045
 PHONE 410-833-8320

THE DIVEL RESIDENCE
 ASHLEY CUSTOM HOMES

LEGEND:

- CS-WEP CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL - (LENGTH)
- CS-PF CONTINUOUS SHEATHED PORTAL FRAME
- CS-S CONTINUOUS SHEATHING- GARAGE DOOR OPENING
- GB GYPSUM 2 SIDED
- Ⓢ TIE DOWN DEVICE (-LBS)

WALL BRACING DESIGN INFO:

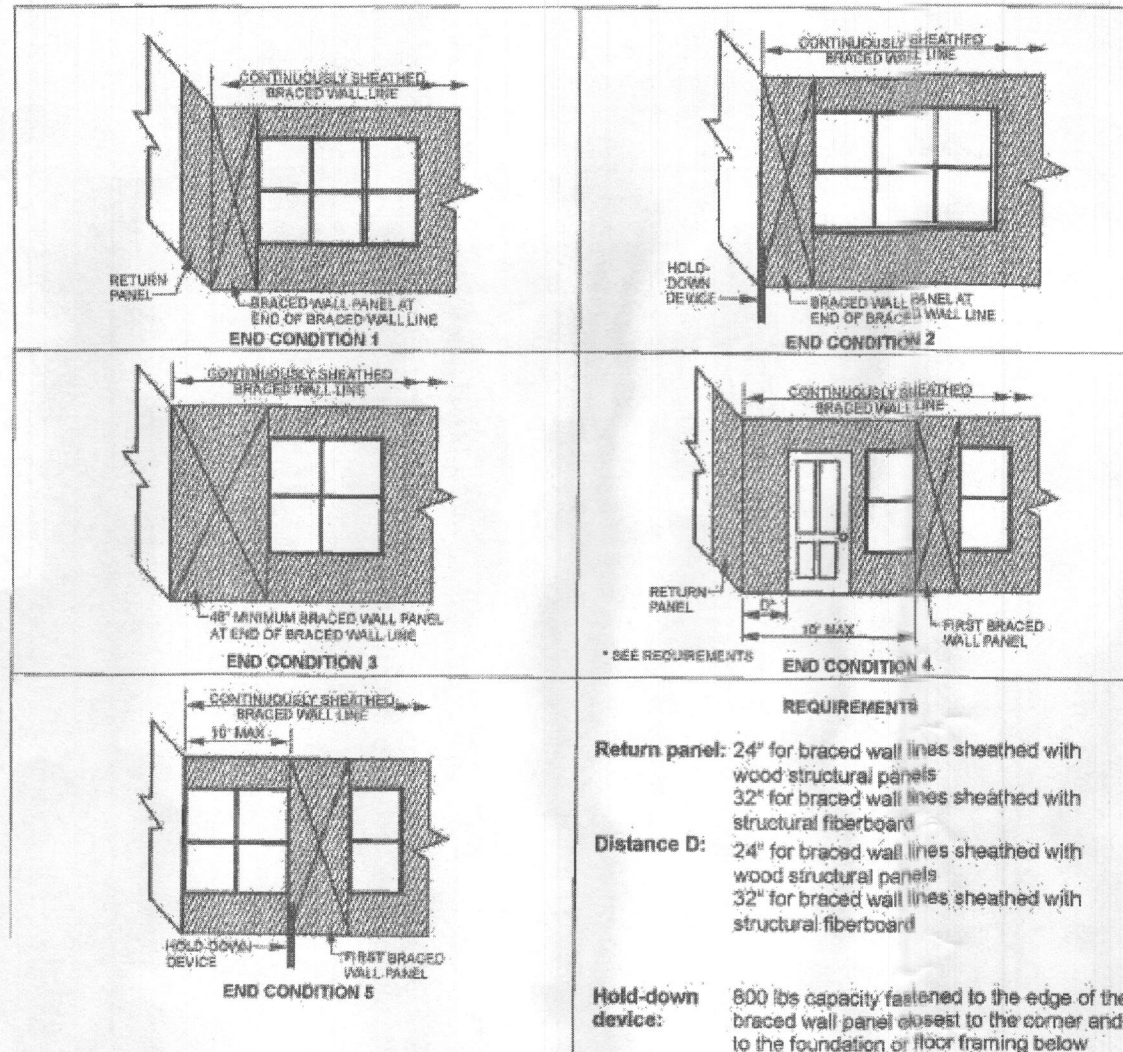
LOCATION: HOWARD COUNTY, MARYLAND
SEISMIC CATEGORY: B
WIND SPEED: 40 MPH

METHOD 3 (WOOD SHEATHING)/ CONTINUOUS SHEATHING
METHOD 5 (GYPSUM BOARD)

*THESE DRAWINGS ARE LIMITED TO IRC WALL BRACING REQUIREMENTS ONLY.

R602.10.4 CONTINUOUS SHEATHING. BRACED WALL LINES WITH CONTINUOUS SHEATHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION. ALL BRACED WALL LINES ALONG EXTERIOR WALLS ON THE SAME STORY SHALL BE CONTINUOUSLY SHEATHED.

HOLD-DOWN DEVICE: 800 lbs. CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FLOOR FRAMING BELOW (R602.10)



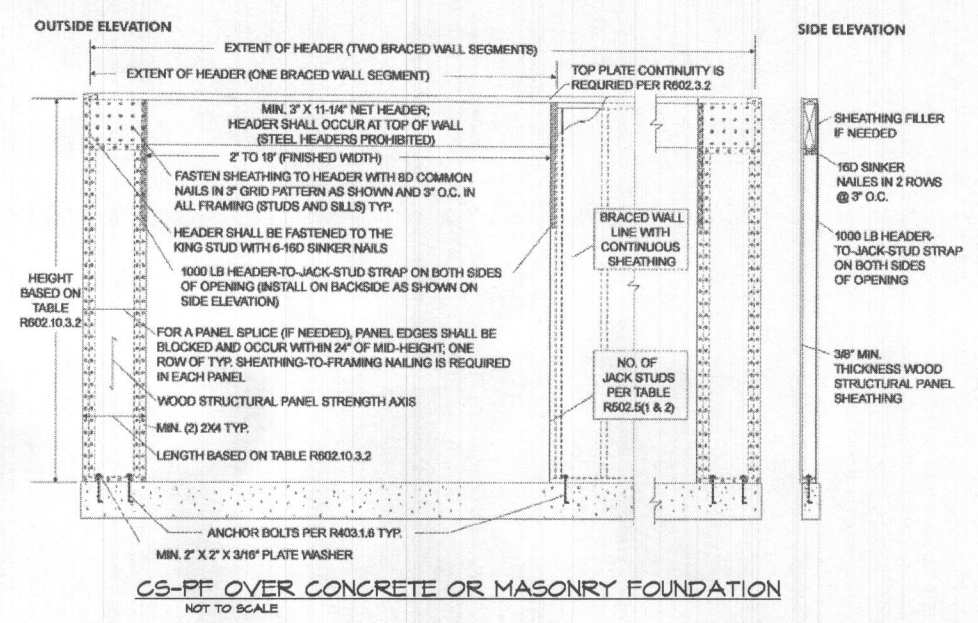
REQUIREMENTS

Return panel: 24\" for braced wall lines sheathed with wood structural panels
32\" for braced wall lines sheathed with structural fiberboard

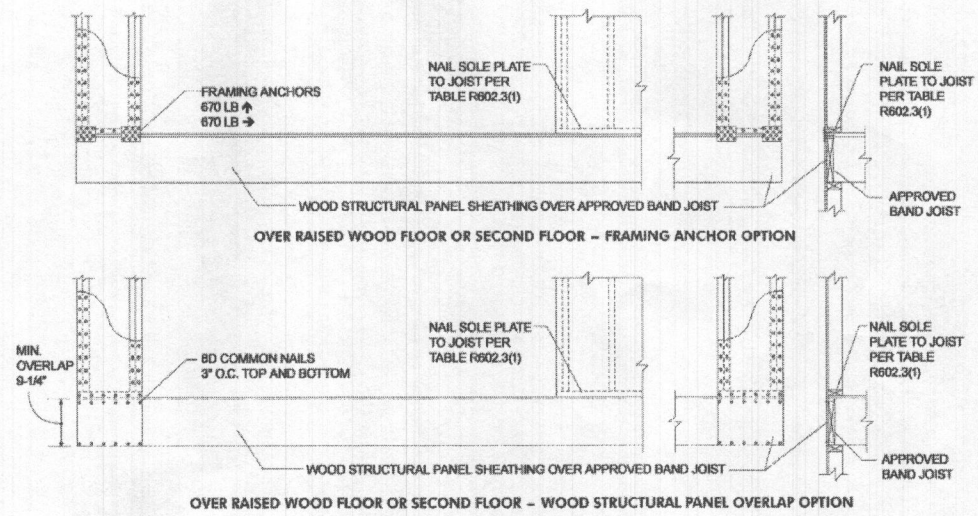
Distance D: 24\" for braced wall lines sheathed with wood structural panels
32\" for braced wall lines sheathed with structural fiberboard

Hold-down device: 800 lbs capacity fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below

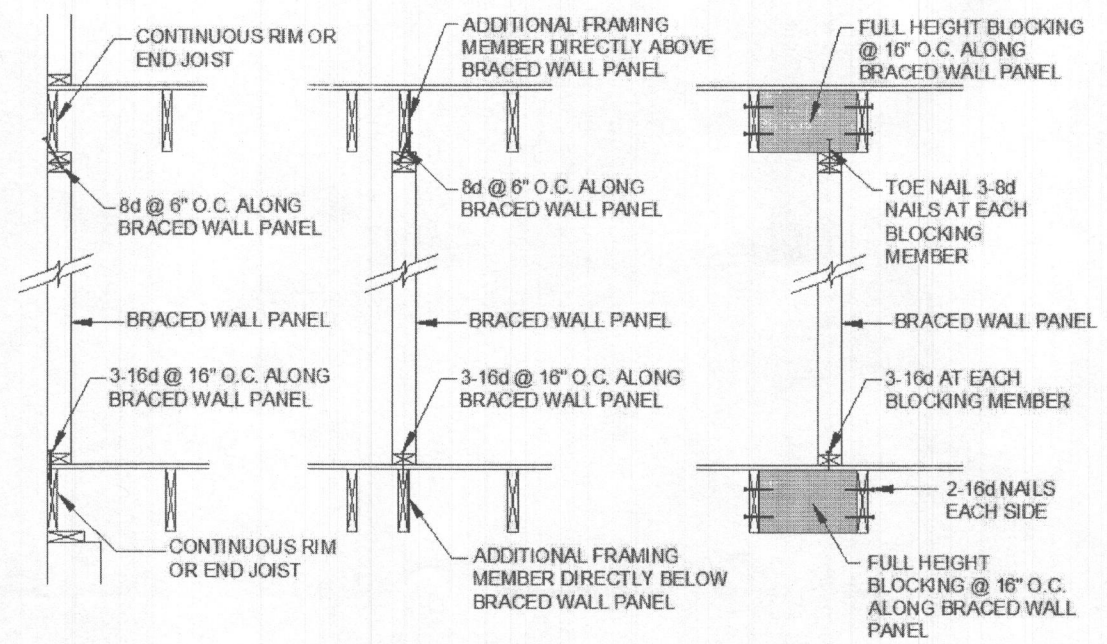
CORNER CONDITIONS
NOT TO SCALE



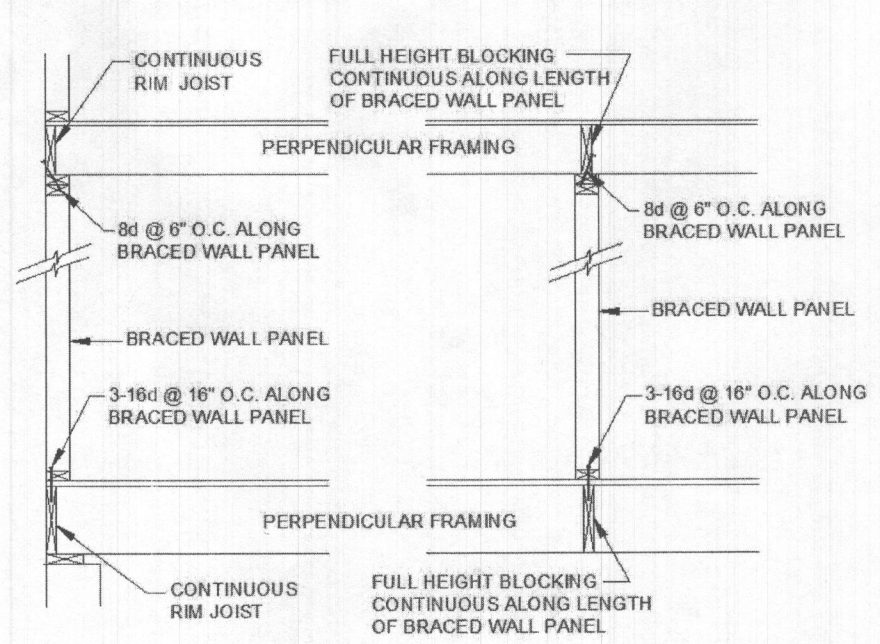
CS-PF OVER CONCRETE OR MASONRY FOUNDATION
NOT TO SCALE



CS-PF OVER WOOD FLOOR
NOT TO SCALE



PARALLEL CONNECTIONS
NOT TO SCALE



PERPENDICULAR CONNECTIONS
NOT TO SCALE

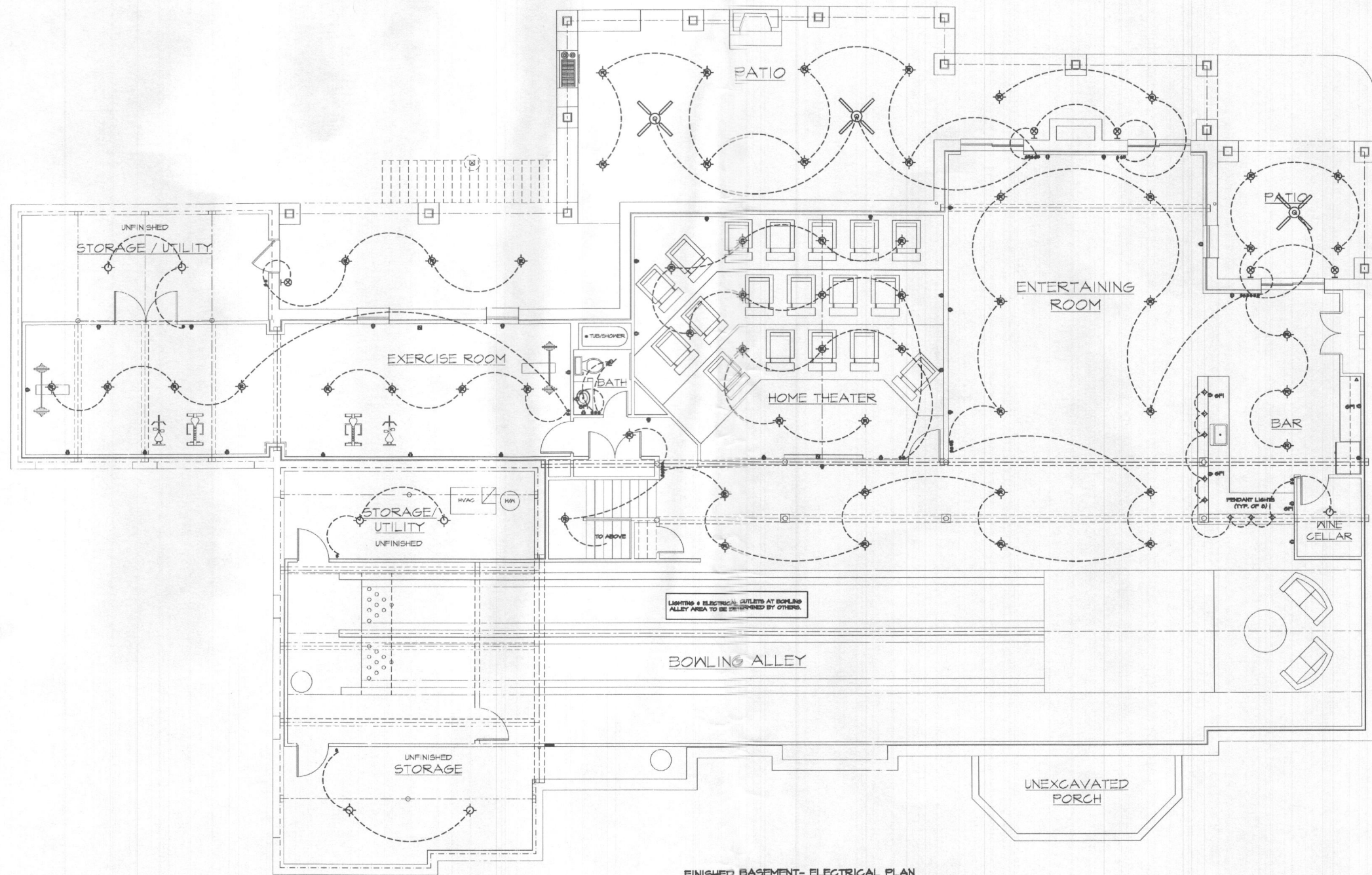
THE DIVEL RESIDENCE
ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
REVISED 2/5/2015
REVISED 2/2/2015
REVISED 1/2/2015
REVISED 1/25/2014

FILE: DIVEL RESIDENCE

SCALE: 1/4\"/>

GBL CUSTOM HOME DESIGN INC.
PO BOX 237 FINKSBURG, MD 21048
PHONE 410-833-8320



FINISHED BASEMENT- ELECTRICAL PLAN

SCALE: 3/8"=1'-0"

ELECTRICAL LAYOUT SHOWN IS STRICTLY APPROXIMATE:
 - VERIFY EXACT # & LOCATIONS OF ELECTRICAL OUTLETS
 - VERIFY ANGLE, STYLE & LOCATIONS OF LIGHTING

ELECTRICAL SYMBOLS			
○	STANDARD WALL OUTLET	⊗	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE, RECESSED
⊖	SWITCHED WALL OUTLET	○	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊖	GROUND FAULT INTERRUPT WALL OUTLET, LOCATED NEAR SINK OR WATER AREA	⊗	WALL MOUNTED EXTERIOR LANTERN LIGHT
⊖	WATER PROOF OUTLET, TO BE USED ON THE EXTERIOR OR IN THE GARAGE	⊕	WALL MOUNTED TELEPHONE JACK
⊖	STANDARD FLOOR OUTLET	⊖	WALL MOUNTED CABLE TV HOOK-UP
⊖	220 VOLT RECEPTACLE, VERIFY WITH EQUIPMENT	⊖	CEILING MOUNTED FIRE ALARM
⊖	SPECIAL PURPOSE RECEPTACLE, VERIFY WITH EQUIPMENT	⊗	CEILING MOUNTED FAN WITH LIGHT FIXTURE
⊖	WALL SWITCH, GANG TWO OR MORE SWITCHES TOGETHER COVER WITH ONE FACE PLATE	⊖	CEILING MOUNTED FAN
⊖	EXHAUST FAN	⊖	WALL MOUNTED THERMOSTAT
⊖	EXHAUST FAN WITH LIGHT	⊖	EXTERIOR FLOOD LIGHT, WITH THREE LIGHTS
⊖	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE 24" SURFACE MOUNT		

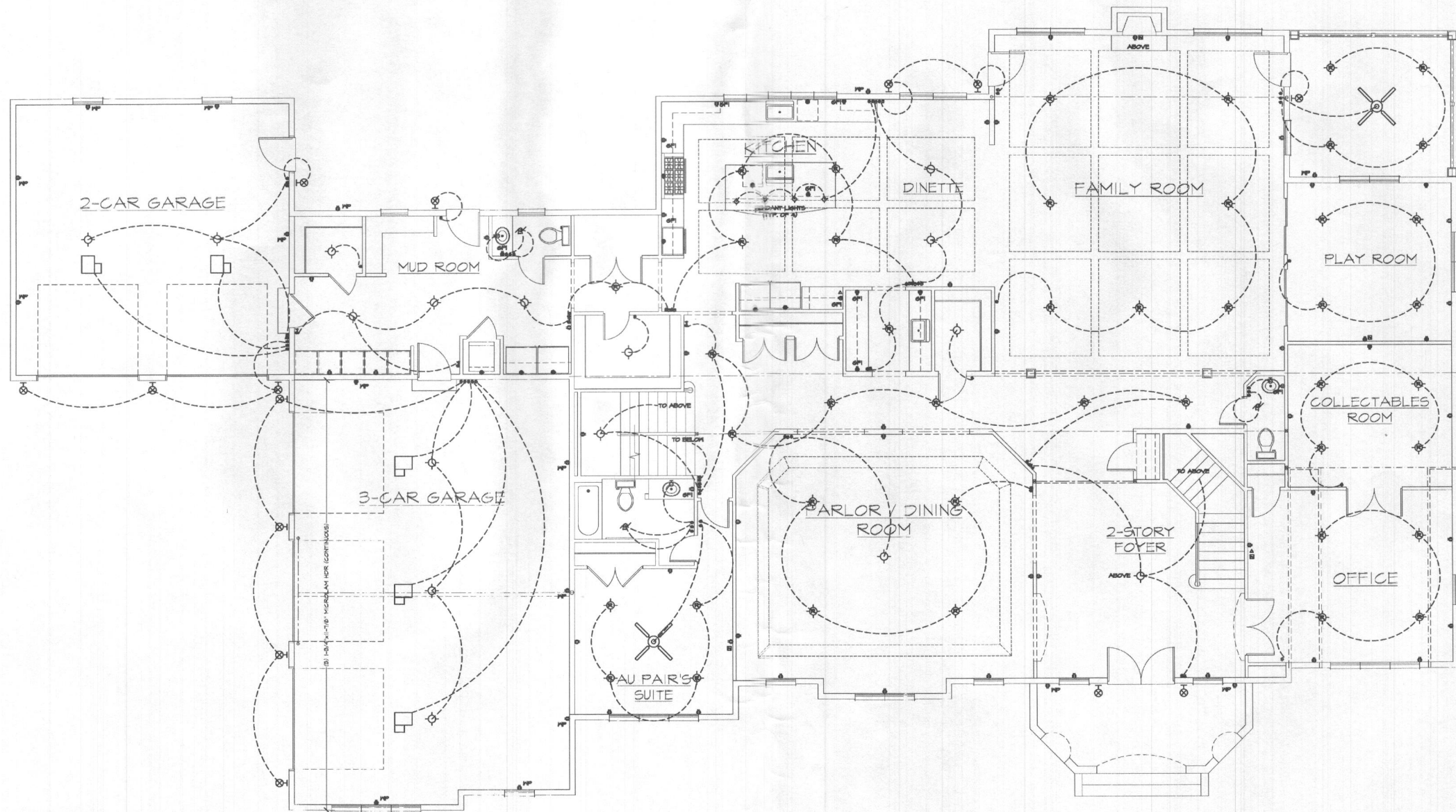
THE DIVEL RESIDENCE
 ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
 REVISED 2/5/2015
 REVISED 2/2/2015
 REVISED 1/2/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 17

GBL CUSTOM HOME
 DESIGN INC.
 PO BOX 237 FANNSBURG, MO 21048
 PHONE 417-833-8320



FIRST FLOOR- ELECTRICAL PLAN

SCALE: 3/8"=1'-0"

ELECTRICAL LAYOUT SHOWN IS STRICTLY APPROXIMATE:
 - VERIFY EXACT # & LOCATIONS OF ELECTRICAL OUTLETS
 - VERIFY APPEARANCE, STYLE & LOCATIONS OF LIGHTING.

ELECTRICAL SYMBOLS			
○	STANDARD WALL OUTLET	⊗	CELING MOUNTED INCANDESCENT LIGHT FIXTURE, RECESSED
⊖	SWITCHED WALL OUTLET	○	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊖	GRAND FLOOR INTERRUPTER WALL OUTLET LOCATED NEAR SINK OR WATER AREAS	⊗	WALL MOUNTED EXTERIOR LANTERN LIGHT
⊖	WATER PROOF OUTLET, TO BE USED ON THE EXTERIOR OR IN THE GARAGE	⊕	WALL MOUNTED TELEPHONE JACK
⊖	STANDARD FLOOR OUTLET	⊖	WALL MOUNTED CABLE TV HOOK-UP
⊖	220 VOLT RECEPTACLE, VERIFY WITH EQUIPMENT	⊖	CELING MOUNTED FIRE ALARM
⊖	SPECIAL PURPOSE RECEPTACLE, VERIFY WITH EQUIPMENT	⊗	CELING MOUNTED 1'x4' WITH LIGHT FIXTURE
⊖	WALL SWITCH, GANG TWO OR MORE SWITCHES TOGETHER GOVERN WITH ONE FACE PLATE	⊕	CELING MOUNTED FAN
⊖	EXHAUST FAN	⊖	WALL MOUNTED THERMOSTAT
⊖	EXHAUST FAN WITH LIGHT	⊖	EXTERIOR FLOOD LIGHT, WITH THREE LIGHTS
⊖	CELING MOUNTED INCANDESCENT LIGHT FIXTURE 2x4 SURFACE MOUNT		

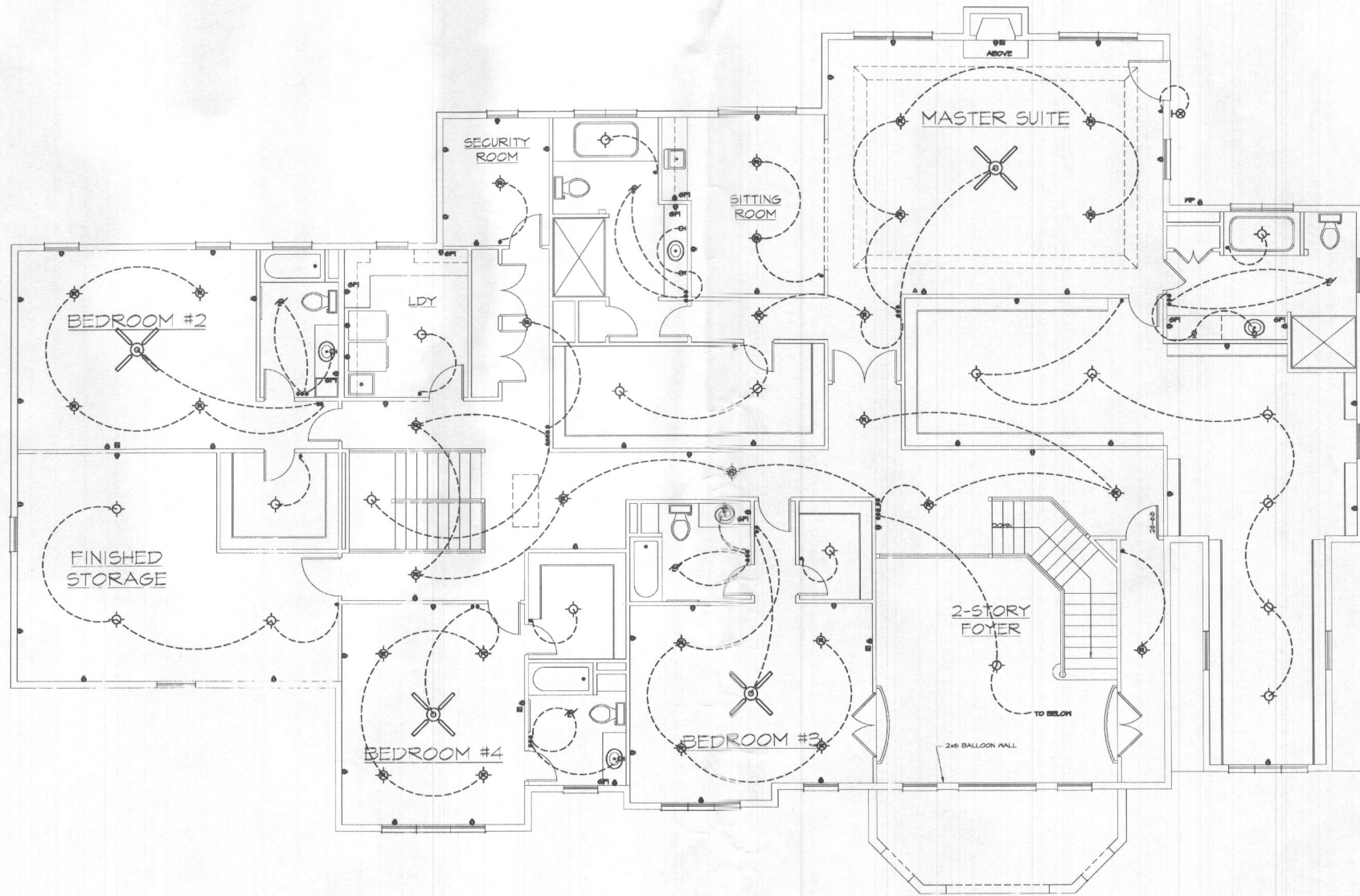
THE DIVE RESIDENCE
 ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVE RESIDENCE

SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 18

PO BOX 237 FINNSBURG, MD 21048
 PHONE 410-833-8320



SECOND FLOOR- ELECTRICAL PLAN

SCALE: 3/8"=1'-0"

ELECTRICAL LAYOUT SHOWN IS STRICTLY APPROXIMATE:
 - VERIFY EXACT # & LOCATIONS OF ELECTRICAL OUTLETS.
 - VERIFY ANCHOR, STYLE & LOCATIONS OF LIGHTING.

ELECTRICAL SYMBOLS			
○	STANDARD WALL OUTLET	⊗	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE, RECESSED
⊙	SWITCHED WALL OUTLET	○	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊙-GFI	GROUND FAULT INTERRUPT WALL OUTLET, LOCATED NEAR SINK OR WATER AREA	⊗	WALL MOUNTED EXTERIOR LANTERN LIGHT
⊙-W	WATER PROOF OUTLET, TO BE USED ON THE EXTERIOR OR IN THE GARAGE	⊕	WALL MOUNTED TELEPHONE JACK
⊙-FL	STANDARD FLOOR OUTLET	⊕	WALL MOUNTED CABLE TV HOOK-UP
⊙	220 VOLT RECEPTACLE, VERIFY WITH EQUIPMENT	⊕	CEILING MOUNTED FIRE ALARM
⊙	SPECIAL PURPOSE RECEPTACLE, VERIFY WITH EQUIPMENT	⊗	CEILING MOUNTED FAN WITH LIGHT FIXTURE
⊙	WALL SWITCH, 3-WAY OR MORE SWITCHES TOGETHER COVER WITH ONE FACE PLATE	⊕	CEILING MOUNTED FAN
⊙	EXHAUST FAN	⊕	WALL MOUNTED THERMOSTAT
⊙	EXHAUST FAN WITH LIGHT	⊕	EXTERIOR FLOOD LIGHT, WITH THREE LIGHTS
⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE 2x4 SURFACE MOUNT		

THE DIVEL RESIDENCE
 ASHLEY CUSTOM HOMES

REVISED 6-3-15 PERMIT SET
 REVISED 2/2/2015
 REVISED 1/12/2015
 REVISED 11/25/2014

FILE: DIVEL RESIDENCE

SCALE: NOTED
 DATE: 5/2014
 SHEET NO.: 19

PO BOX 237 FINKSBURG, MD 21048
 PHONE 410-833-8320

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID) PRIOR TO THE START OF ANY CONSTRUCTION. (410-318-1825).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' FOR PERMANENT SEEDINGS (Sec. B-4-5), TEMPORARY SEEDINGS (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECORDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	0.2084 ACRES
AREA DISTURBED	0.104 ACRES
AREA TO BE ROOFED OR PAVED	0.351 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.294 ACRES
TOTAL CUT	944 CU. YDS.
TOTAL FILL	944 CU. YDS.
OFF-SITE WASTE/DORROR AREA LOCATION	NONE

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.

- A PROJECT IS TO BE SEQUENCED SO THAT THE GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

B-44 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDINGS SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDINGS.
- WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

SPECIES	APPLICATION RATE (lb./ac.)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
	40 lb./ac.	Mar. 1 to May 15 15 to Oct. 15	0.5 INCHES	435 lb./ac. (10 lb./1,000 sf)	2 tons/ac. (90 lb./1,000 sf)
	20 lb./ac.	May 16 to July 31	0.5 INCHES	1,000 sf	1,000 sf

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Howard County Health Department
DATE: 6/15/15

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD."

Howard County Health Department
DATE: 6/15/15

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."

Howard County Health Department
DATE: 6/15/15

APPROVED: FOR PRIVATE WELL AND SHARED SEPTIC
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

- SEED MIXTURES
 - GENERAL USE
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE (FROM TABLE B.2). ENTER THESE SPECIES OR MIXTURES IN THE SEEDINGS SUMMARY, AND SEEDING DATES IN THE PERMANENT SEEDINGS SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE SECTION 942 - CRITICAL AREA PLANTING.
 - FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (50 POUNDS PER ACRE) AT THE TIME OF SEEDING. IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDINGS SUMMARY.
 - TURFGRASS MIXTURES
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE (ENTER SELECTED MIXTURES) APPLICATION RATES AND SEEDING DATES IN THE PERMANENT SEEDINGS SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- KENTUCKY BLUEGRASS, FULL SUN MIXTURE; FOR USE IN AREAS THAT RECEIVE INTERMEDIATE IRRADIATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATES IS 2 TO 2.5 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- KENTUCKY BLUEGRASS/PERENNIAL RYE, FULL SUN MIXTURE; FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHICH TUFF WILL RECEIVE MEDIUM TO INTERMEDIATE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE, 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- TALL FESCUE/KENTUCKY BLUEGRASS, FULL SUN MIXTURE; FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES CERTIFIED TALL FESCUE CULTIVARS 45 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT, SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- KENTUCKY BLUEGRASS/FINE FESCUE, SHADE MIXTURE; FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY INTERMEDIATELY MANAGED TURF AREA, MIXTURE INCLUDES CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES
SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMIC MEMO #11, 'TURFGRASS CULTIVARS RECOMMENDATIONS FOR MARYLAND'.

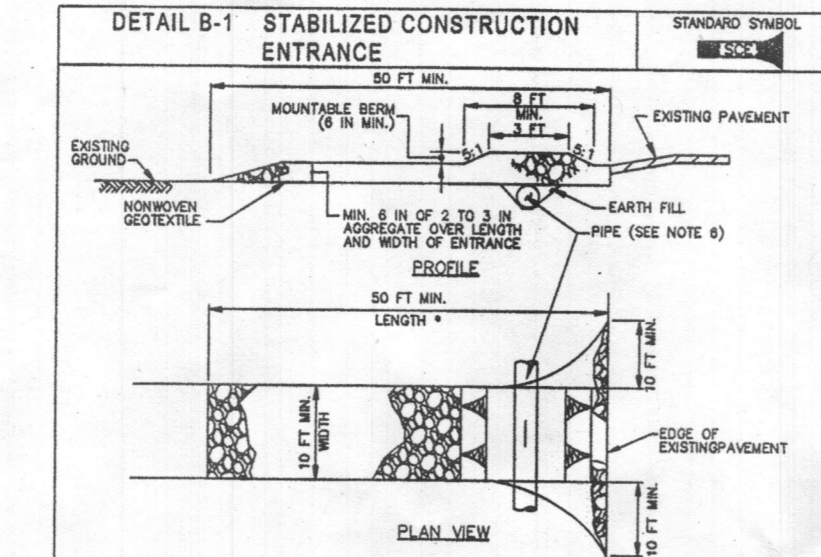
CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

- IDEAL TIMES OF SEEDING FOR TRF GRASS MIXTURES:
 - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONE: 5b, 6a)
 - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6b)
 - SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 7a, 7b)
- TILL AREAS TO RECEIVE SEEDS: 1) DISKS OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES; LEVEE AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1/2 INCHES PER 1000 SQUARE FEET. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOVING OF GRASSES WILL POSE NO DIFFICULTY.
- IF SOIL MOISTURE IS DEFICIENT, APPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS) DURING GERMINATION. UNTIL THEY ARE FIRMLY ESTABLISHED, THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDINGS SUMMARY

SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
	6-8 lb/1,000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 IN.	1.0 lb./1,000 sq. ft. (45 lb./acre)	90 lb./1,000 s.f.

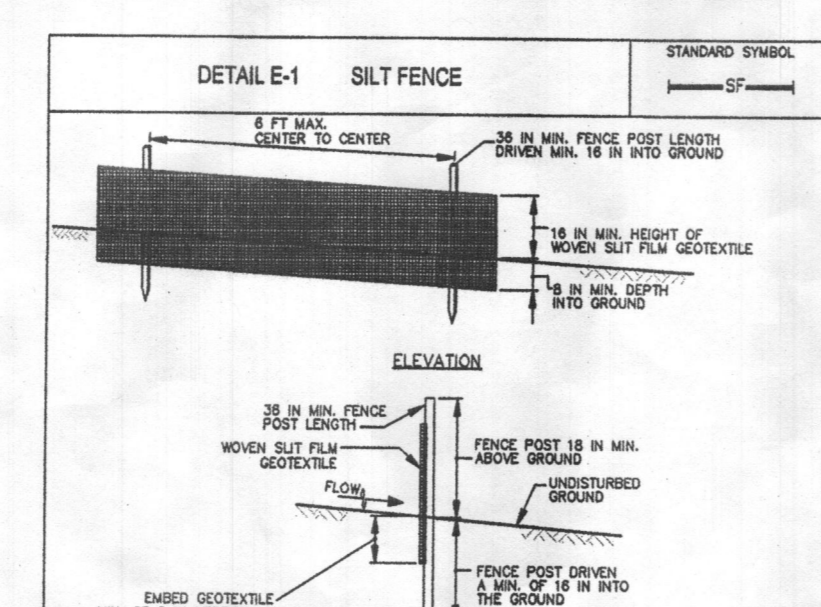
- OTHER CULTIVARS LISTED AS "PROVEN" IN THE MOST CURRENT UMD IT-77 MAY ALSO BE USED.
- SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
- GENERAL SPECIFICATIONS
 - CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JB FOREMAN AND INSPECTOR.
 - SOD MUST BE MACHINE CUT AT UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH. AT THE TIME OF FITTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROWN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPED SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
 - SOD MUST NOT BE HARVESTED, TRANSPORTED OR PLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
 - SOD MUST BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- SOD INSTALLATION
 - DURING PERIODS OF EXCESSIVE HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SOD IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN STRAIGHT LINES WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY JOGGED AGAINST EACH OTHER. STAKE LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOIL IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDING WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
 - WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAKEWAYS, JOINTS, TIE AND TAMPING PEGS OR OTHERWISE SECURE THE SOD TO PREVENT SLIPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND UNDERLAYS. 5. SURFACE OF SOD SHOULD BE LEVEL.
 - WATER THE SOD IMMEDIATELY AFTER LAYING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PANEL SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE TAMPING OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN 5HT HOURS.
- SOD MAINTENANCE
 - IN THE ABSENCE OF ADEQUATE INFALL WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
 - AFTER THE FIRST WEEK, SOD WATERS IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
 - DO NOT MOW UNTIL THE SOD IS FULLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY TRIMMING, CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST INCHES UNLESS OTHERWISE SPECIFIED.



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST BE KEPT OVER THE ENTIRE LENGTH OF THE SOD. USE A MINIMUM LENGTH OF 30 FEET (100 FEET FOR SINGLE RESIDUAL LOT). USE A MINIMUM WIDTH OF 10 FEET. PLACE SOD 10 FEET MINIMUM AT THE ENTRANCE.
- PIPE ALL SURFACE WATER FLOWING TO OR OVERFLOWING THROUGH THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SOD WITH A WATERTIGHT BUSHING OR A MINIMUM OF 2 INCHES OF FIBRE OVER THE PIPE. PROTECT PIPE AS NECESSARY IMMEDIATELY ABOVE AND BELOW THE ENTRANCE.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILES AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CHAIN LINK FENCE (30 TO 36 INCHES IN SIZE) OR EQUIVALENT REINFORCED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE WIDTH AND LENGTH OF THE SOD.
- MAINTAIN ENTRANCE IN A CONDITION THAT MAINTAINS CHANNELING OF FLOW AND STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAR SURFACE, WATERTIGHT BUSHING, AND SLOPED ENTRANCE. IMMEDIATELY ABOVE AND BELOW THE ENTRANCE, DROPPED OR TRAPPED OFF ADJACENT ROADWAY BY VACUATING, REPAIRING AND/OR STRENGTHENING. MAINTAIN ROUTING TO REMOVE AND TRACKING AND MAINTAIN AT ALL APPROPRIATE UNLESS WATER IS DIRECTED TO AN APPROVED CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND GENERAL SERVICES, WATER MANAGEMENT ADMINISTRATION.



CONSTRUCTION SPECIFICATIONS

- USE 1000 PLY IN 4 IN. X 8 IN. X 6 IN. MINIMUM SQUARE CUT OF 50 GRAIN QUALITY HAYSTRONG. AN ALTERNATE IS WOODEN PIPE USE STANDARD "P" OR "O" SECTION STEEL POSTS WEDGING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 30 INCH UNIFORM POSTS DRIVEN 18 INCH MINIMUM INTO GROUND NO MORE THAN 3 FEET AWAY.
- USE NONWOVEN BUT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE MID-SECTION.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT 45 DEGREES TO THE MAIN FENCE ADJUTMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-2 MATERIALS.
- MAKE TWO SECTIONS OF GEOTEXTILE ADJOINING OVERLAP, TRIPLE AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT 45 DEGREES TO THE MAIN FENCE ADJUTMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM SLOPES DEVELOP IN FENCE OR WHEN SEDIMENT REMAINS SIX INCHES HIGH, REPLACE GEOTEXTILE & FENCE. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, 2011. MARYLAND DEPARTMENT OF ENVIRONMENT AND GENERAL SERVICES, WATER MANAGEMENT ADMINISTRATION.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

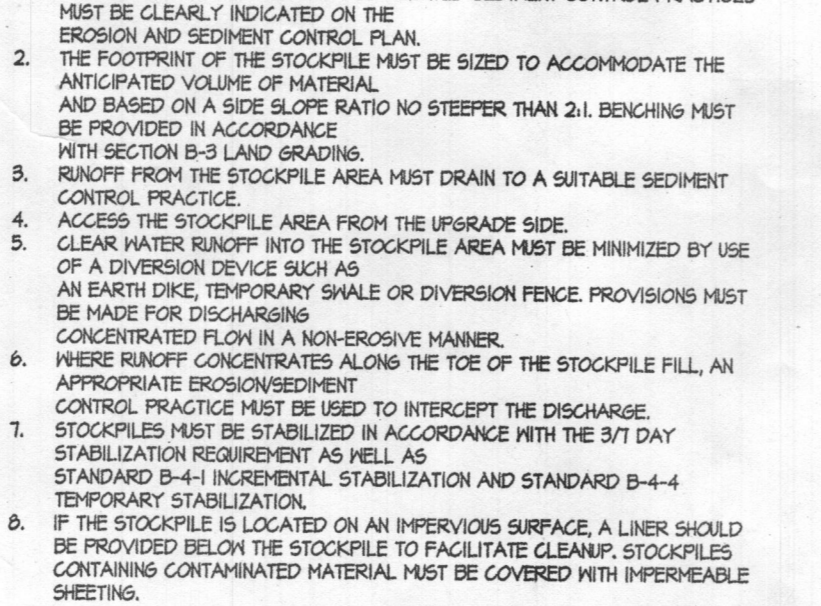
DEFINITION
A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

PURPOSE
TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR SOIL EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

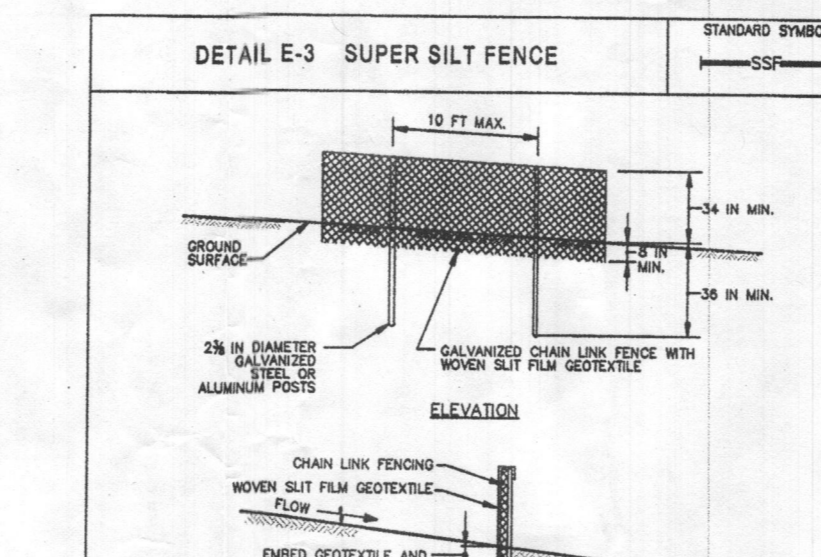
CONDITIONS WHERE PRACTICE APPLIES
STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

CRITERIA

- THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL, AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADINGS.
- REMOVE FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS TO THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SHALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 30 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.



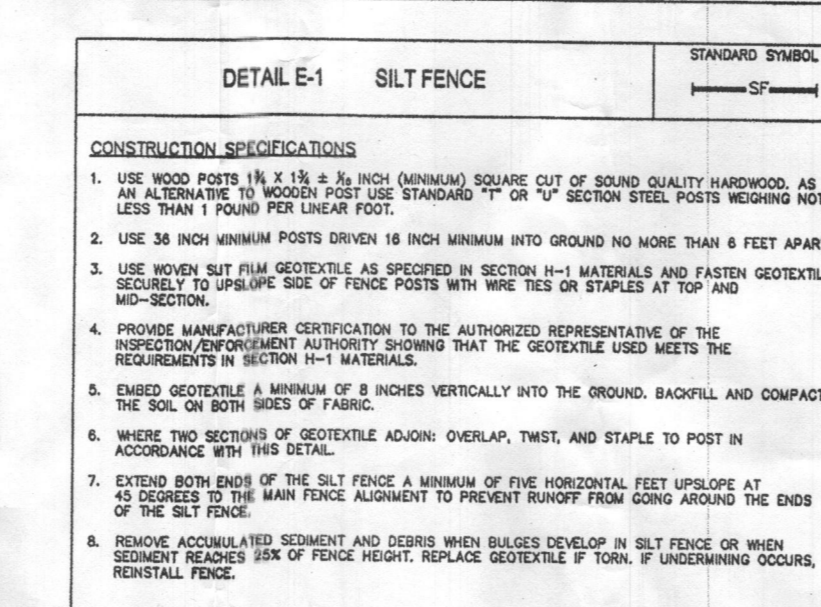
MAINTENANCE
THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADINGS.



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 INCH DIAMETER GALVANIZED STEEL POSTS OF 60 INCH MIN. THICKNESS AND 60 FEET LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (24 INCH MINIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIE OR THIS RING.
- FASTEN NONWOVEN BUT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS SECURELY TO THE UPGRADE SIDE OF CHAIN LINK FENCE WITH THE SPACE EXIST IN THE TOP AND MID SECTION. ENDED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- MAKE ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT 45 DEGREES TO THE MAIN FENCE ADJUTMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-2 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REMAINS SIX INCHES HIGH, REPLACE GEOTEXTILE & FENCE. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCE AND GEOTEXTILE.

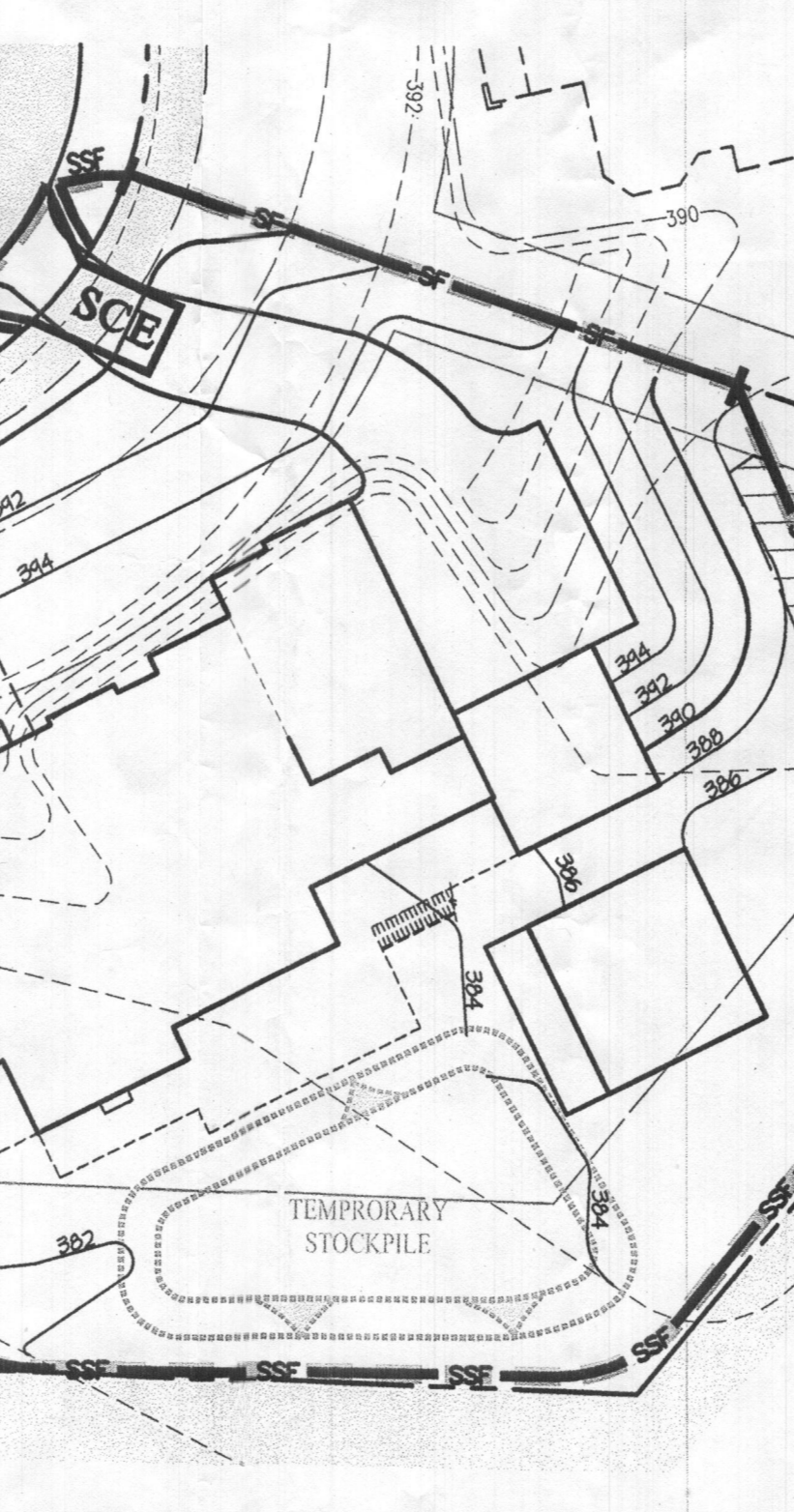
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- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT 45 DEGREES TO THE MAIN FENCE ADJUTMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-2 MATERIALS.
- MAKE TWO SECTIONS OF GEOTEXTILE ADJOINING OVERLAP, TRIPLE AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
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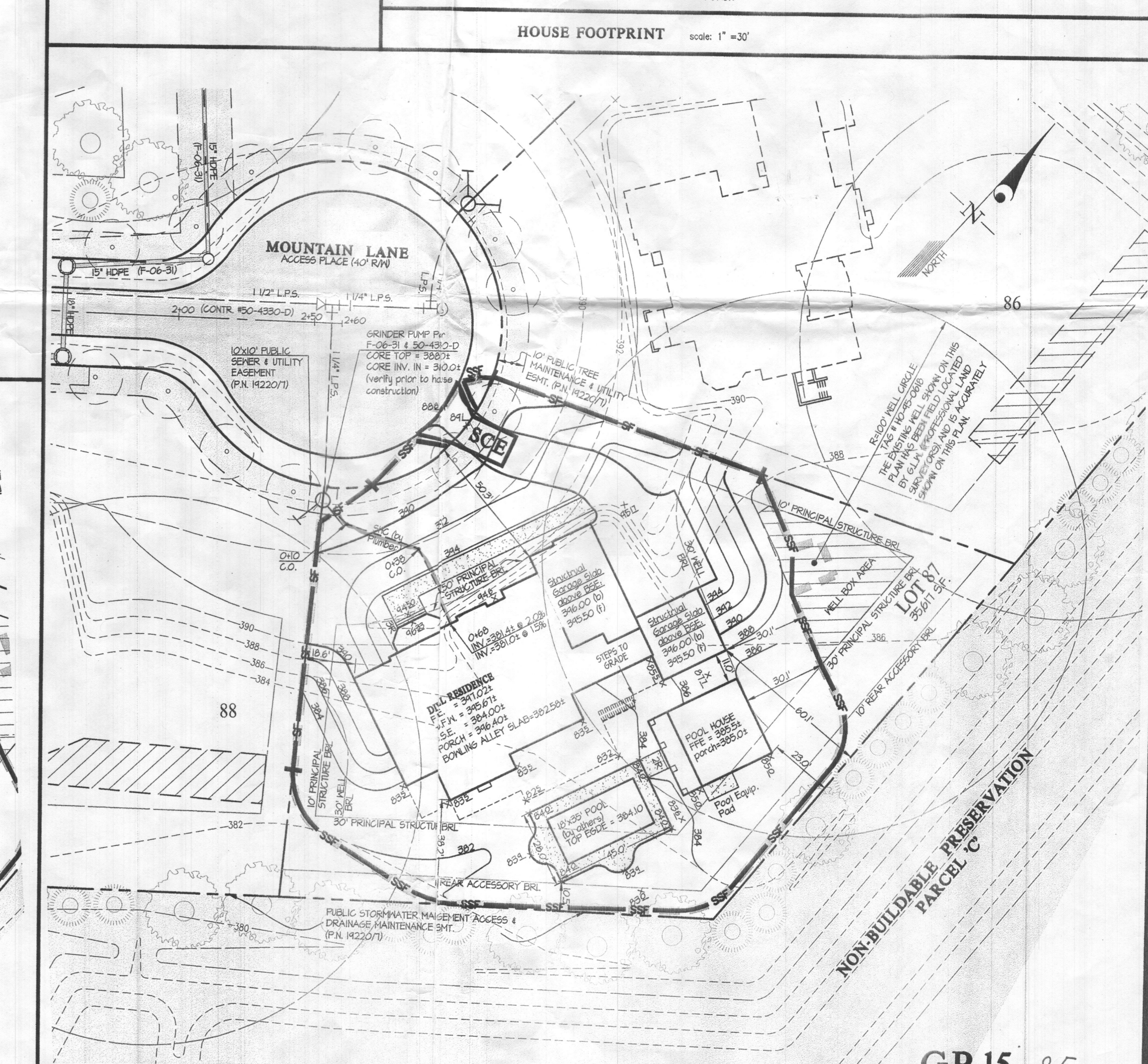
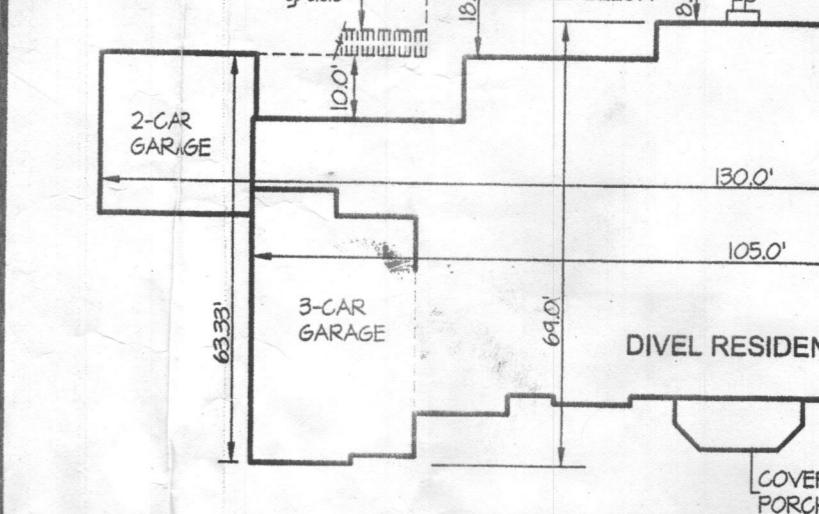
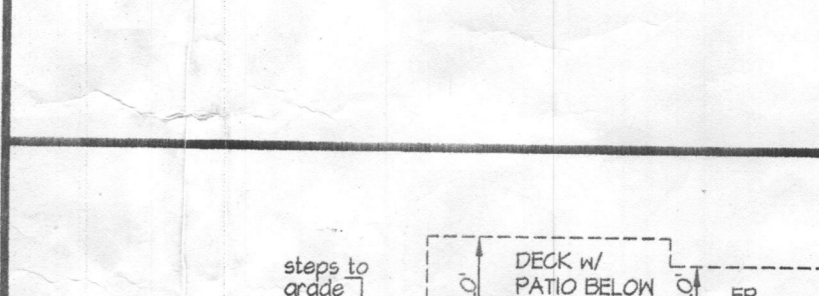
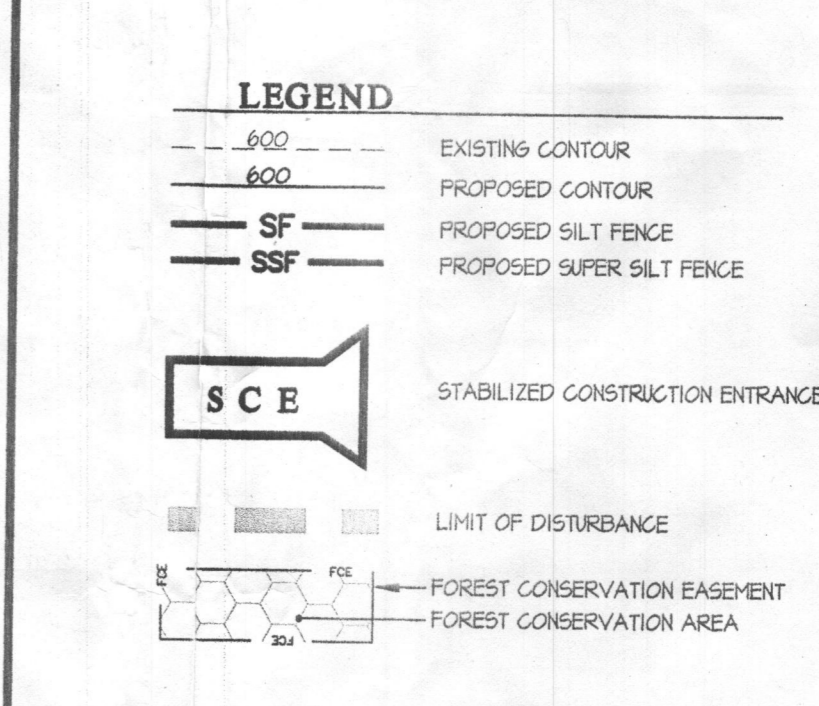
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SEQUENCE OF CONSTRUCTION

- APPLY FOR A GRADING PERMIT AND A BUILDING PERMIT.
- IF THE HOUSE CONSTRUCTION AND ASSOCIATED GRADING WORK ON THIS LOT OCCURS WHILE THE F-06-031 ROAD CONSTRUCTION IS STILL ACTIVE, COORDINATE THE HOUSE CONSTRUCTION/GRADING WORK WITH THE F-06-031 SEDIMENT CONTROL MEASURES. OTHERWISE, INSTALL THE SUPER SILT FENCE (SSF), SILT FENCE (SF) AND THE STABILIZED CONSTRUCTION ENTRANCE (SCE) FOR THIS LOT AS SHOWN.
- CONSTRUCT THIS HOME SITE.
- STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDINGS NOTES OR WITH MARYLAND CERTIFIED SOD.
- OBTAIN PERMISSION FROM THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI) TO REMOVE ANY SEDIMENT CONTROL FEATURES THAT ARE NO LONGER NEEDED.

- NOTES**
- THE LOT SHOWN IS 35,611 SF, AND IT IS RECORDED UNDER PLAN NO. 14220-14221 AMONG THE LAND RECORDED BY HOWARD COUNTY, MARYLAND.
 - EXISTING TOPOGRAPHY IS FROM F-06-031. CALL G.L.W. IF FIELD CONDITIONS ARE SUBSTANTIALLY DIFFERENT.
 - THIS LOT IS SERVED BY A PRIVATE WELL AND BY A COMMUNITY SEPTIC SYSTEM PER F-06-031 & CONTRACT #50-4830-D.
 - STORMWATER MANAGEMENT IS PROVIDED BY THE PONDS CONSTRUCTED UNDER F-06-31.
 - THE PLUMBER SHALL START AT THE GRINDER PUMP AND WORK TO THE HOUSE WHEN INSTALLING THE SHC. PUMP INFORMATION IS FROM DESIGN PLAN AND SHALL BE AS-BUILT AT HOUSE TAKE-OUT TO VERIFY WHETHER SERVICE IS TO THE BASEMENT LEVEL OR ONLY TO THE FIRST FLOOR LEVEL.



GP-15-85

SCALE: 1"=30'

ZONING: RC-DEO

G. L. W. FILE NO. 14013

TAX MAP - GRID PARCEL 74 28 - 18, 17

SHEET 1 of 1

DATE: JUNE 2015

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

WALNUTGROVE

LOT 87 (5104 MOUNTAIN LANE)

PLAT Nos. 120-19227

PREPARED FOR: ASHLEY CUSTON HOMES, 1605 LINCOLN AVENUE, BALTIMORE, MD 21211, PH: (410) 559-0000, Attn: Dani Tabor

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 28, 2016. *6/15/15*