

PERMIT NUMBER: B20001856

DATE ACCEPTED:

RECEIVED JUN 11 2020 LICENSING PERMITS DIVISION



COMMERCIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED
Street Address: 16031 Ed Warfield Road
City: Woodbine
State: MD
Zip Code: 21797
Subdivision/Village/Complex Name:
Lot: PAR A Tax Map: 0013 Parcel: 0334 Grading Permit #:
SDP/WP/BA #: SDP-20-012

DESCRIPTION OF WORK REQUIRED
Existing Use: Vacant Proposed Use: B2 Commerical Estimated Cost: \$200,000
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
NEW BLDG T (PER PLANS)

PROPERTY OWNER INFORMATION REQUIRED
Owner(s) Name(s) (As it appears on tax records): Daisy Crossroads LLC
Owner's Street Address: 16135 Ed Warfield Road
City: Woodbine State: MD Zip Code: 21797
Phone: Email:

TENANT INFORMATION REQUIRED
Business Name: McWhorter Construction LLC Contact Name: Ryan McWhorter
Street Address: 6851 Redberry Road
City: Clarksville State: MD Zip Code: 21029
Phone: (410) 984-5813 Email: ryan@mcwhorterconstruction.net

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION
Business Name: McWhorter Construction LLC Contact Name: Ryan McWhorter
Street Address: 6851 Redberry Road
City: Clarksville State: MD Zip Code: 21029
Phone: (410) 984-5813 Email: ryan@mcwhorterconstruction.net

CONTRACTOR INFORMATION REQUIRED
Business Name: McWhorter Construction LLC
Licensee's Name: Ryan McWhorter License #: 91659
Street Address: 6851 Redberry Road
City: Clarksville State: MD Zip Code: 21029
Phone: (410) 984-5813 Email: ryan@mcwhorterconstruction.net

ARCHITECT/ENGINEER INFORMATION REQUIRED - INDIVIDUAL WHO SIGNED PLANS
Business Name: Mid-Atlantic Structural Engineering Name: Robert Wyatt
Street Address: 309 CEntrury Drive
City: Oxford State: PA Zip Code:
Phone: Email: rwyatt@midatl-se.com

BUILDING CHARACTERISTICS (PLEASE SELECT/COMPLETE ALL THAT APPLY)
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes:#
Sprinkler System: NFPA 13 NFPA 13R None Fire Alarm System: Yes No Voice Evac

ADDITIONAL COMMERCIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)
Area of Construction: 4,990 sq ft Gross Area: 4,990 sq ft Height: 33 ft # of Stories: 1
Construction Classification(s): Type V-B Use Group: B-Business
Was the tenant space previously occupied? Yes No Shell Building Permit # (for interior completions):

ADDITIONAL MULTI-FAMILY INFORMATION IF APPLICABLE
of efficiency units (MF): # of 1 BR (MF): # of 2 BR (MF): # of 3 BR (MF):
Energy Method: Performance UA Alternative ERI A 90.1 Gross Area: sq ft Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 6/11/20

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY
AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: 200 PAYMENT: 3006 ACCEPTED BY: DRISP BOY

COMM. NEW

ED WARTILL ROAD

(MAJOR COLLECTOR)
(SCENIC ROAD)
(POSTED 30 MPH)

EX. POWER
Pole# 92858

Ex. White Line
Ex. Double Yellow Lines
Ex. White Line

3+50

3+00

2+50

2+00

1+50

1+00

0+50

0+00

0+50

0+00

CENTERLINE EX. DITCH

582°51'10"E 295.00'

R=25'

PARCEL 'A'
ZONED B-2
1.985 AC. ±
PROPOSED STORAGE

OFFICE

FF UPPER LEVEL: 551.55

FF LOWER LEVEL: 547.80

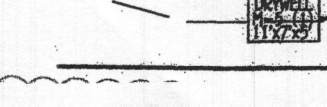
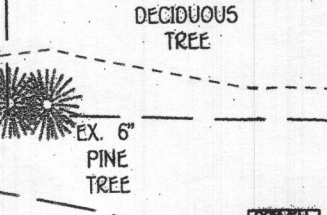
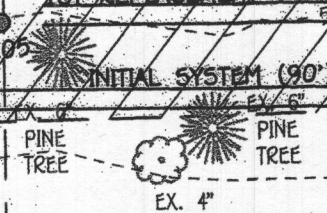
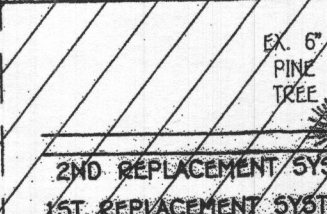
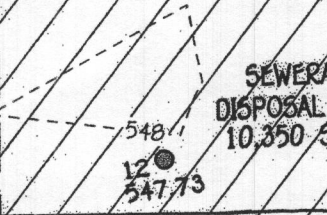
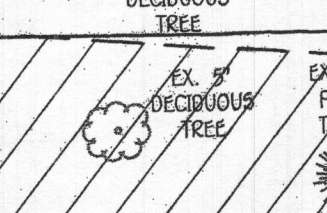
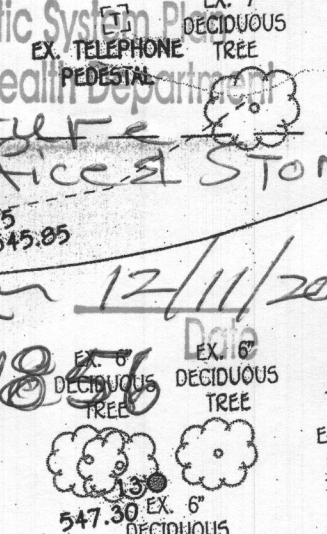
4,997 Sq.Ft.

50.0'

LEVEL AREA
547.70 (10'x7')

LEVEL AREA
551.28 (10'x7')

Approved Septic System Plan
Howard County Health Department
Structure as Office & Storage
12/11/2020
Signature
30001856
Date



DAISY ROAD
(MAJOR COLLECTOR)
(SCENIC ROAD)
(POSTED 35 MPH)

DEPARTMENT OF PUB
WORKS
15859 UNION CHAPEL I
L13182, F.179
ZONED: RC-DEO
(VACANT)

COPY
SDP-20-012
Sheet 2

BY MARY
RIDGE

TREELINE

507°08'50"W 270.00'

2ND REPLACEMENT SYSTEM
1ST REPLACEMENT SYSTEM
INITIAL SYSTEM (90')

EX. 6" PINE TREE
EX. 4" DECIDUOUS TREE
EX. 6" PINE TREE

6" PVC ROOF LEADER
6" PVC ROOF LEADER
6" PVC ROOF LEADER

30' B.R.L.

FUTURE STORAGE
FF 547.80
4,997 Sq.Ft.

104.3'

50.0'

EX. 10" DECIDUOUS TREE
(TO BE REMOVED)

THREE EX. 6" DECIDUOUS TREE

EX. TRUCK WARNING SIGN
(To Be Relocated)

TWO EX. 8" DECIDUOUS TREES

EX. SIGN
SPEED LIMIT 35 MPH

14' Ex Pav.

16.5' Ex. Paving

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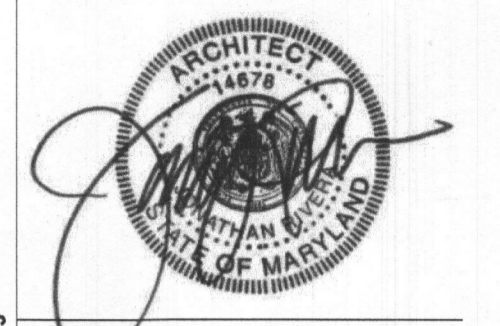
16.5' Ex. Paving

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16.5' Ex. Paving

16



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 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 License Number #14678
 Expiration Date: 6/30/2020

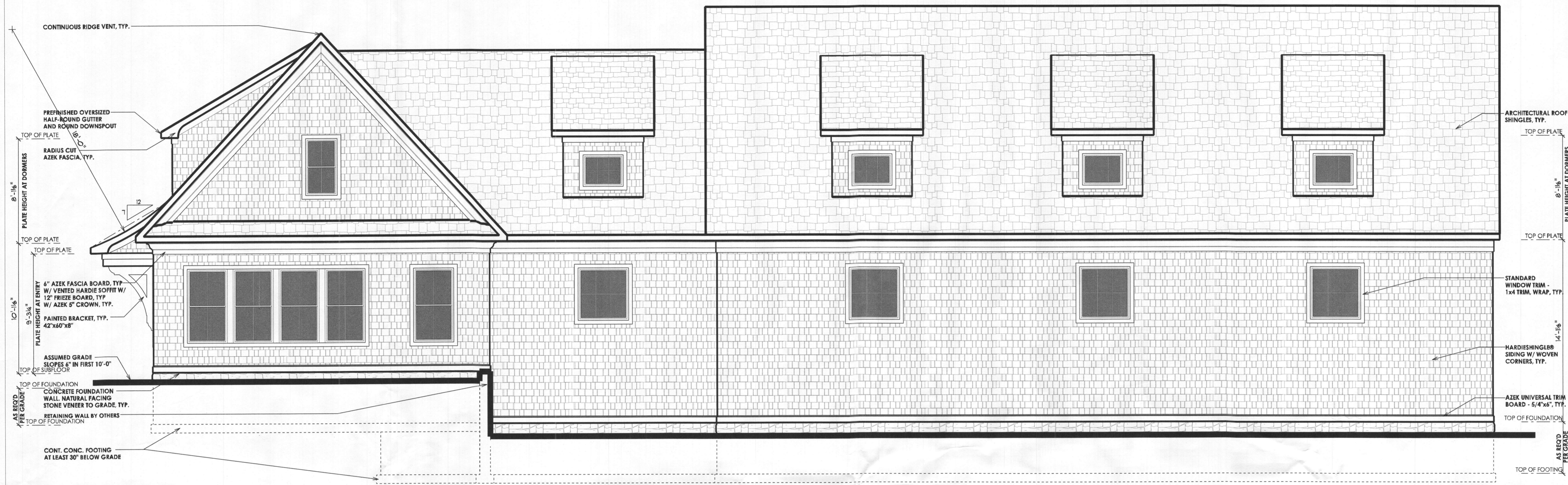
McWhorter Office
 PROPOSED WORKSHOP
 16031 Ed Warfield Road, Woodbine, Maryland 21797

REVISIONS

NO.	DATE	REVISION
1	9-2-19	REVIEW

RECEIVED
 JUN 11 2020
 LICENSES & PERMITS
 DIVISION
 ISSUE DATES
 3-15-18 PERMIT REVIEW

SCALE: 1/4" = 1'-0"
ELEVATIONS
1.01
 PRINT DATE:
 Wednesday, June 3, 2020



RIGHT ELEVATION



FRONT ELEVATION



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 P R O P O S E D W O R K S H O P
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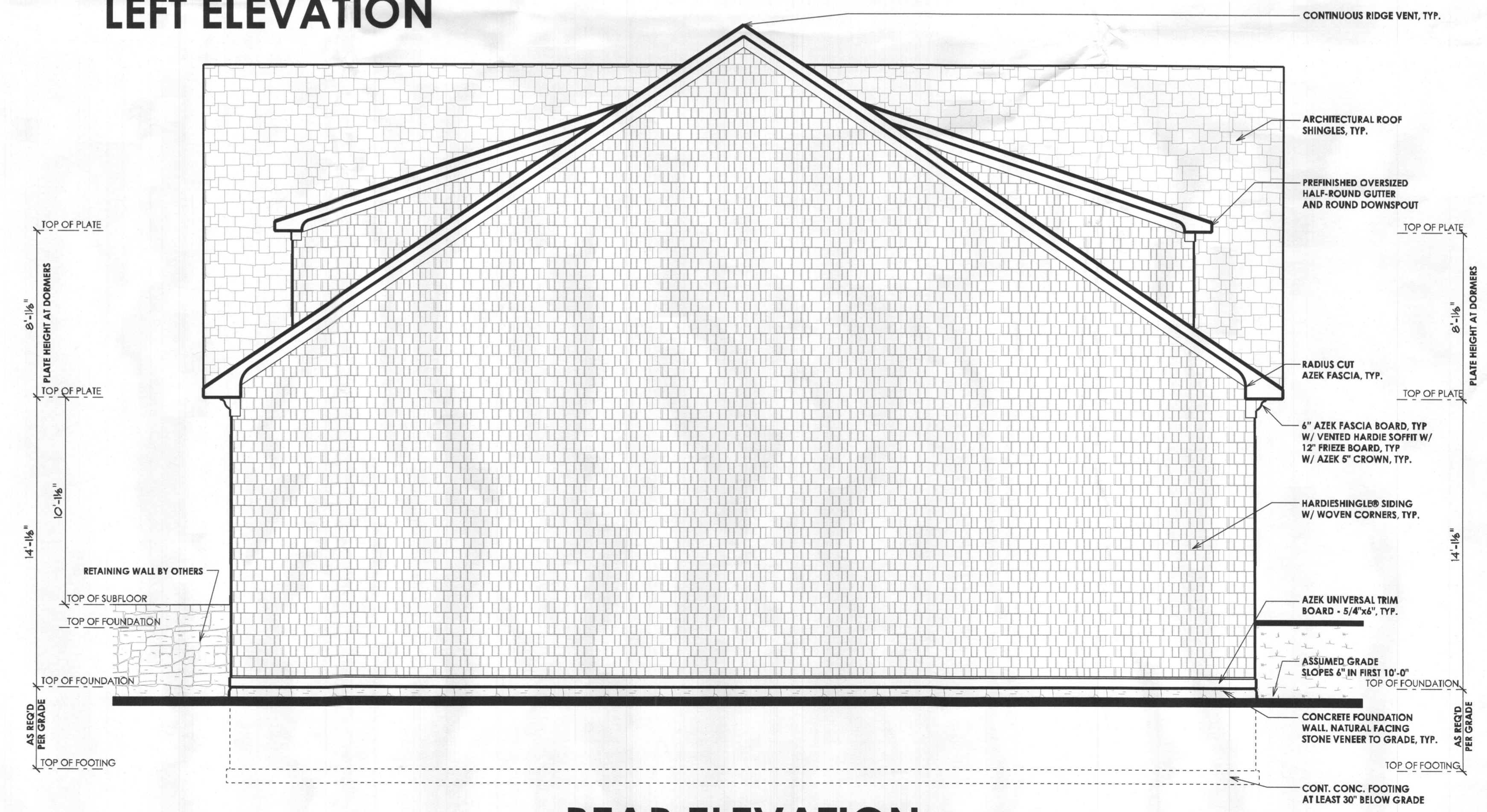
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1.02
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LEFT ELEVATION



REAR ELEVATION

TYPICAL HOUSE BOX FOUNDATION WALL

MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)
MIN. 8"x16" CONTINUOUS FOOTING

TYPICAL GARAGE FOUNDATION WALL

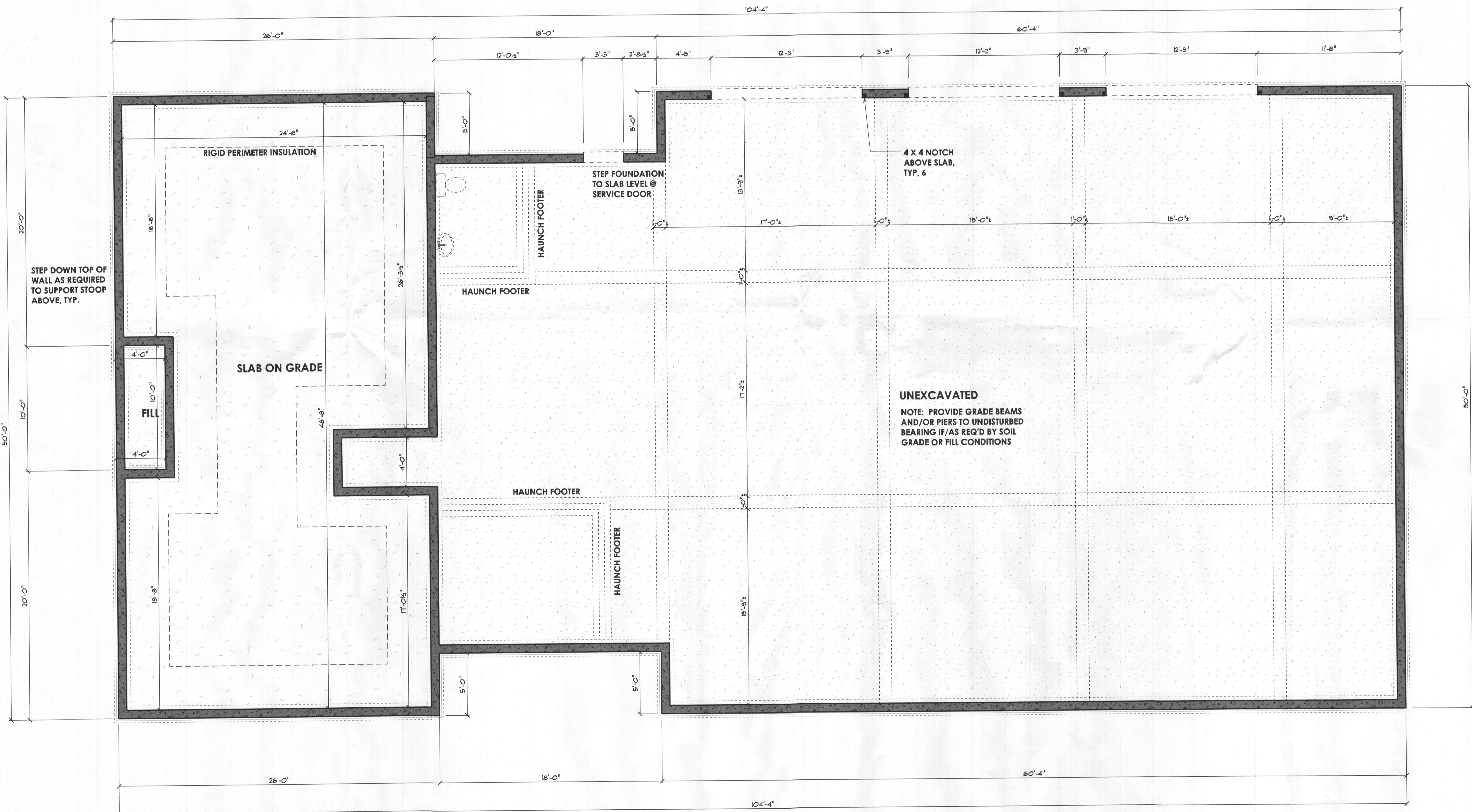
MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)
MIN. 8"x16" CONTINUOUS FOOTING

FOUNDATION NOTES

- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THROUGH U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 8" OR 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 6) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.



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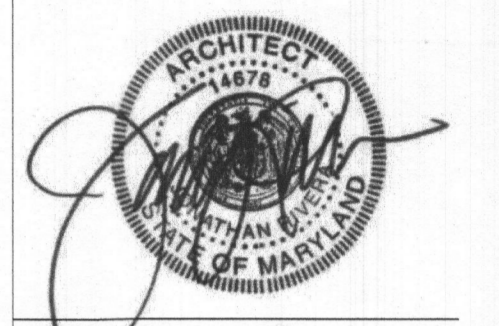
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FOUNDATION
2.01

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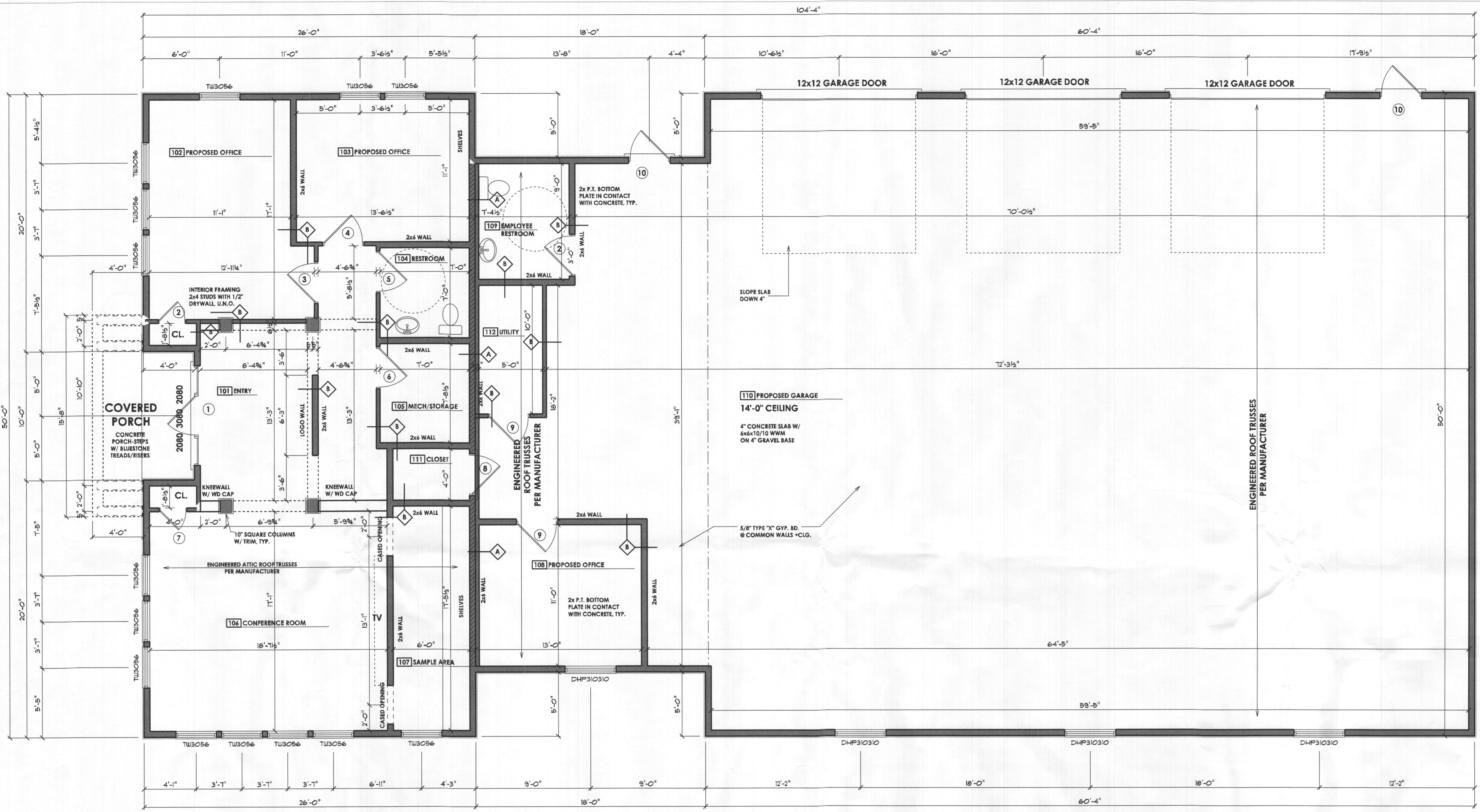
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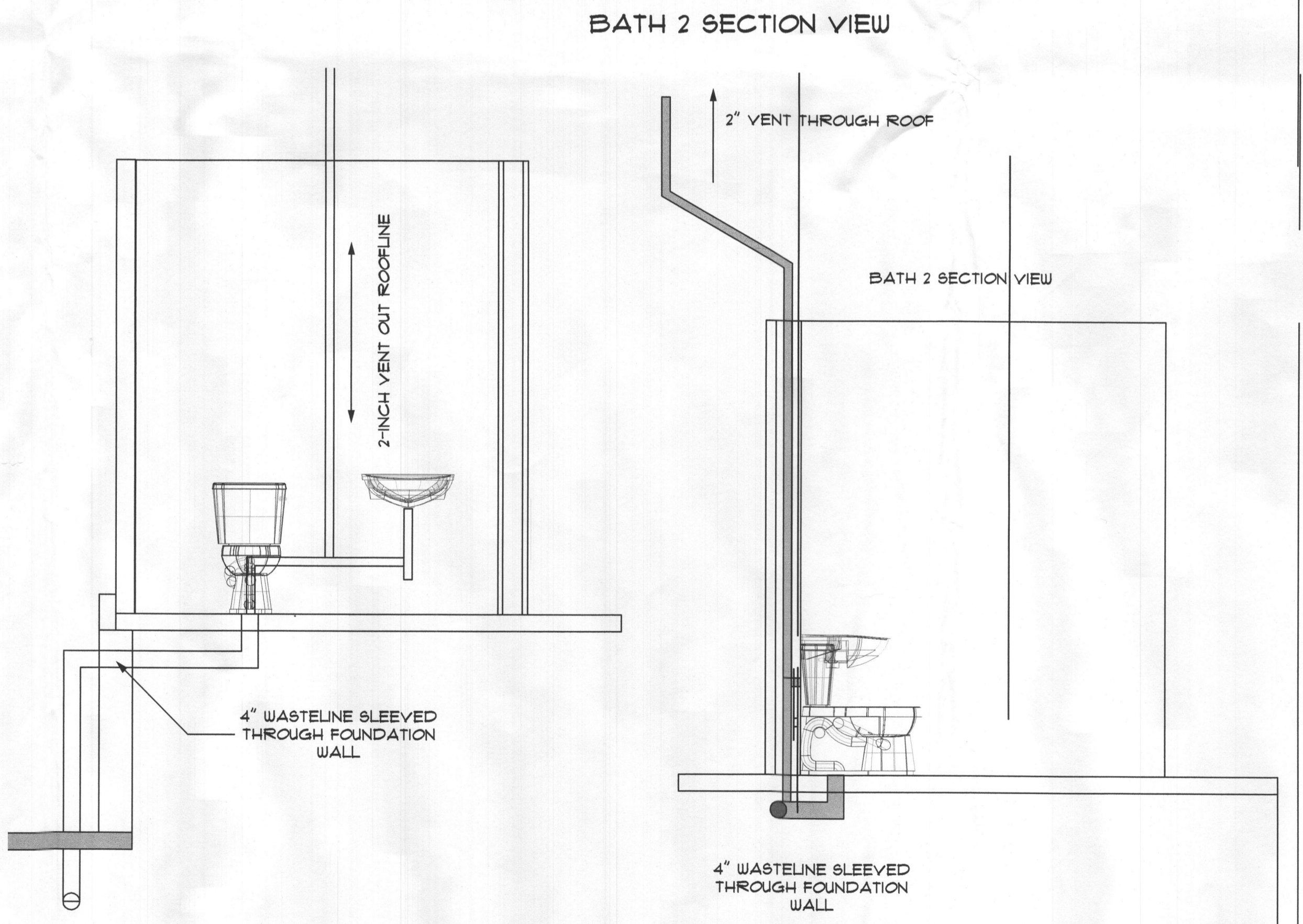
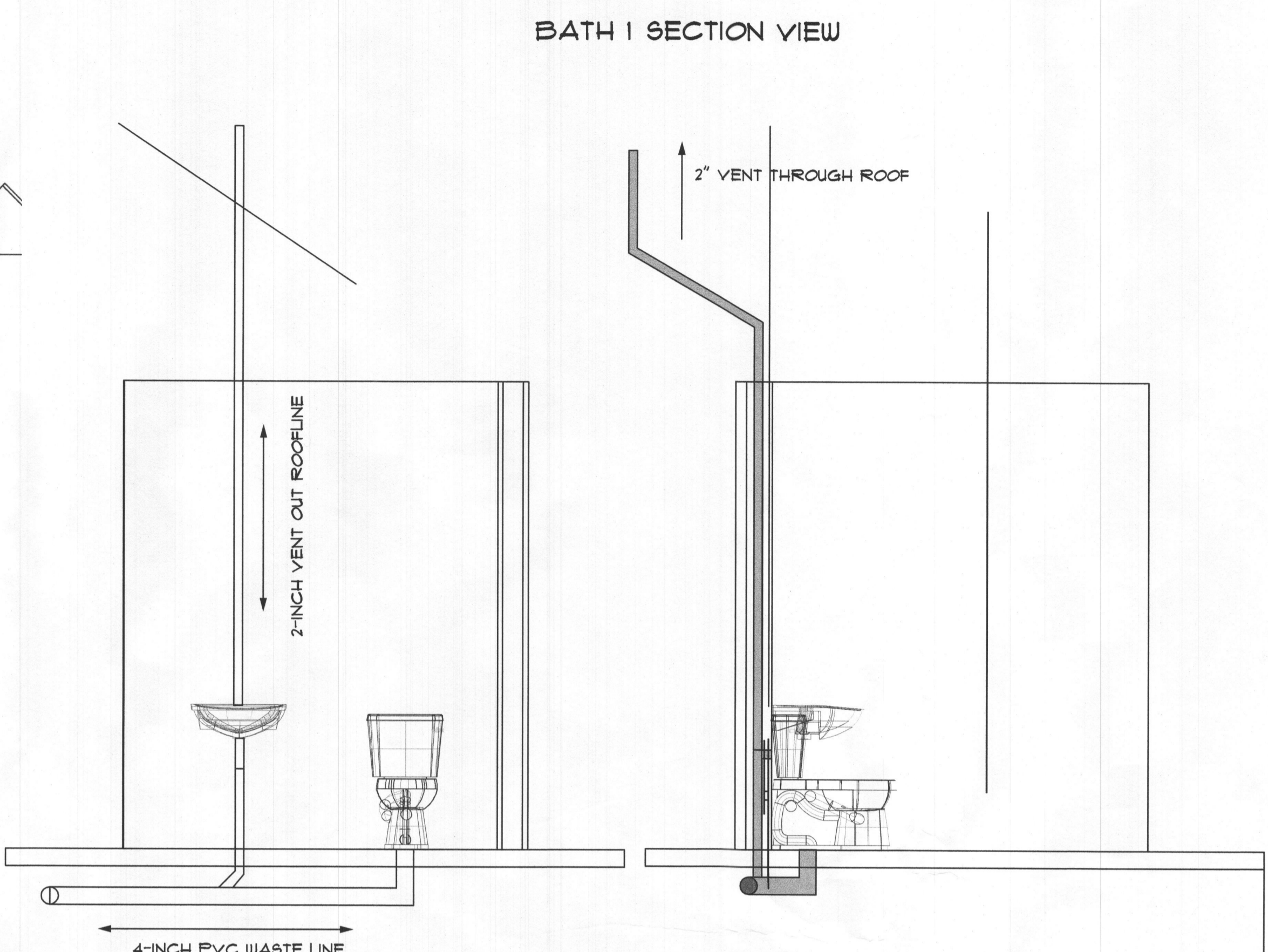
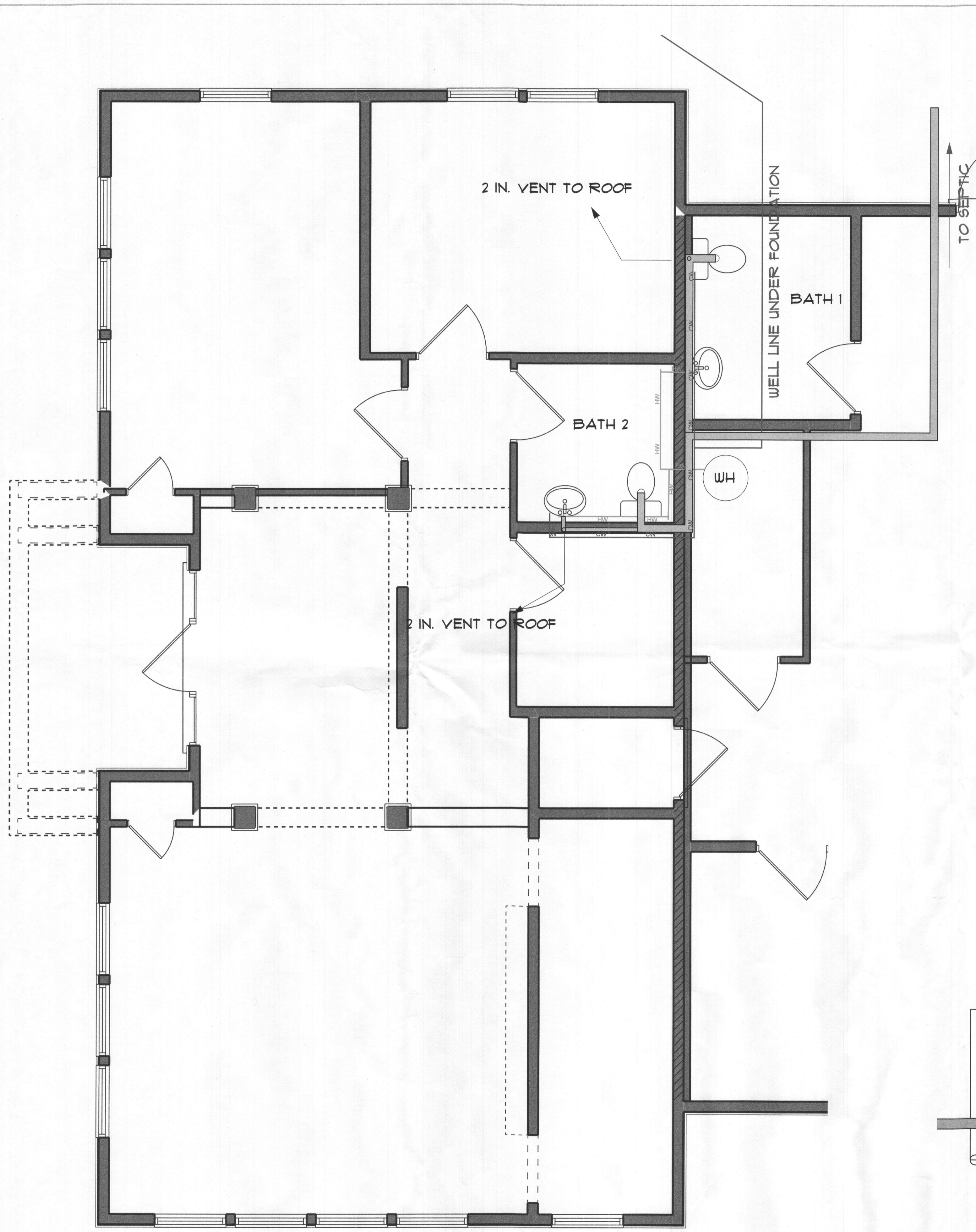
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 3-15-18 PERMIT REVIEW

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1ST FLOOR
3.01
 PRINT DATE:
 Wednesday, June 3, 2020



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL
 TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5
 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL



ARCHITECTURE
JONATHAN RIVERA
Every detail matters.
 (443) 226-5745
 JONATHANRIVERA.COM



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PLUMBING
P1
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 Tuesday, June 02, 2020