

PERMIT NUMBER: B 20002849

DATE ACCEPTED:

RECEIVED

RESIDENTIAL BUILDING PERMIT APPLICATION AUG 25 2020



HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

LICENSES & PERMITS DIVISION

BUILDING SITE ADDRESS REQUIRED

Street Address: 2884 Florence Road
City: Woodbine
State: MD
Zip Code: 21797
Subdivision/Village/Complex Name: St. Michaels Overlook
SDP/WP/BA #:
Lot: 2
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Residential
Proposed Use: Residential
Estimated Cost: \$60,000.00
Trade Work to Be Completed (Separate Permits Required):
Construct a 360 sf addition with a 96 sf porch at the rear door, construct a roof over existing 56 sf front porch, remodel kitchen and add a two fixture powder room in existing structure

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Christina M Mayhew and Michael J Mayhew
Primary Residence: Yes
Owner's Street Address: 2884 Florence Road
City: Woodbine
State: MD
Zip Code: 21797
Phone: (443) 745-5771
Email: cmayhew@bhmde.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Preferred Construction, Inc
Contact Name: Christina Mayhew
Street Address: 2884 Florence Road
City: Woodbine
State: MD
Zip Code: 21797
Phone: (443) 745-5771
Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: Preferred Construction, Inc
Licensee's Name: Christina Mayhew
License #: 126971
Street Address: 2884 Florence Road
City: Woodbine
State: MD
Zip Code: 21797
Phone: (443) 745-5771
Email: cmayhew@bhmde.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas, Water Supply, Sewage Disposal
Heating System: Electric, Natural Gas, Propane, Other
Sprinkler System: NFPA 13, 13R, 13D, None
Fire Alarm System: Yes, No, Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Cape Cod
of Bedrooms (SF): 3
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms: 12
Full Baths: 3
Half Baths: 0
Fireplaces: 0
Garage/Carport Info: Attached Garage, Detached Garage, Integral Garage, Carport, None
Basement/Foundation Info: Slab on Grade, Post & Pier, Unfinished Basement, Finished Basement: Full or Partial
1st Fl Width: 48
1st Fl Depth: 28
2nd Fl Width: 12
2nd Fl Depth: 36
Bsmt Width: 48
Bsmt Depth: 28
Energy Method: Prescriptive, Performance, UA Alternative, ERI
Gross Area: 2,680 sq ft
Occupiable Area: 1,660 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE
DATE SIGNED: 8/25/2020

FOR OFFICE USE ONLY

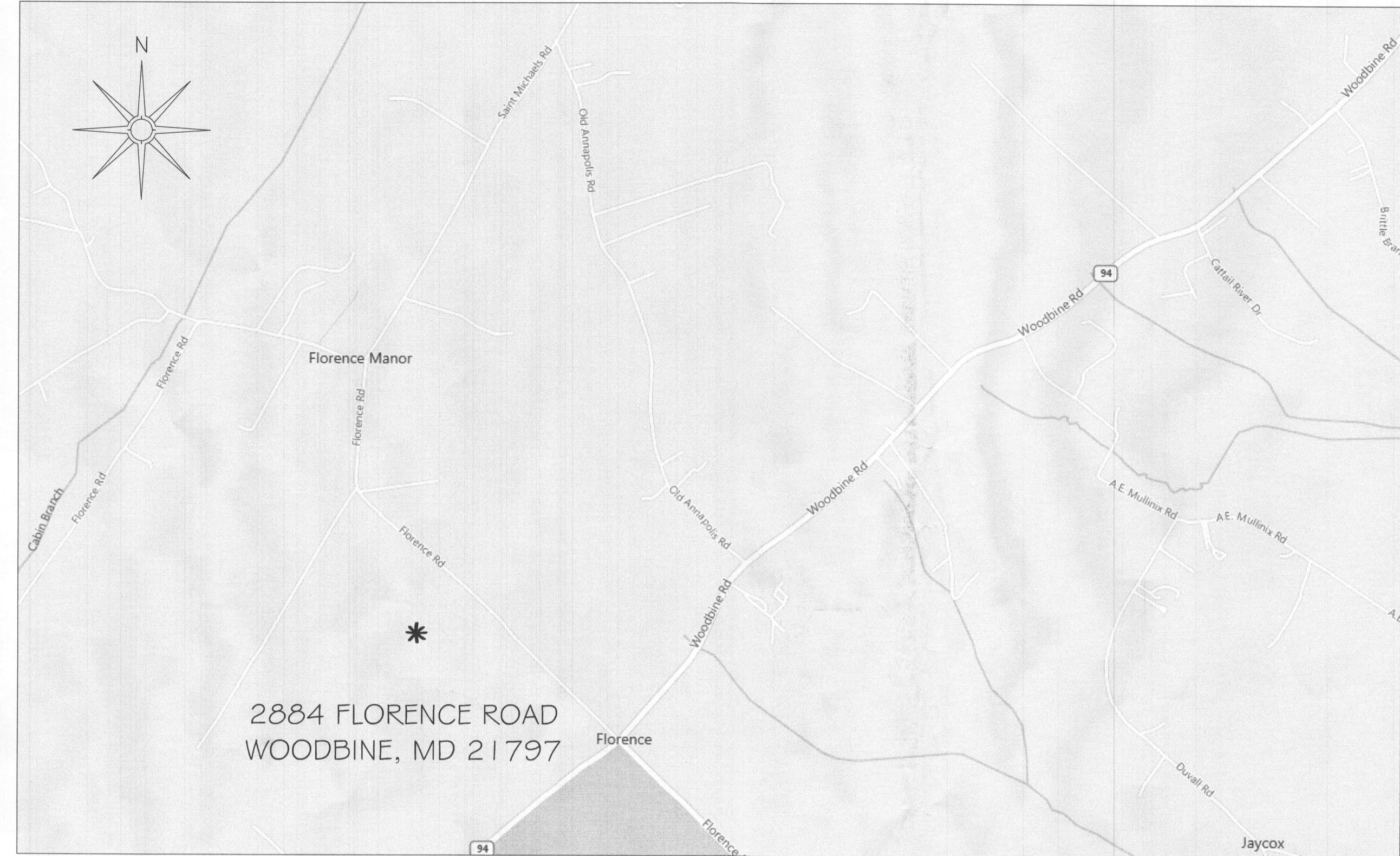
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
PR, DPZ, DED, Health, SHA, CID

SUBMITTAL FEES: 2544
PAYMENT: 2544
ACCEPTED BY: [Signature]

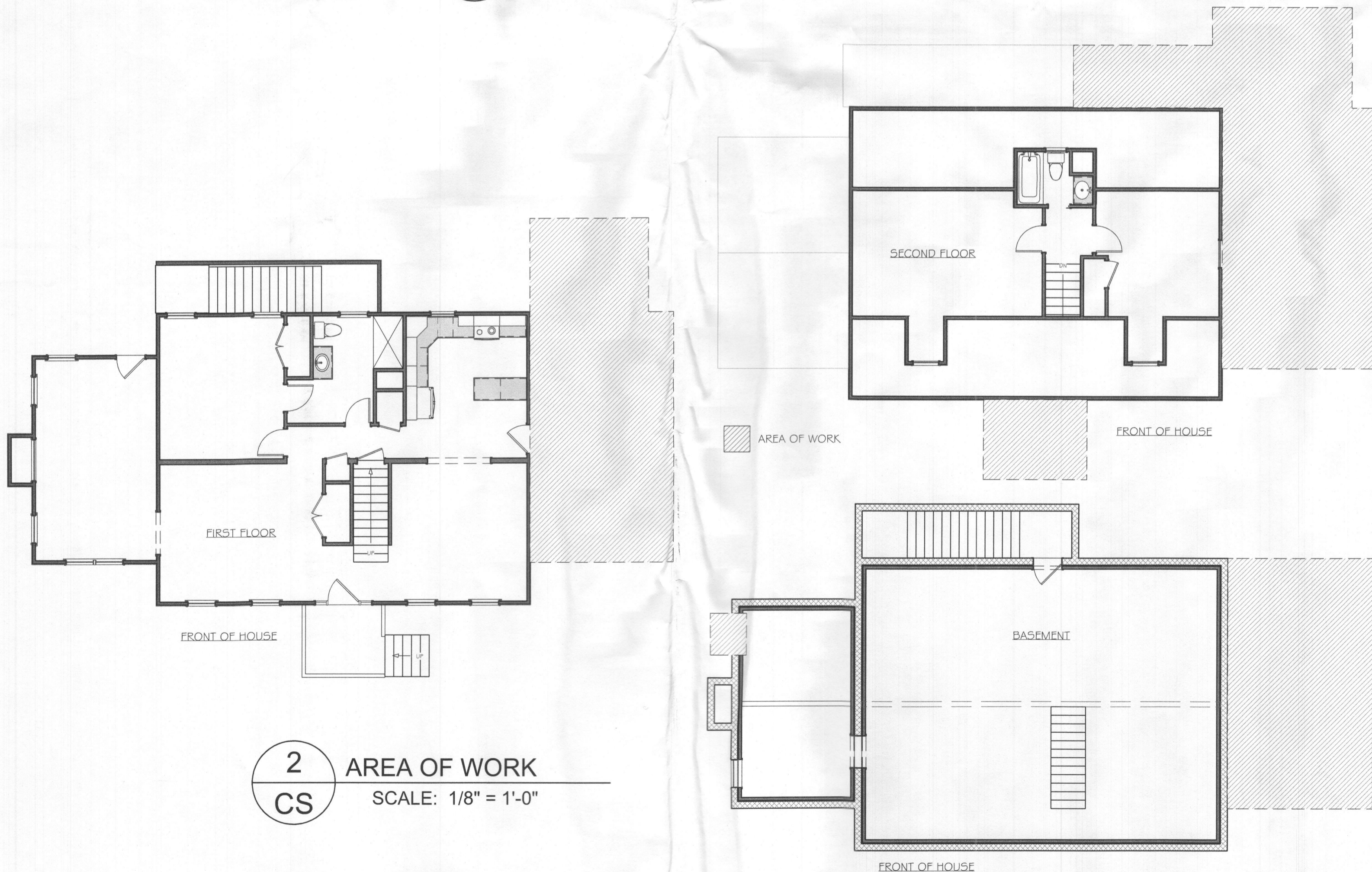
MAYHEW ADDITION AND PORCH

Approved
B20002849
R/E 9/16



4 EXISTING RIGHT SIDE ELEVATION
CS SCALE: NTS

3 LOCATION MAP
CS SCALE: NTS



2 AREA OF WORK
CS SCALE: 1/8" = 1'-0"

RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS							PER IRC 2015				
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
30 PSF (1.4 kN/m ²)	115 MPH (185 KM/HR)	B	SEVERE	30" (610 MM)	MODERATE TO HEAVY	SLIGHT TO MODERATE	13°F (-10.6°C)	YES	July 2, 1979	300	55°F (12.8°C)

CS	COVER SHEET	NTS
AE-1	EXISTING FLOOR PLANS	1/4" = 1'-0"
A-0	DEMOLITION PLANS	1/4" = 1'-0"
A-1	PROPOSED FLOOR PLANS	1/4" = 1'-0"
A-2	EXTERIOR ELEVATIONS	5/16" = 1'-0"
A-3	SECTION DETAILS	1/2" = 1'-0"
S-1	STRUCTURAL PLANS	1/4" = 1'-0"

1 TABLE OF CONTENTS
CS SCALE: NTS

PREFERRED CONSTRUCTION

CONTRACTOR
PREFERRED CONSTRUCTION, INC
2884 FLORENCE ROAD
WOODBINE, MD 21797
(410) 489-6156

PERMIT DRAWINGS

CLIENT

MAYHEW RESIDENCE
2884 FLORENCE ROAD
WOODBINE, MD 21797
HOWARD COUNTY

CLIENT APPROVAL

SCOPE OF PROJECT
CONSTRUCT A NEW 360 S.F. ADDITION TO REPLACE EXISTING SIDE PORCH. CONSTRUCT A NEW 96 S.F. PORCH ON REAR OF NEW ADDITION.

DRAWING NAME

COVER SHEET

DATE

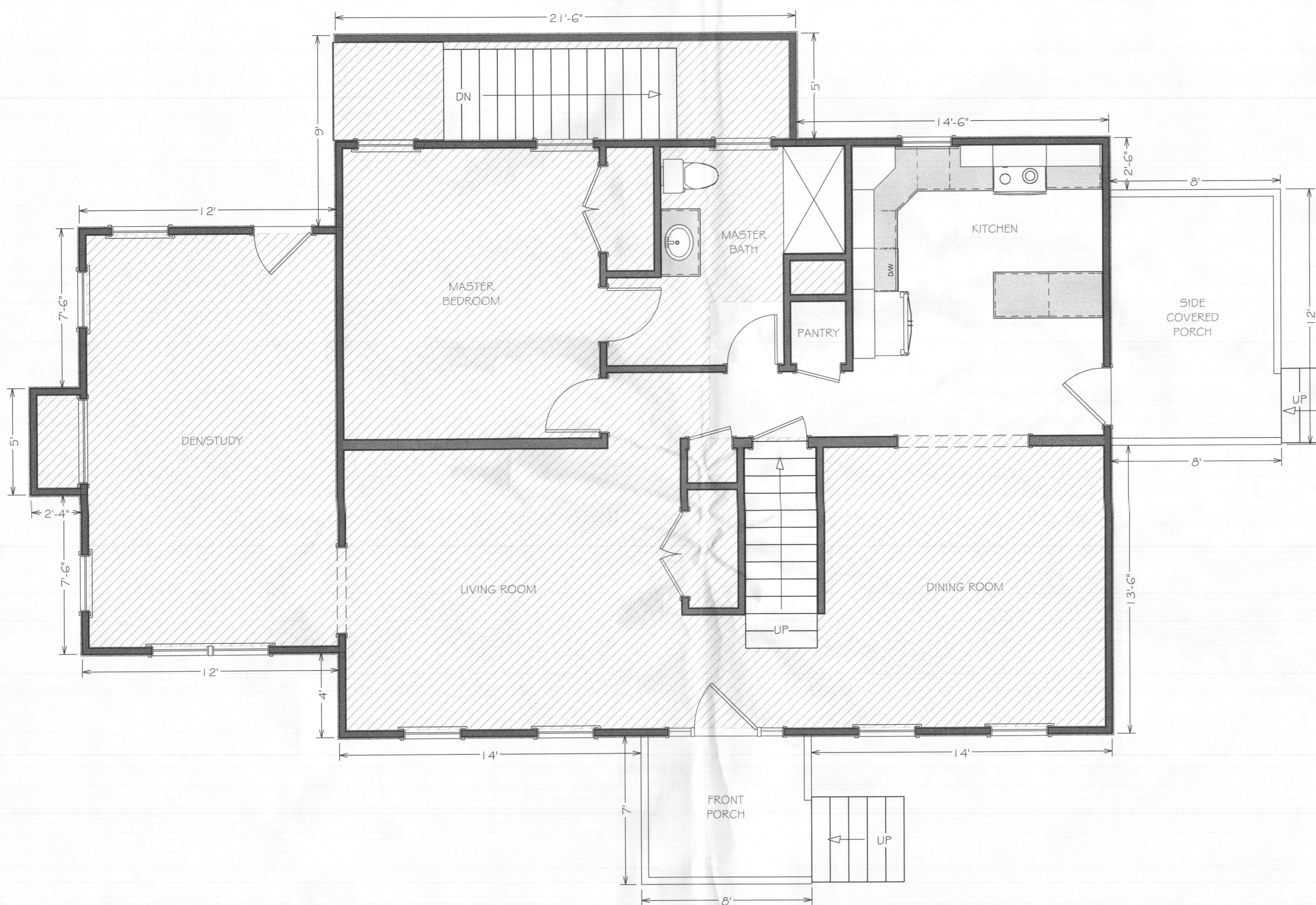
AUGUST 12, 2020

DRAWING NUMBER

CS

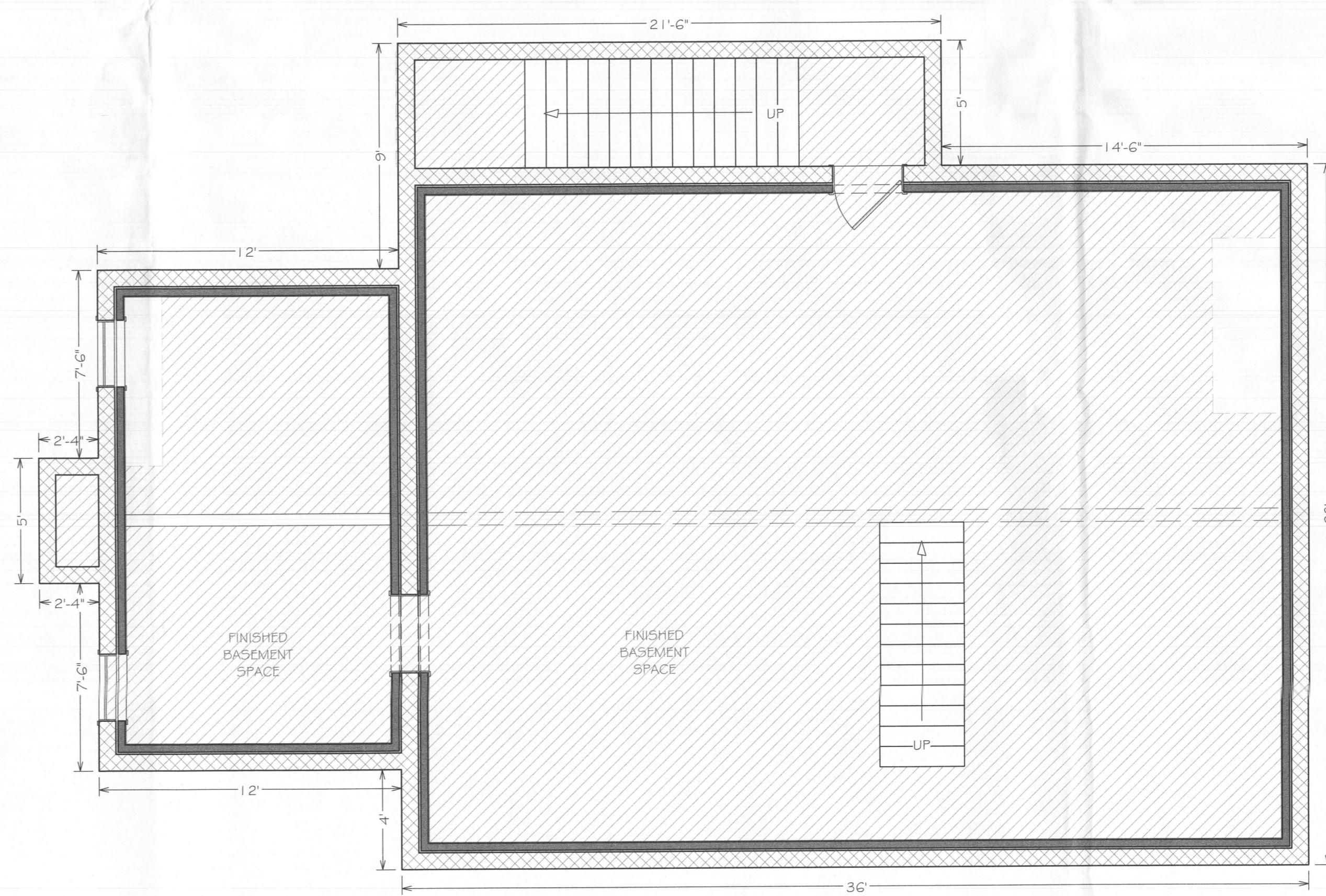
GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS AND ORDINANCES.
2. ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
3. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE DESIGNER AND CONTRACTOR, AND SHALL BE WORKED OUT IN THE FIELD.
4. DRAWINGS ARE TO BE READ AND NEVER SCALED.
5. PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
6. THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH AND DEBRIS.
7. FOLLOW INDUSTRY GUIDELINES AND REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
8. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
9. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

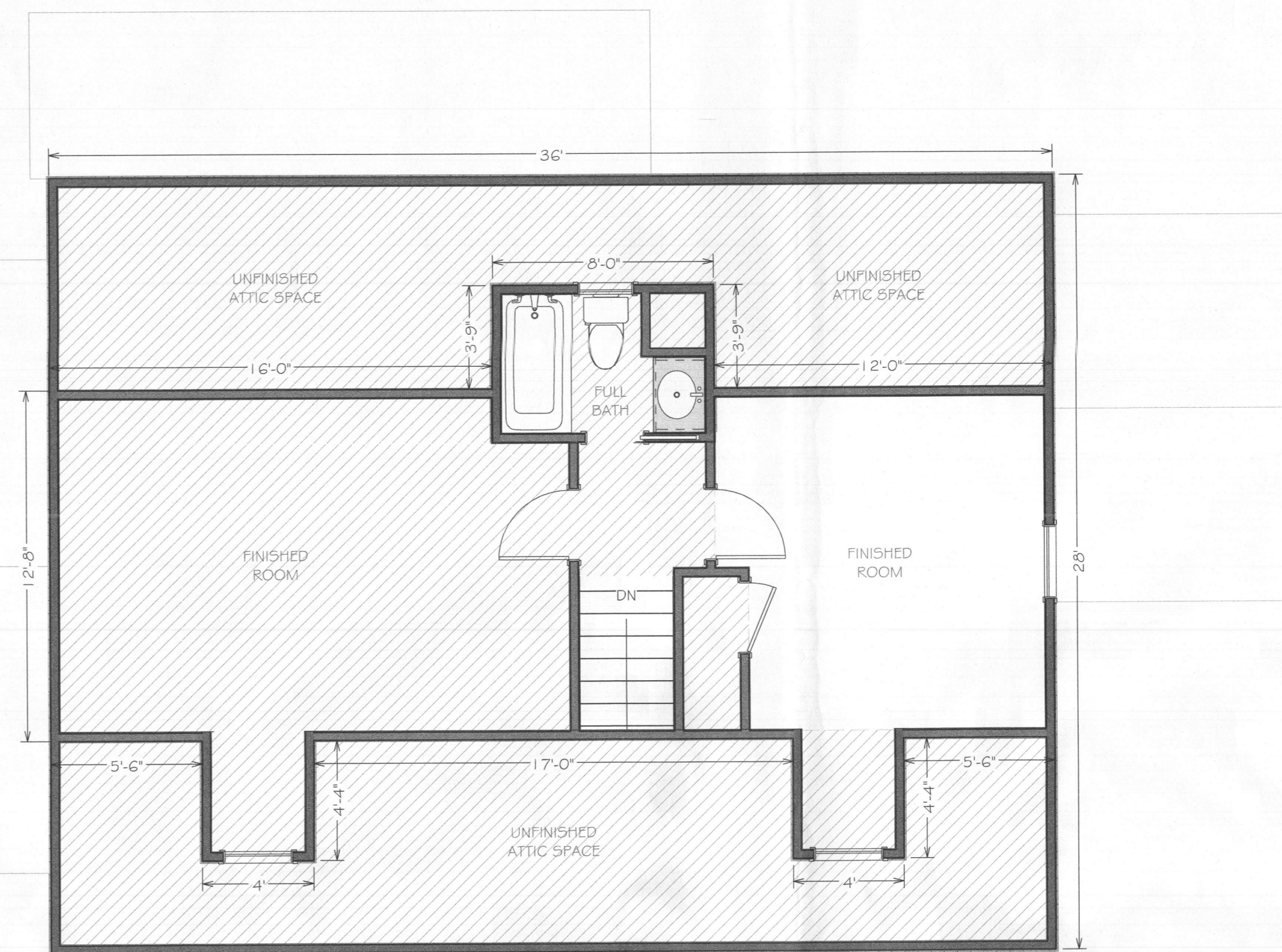


2 EXISTING FIRST FLOOR PLAN
AE-1 SCALE: 1/4" = 1'-0"

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- ▨ AREA NOT IN SCOPE OF WORK



1 EXISTING BASEMENT PLAN
AE-1 SCALE: 1/4" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
AE-1 SCALE: 1/4" = 1'-0"

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SCOPE OF PROJECT

CONSTRUCT A NEW 360
 S.F. ADDITION TO
 REPLACE EXISTING SIDE
 PORCH. CONSTRUCT A
 NEW 96 S.F. PORCH ON
 REAR OF NEW ADDITION.

DRAWING NAME

EXISTING
 FLOOR
 PLANS

DATE

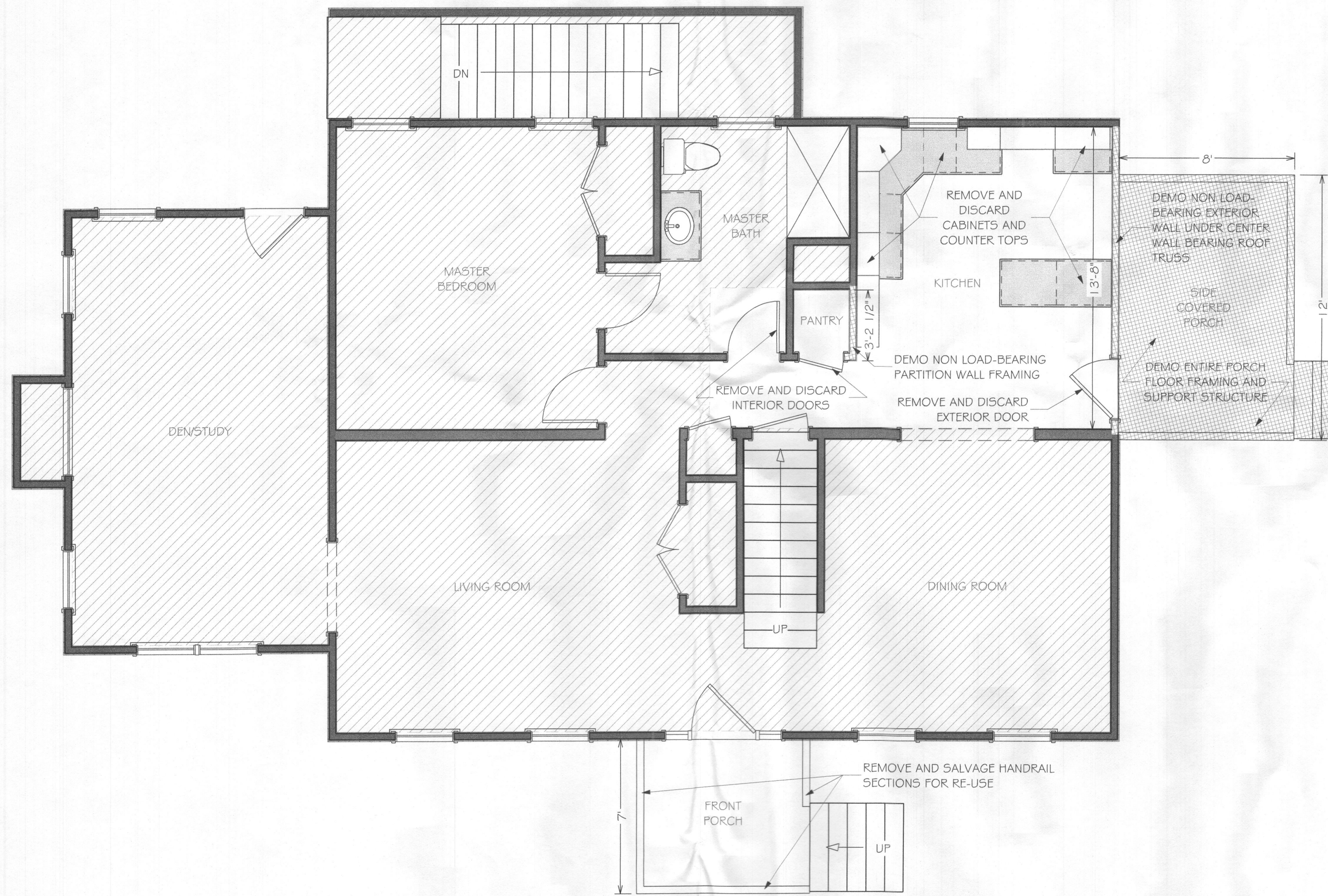
AUGUST 12, 2020

DRAWING NUMBER

AE-1

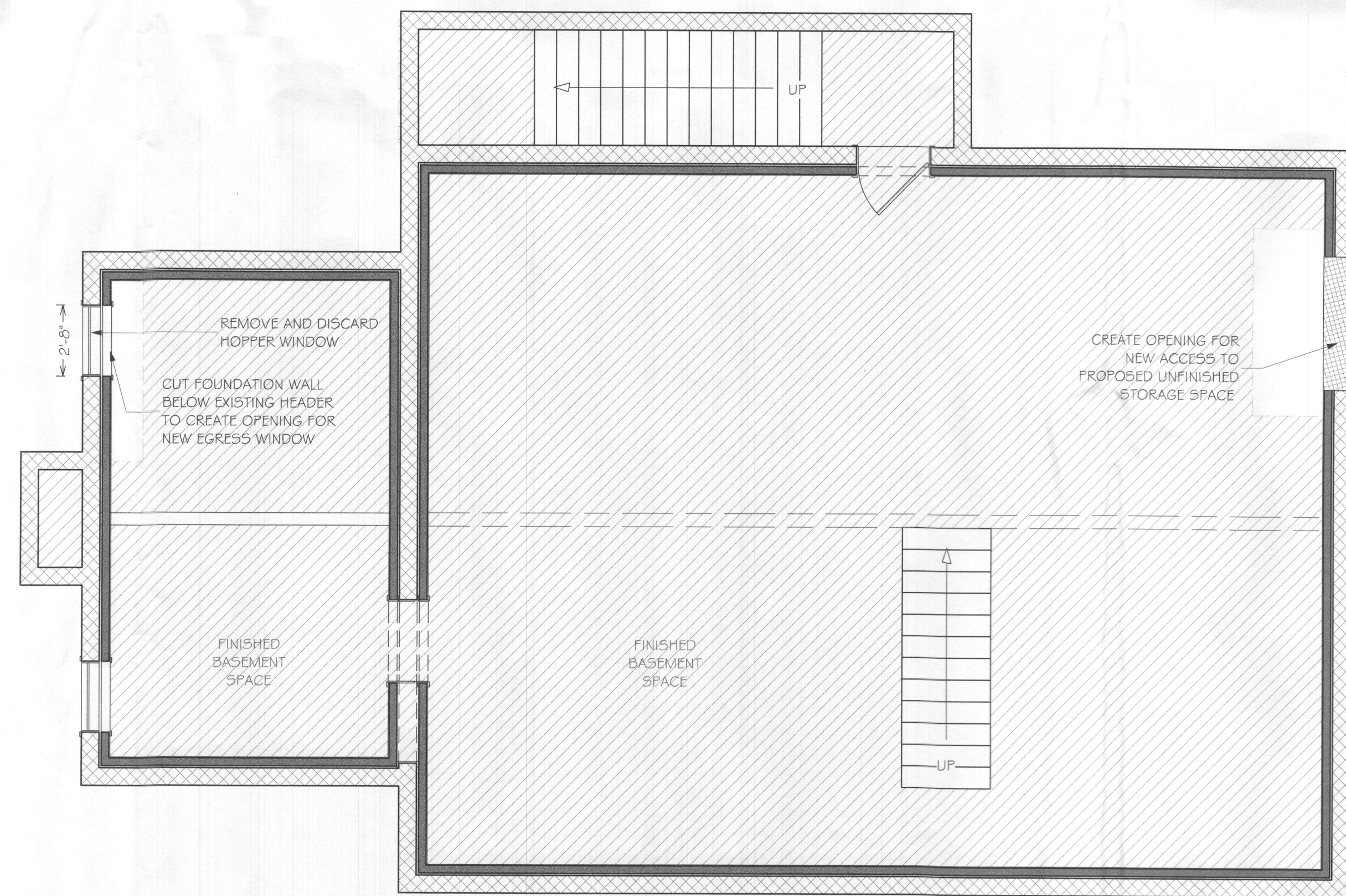
DEMOLITION NOTES:

- 1 PROVIDE TEMPORARY SUPPORT AND SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
- 2 PROTECT EXISTING WALLS AND OTHER FINISH CONDITIONS NOT TO BE DEMOLISHED.
- 3 HVAC: SALVAGE MECHANICAL LINES TO BE RE-WORKED BY LICENSED TECHNICIAN.
- 4 ELECTRICAL: ALL ELECTRICAL WIRING AND DEVICES TO BE CAPPED FOR LICENSED ELECTRICIAN'S RE-WORK.
- 5 PLUMBING: ANY PLUMBING LINES AND FIXTURES TO BE CAPPED FOR LICENSED PLUMBER'S RE-WORK.
- 6 FLOORING: FINISHED FLOORING TO BE REMOVED AS NECESSARY. HOMEOWNER TO DECIDE HOW MUCH TO BE REMOVED.
- 7 ROOFING: REMOVE AND DISCARD SIDE PORCH ROOFING AND SHEATHING. REMOVE SHINGLES ON ROOF ABOVE FRONT DOOR AS NECESSARY FOR NEW FRONT PORCH ROOF TIE-IN.
- 8 MASONRY: CREATE 5' WIDE OPENING IN EXISTING FOUNDATION WALL AS SHOWN ON PLAN TO ALLOW FOR ENTRY INTO NEW UNFINISHED BASEMENT SPACE. CUT FOUNDATION WALL BELOW EXISTING HOPPER WINDOW TO ALLOW FOR NEW EGRESS WINDOW INSTALLATION.
- 9 FRAMING: REMOVE AND SALVAGE FOR RE-USE SIDE PORCH ROOF TRUSSES. DEMO ENTIRE SIDE PORCH STRUCTURE BELOW SALVAGED TRUSSES TO ALLOW FOR ADDITION TO BE CONSTRUCTED. REMOVE WALL FRAMING IN BASEMENT AS NECESSARY FOR MASONRY CUTS AS LISTED ABOVE. REMOVE WALL FRAMING FOR EXISTING PANTRY AS SHOWN. REMOVE NON LOAD-BEARING EXTERIOR WALL FRAMING WITHIN AND BELOW ROOF TRUSSES IN LOCATIONS SHOWN ON FIRST AND SECOND FLOOR AS SHOWN.
- 10 CABINETS AND COUNTER TOPS: REMOVE AND DISCARD EXISTING KITCHEN CABINETS AND COUNTER TOPS TO ALLOW FOR NEW TO BE INSTALLED.
- 11 RAILINGS: REMOVE AND SALVAGE FOR RE-USE FRONT PORCH HANDRAIL SECTIONS.
- 12 DOORS: REMOVE AND DISCARD EXISTING SIDE EXTERIOR DOOR, INTERIOR PANTRY DOOR, AND INTERIOR MASTER BATHROOM DOOR AT HALLWAY.
- 13 WINDOWS: REMOVE AND SALVAGE SECOND FLOOR SIDE WINDOW ABOVE SIDE PORCH ROOF. REMOVE AND DISCARD BASEMENT HOPPER WINDOW AT PROPOSED EGRESS WINDOW LOCATION.
- 14 TRIM: REMOVE TRIM NECESSARY FOR WORK AND SALVAGE FOR POSSIBLE RE-USE.
- 15 RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.

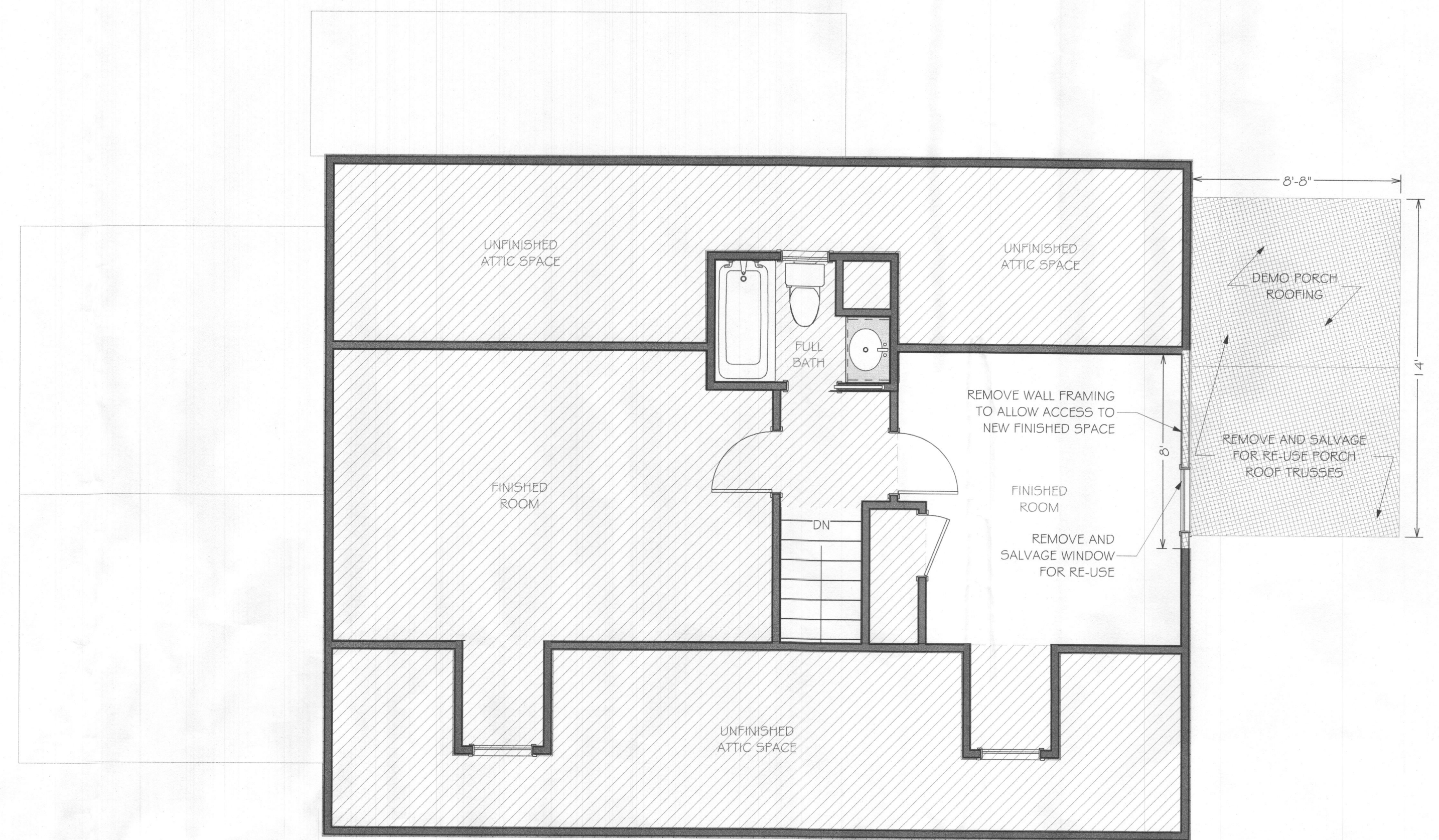


2 FIRST FLOOR DEMOLITION PLAN
A-0 SCALE: 1/4" = 1'-0"

- DEMO AREA
- EXISTING WALLS TO REMAIN AS-IS
- AREA NOT IN SCOPE OF WORK



1 BASEMENT DEMOLITION PLAN
A-0 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
A-0 SCALE: 1/4" = 1'-0"

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PERMIT DRAWINGS

CLIENT

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HOWARD COUNTY

CLIENT APPROVAL

SCOPE OF PROJECT
CONSTRUCT A NEW 360 S.F. ADDITION TO REPLACE EXISTING SIDE PORCH. CONSTRUCT A NEW 96 S.F. PORCH ON REAR OF NEW ADDITION.

DRAWING NAME

DEMOLITION PLANS

DATE

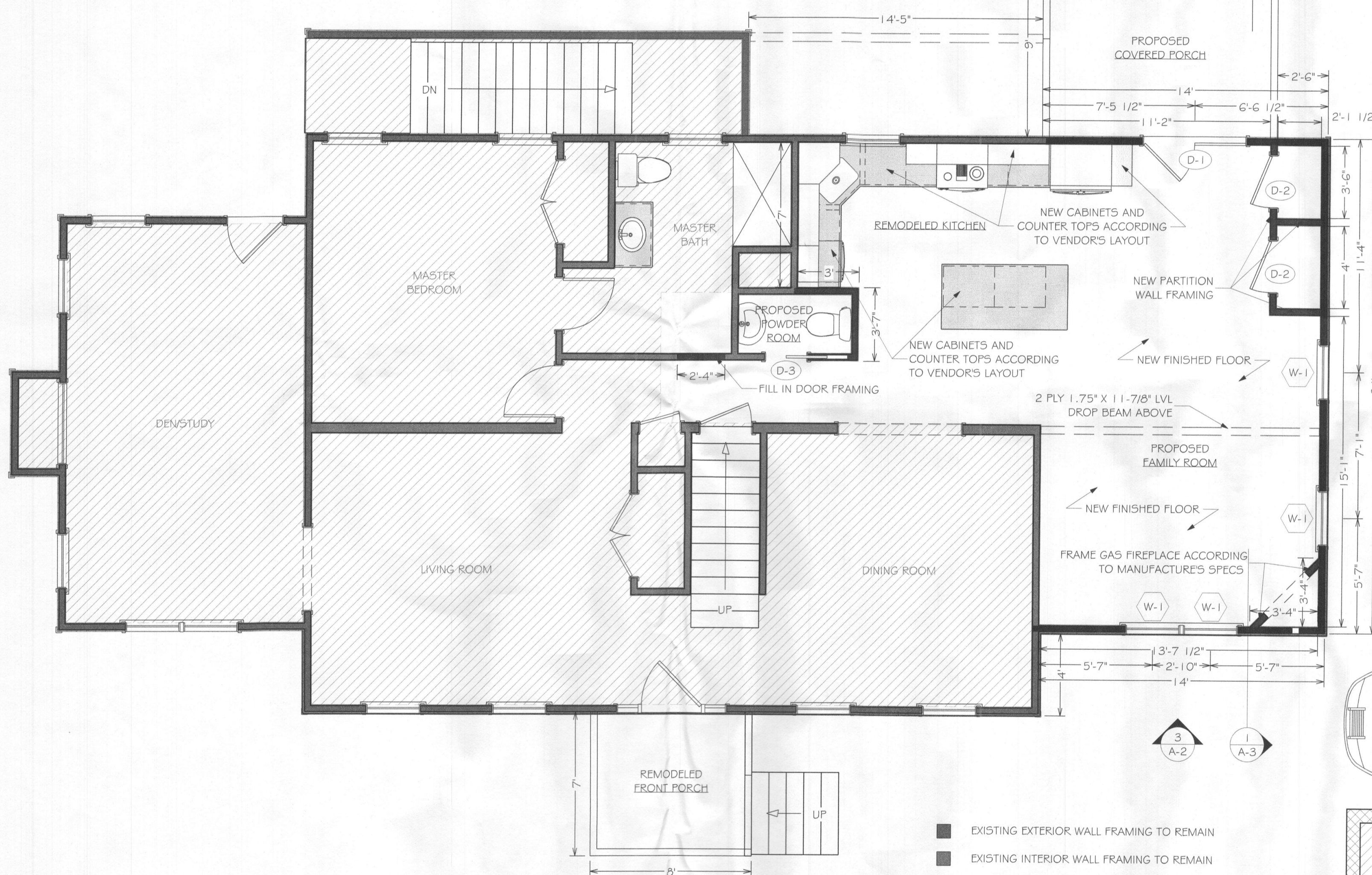
AUGUST 12, 2020

DRAWING NUMBER

A-0

CONSTRUCTION NOTES:

- 1 FIELD VERIFY ALL MEASUREMENTS BEFORE STARTING WORK.
- 2 ALL DIMENSIONS SHOWN ARE TO DRYWALL FACE, ALWAYS ASSUMING 1/2" FACING MATERIAL IS OR WILL BE IN PLACE. ALLOW AN EXTRA 1/2" FOR FRAMING PLACEMENT.
- 3 ALL NEW EXTERIOR WALLS AND FRAMED-IN OPENINGS ARE IMPLIED TO BE CONSTRUCTED WITH 2X6 SFP PLACED AT 16" O.C., MAX., DOUBLE 2X6 SFP TOP PLATES, AND 2X6 BOTTOM PLATES. INTERIOR WALLS TO BE CONSTRUCTED WITH 2X4 MATERIAL IN THE SAME FASHION. FLOOR LOAD TO MEET 40 PSF LOAD REQUIREMENTS.
- 4 HVAC: MECHANICAL LINES TO BE RE-WORKED BY LICENSED TECHNICIAN.
- 5 ELECTRICAL: ALL ELECTRICAL WIRING AND DEVICES TO BE REWORKED AND INSTALLED BY LICENSED ELECTRICIAN.
- 6 PLUMBING: ALL PLUMBING LINES ADDED TO BE REWORKED AND INSTALLED BY LICENSED PLUMBER. RUN DRAIN FROM BOTTOM OF NEW EGRESS WELL TO TIE INTO EXISTING DRAIN.
- 7 MASONRY: FOUNDATION WALLS TO BE CONSTRUCTED AS SHOWN ON PLAN.
- 8 FRAMING: IN BASEMENT, FRAME NEW WINDOW AND DOOR OPENING TO ACCEPT EGRESS WINDOW AND DOORWAY ENTRANCE TO UNFINISHED SPACE. ON FIRST FLOOR, ADDITION TO BE CONSTRUCTED WITH 2X4 WALLS ACCORDING TO PLAN. FRAME NEW GAS FIREPLACE HOUSING AS SHOWN ON PLAN AND ACCORDING TO MANUFACTURER'S SPECS. FRAME NEW PARTITION WALLS TO CREATE CLOSETS ADJOINING KITCHEN AND FAMILY ROOM AREAS, AND FRAME NEW POWDER ROOM WALLS AS SHOWN. ON SECOND FLOOR, BLOCK AS NECESSARY TO OPEN UP PASSAGE AS WIDE AS POSSIBLE BETWEEN EXISTING PORTION OF FINISHED ROOM AND NEW FINISHED SPACE. FRAME NEW GABLE WALL TO ACCEPT SALVAGED WINDOW.
- 9 SIDING: EXTERIOR WALL FACES AND GABLES ON BOTH PORCH ROOFS TO RECEIVE VINYL LAP SIDING TO MATCH EXISTING HOUSE.
- 10 INSULATION: ALL EXTERIOR WALLS TO BE INSULATED WITH R-15 BATT INSULATION. ATTIC SPACE ABOVE ADDITION TO RECEIVE R-49 BATT INSULATION BETWEEN TRUSSES. BASEMENT WALLS IN NEW SPACE TO RECEIVE R-21 FSK BLANKET INSULATION AROUND EXTERIOR PERIMETER.
- 11 DRYWALL: PROPOSED POWDER ROOM TO RECEIVE 1/2" MOISTURE RESISTANT GYPSUM BOARD. ALL OTHER NEW DRYWALL AND PATCHES FOR WALLS AND CEILINGS TO RECEIVE STANDARD 1/2" GYPSUM BOARD.
- 12 FLOORING: NEW FLOORING TO BE INSTALLED THROUGHOUT PROJECT SPACE ON FIRST FLOOR AND SECOND FLOOR. HOMEOWNER TO SELECT FLOORING FOR ALL SPACES.
- 13 DOORS: DOORS TO BE INSTALLED ACCORDING TO DOOR SCHEDULE.
- 14 WINDOWS: WINDOWS TO BE INSTALLED ACCORDING TO WINDOW SCHEDULE. REUSE SALVAGED WINDOW AS SHOWN. EXCAVATE GROUND OUTSIDE OF NEW EGRESS WINDOW LOCATION TO ADD NEW STANDARD EGRESS WELL UNIT WITH LADDER AND CAP.
- 15 TRIM: INSTALL NEW BASE BOARD AND CASING THROUGHOUT PLAN AS NECESSARY. STYLE OF ALL TRIM TO MATCH EXISTING. ON EXTERIOR, INSTALL WHITE PVC TRIM BOARDS AS SKIRTS FOR REAR PORCH, RISERS FOR STAIRS, TRIM BOARDS AT BOTTOM OF SIDING LINE, AND COVERING PT 4X4 SUPPORT POSTS.
- 16 DECKING: REAR PORCH AND STAIR TREADS TO BE COVERED WITH COMPOSITE DECK BOARDS, SCREWED TO EACH JOIST.
- 17 RAILING: RE-INSTALL SALVAGED WHITE HANDRAIL AROUND PERIMETER OF FRONT PORCH IN SAME LOCATIONS.



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

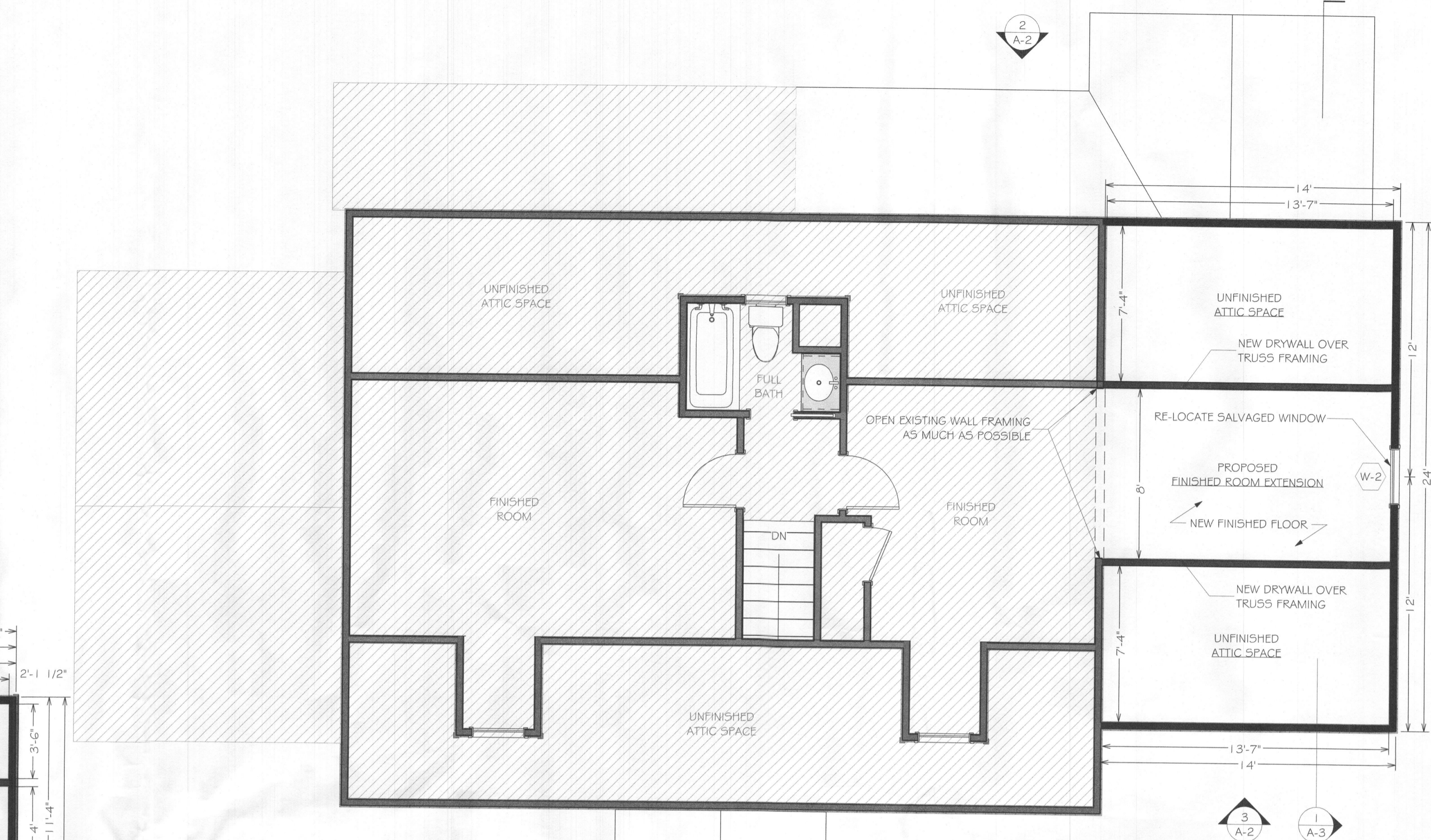
- EXISTING EXTERIOR WALL FRAMING TO REMAIN
- EXISTING INTERIOR WALL FRAMING TO REMAIN
- NEW CMU FOUNDATION WALLS
- NEW FSK BLANKET INSULATION
- NEW 2X4 FRAMED EXTERIOR WALLS
- NEW 2X4 FRAMED PARTITION WALLS
- AREA NOT IN SCOPE OF WORK

DOOR SCHEDULE						
TYPE	STYLE	WIDTH	HEIGHT	SWING	NOTES	
D-1	EXTERIOR	PATIO FULL GLASS	6'-0"	6'-8"	RH IN-SWING	LEFT SIDE OPERABLE
D-2	INTERIOR	MATCH EXISTING	2'-6"	6'-8"	RH OUT-SWING	PANEL DOOR
D-3	INTERIOR	MATCH EXISTING	2'-0"	6'-8"	POCKET	PANEL DOOR
D-4	INTERIOR	DOORWAY	5'-0"	6'-8"	OPENING	CONCRETE LINTEL HEADER

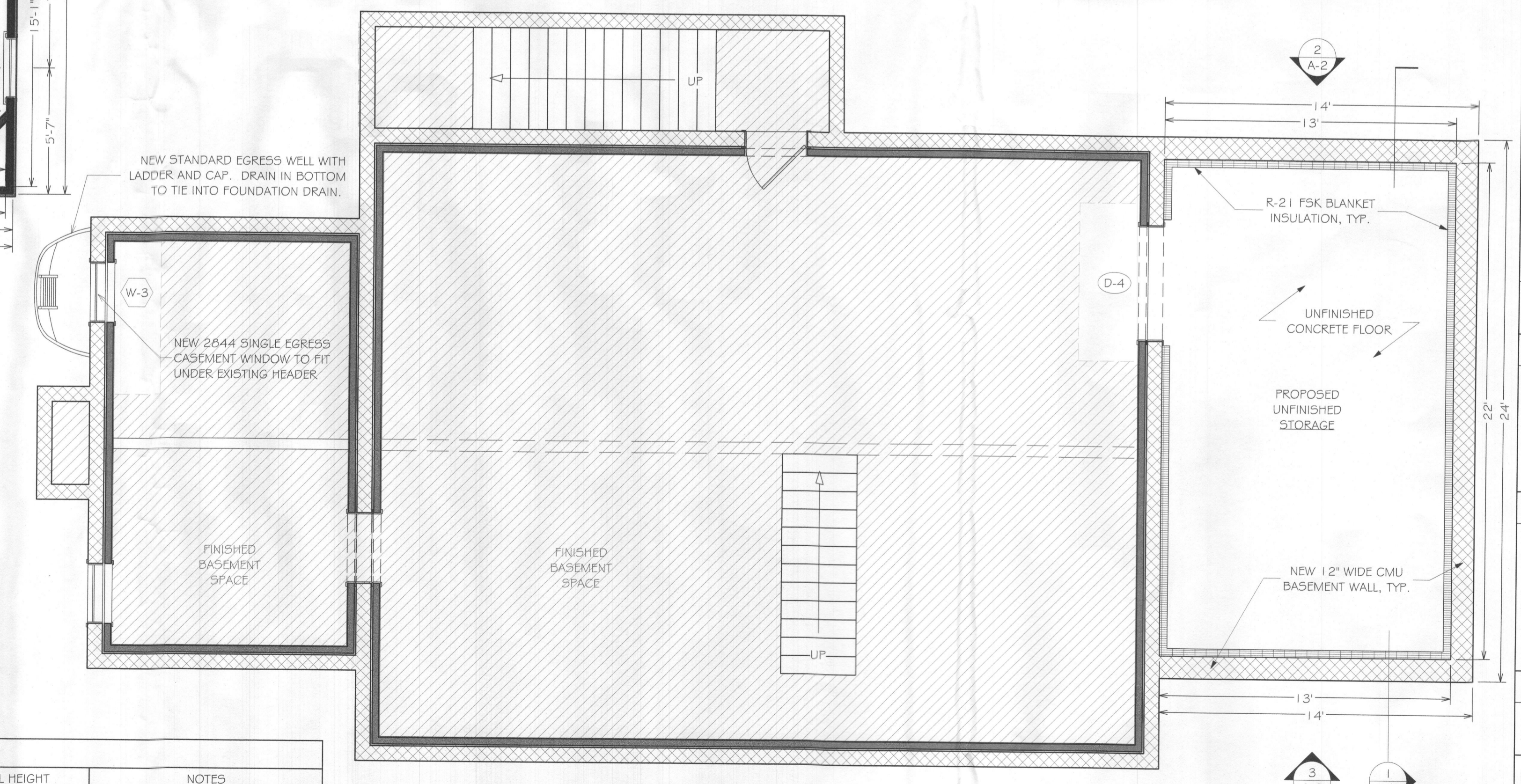
NOTE: ALL DOOR SIZES AND LOCATIONS TO BE VERIFIED BEFORE ORDERING

WINDOW SCHEDULE						
TYPE	STYLE	WIDTH	HEIGHT	SILL HEIGHT	NOTES	
W-1	EXTERIOR	DOUBLE HUNG	2'-8"	5'-0"	1'-8"	6 OVER 6 GRIDS W/ LOW E GLASS
W-2	EXTERIOR	CASEMENT	2'-8"	4'-0"	2'-0"	SALVAGED WINDOW
W-3	EXTERIOR	EGRESS CASEMENT	2'-8"	4'-4"	T.B.D.	INSTALL UNDER EXISTING HEADER

NOTE: ALL WINDOW SIZES AND LOCATIONS TO BE VERIFIED BEFORE ORDERING



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

PREFERRED CONSTRUCTION

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CLIENT APPROVAL

SCOPE OF PROJECT
CONSTRUCT A NEW 360 S.F. ADDITION TO REPLACE EXISTING SIDE PORCH. CONSTRUCT A NEW 96 S.F. PORCH ON REAR OF NEW ADDITION.

DRAWING NAME

PROPOSED FLOOR PLANS

DATE
AUGUST 12, 2020

DRAWING NUMBER

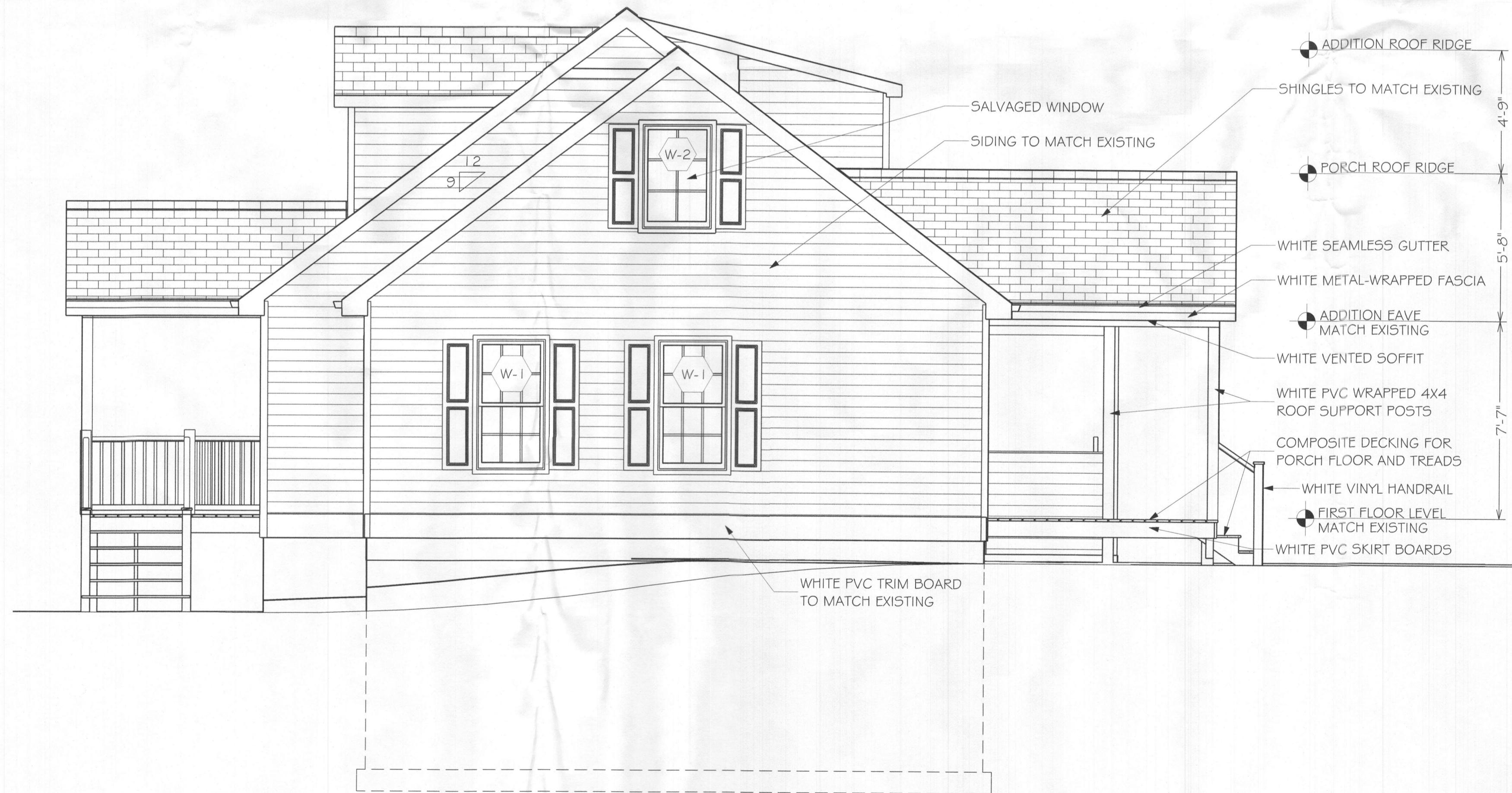
A-1



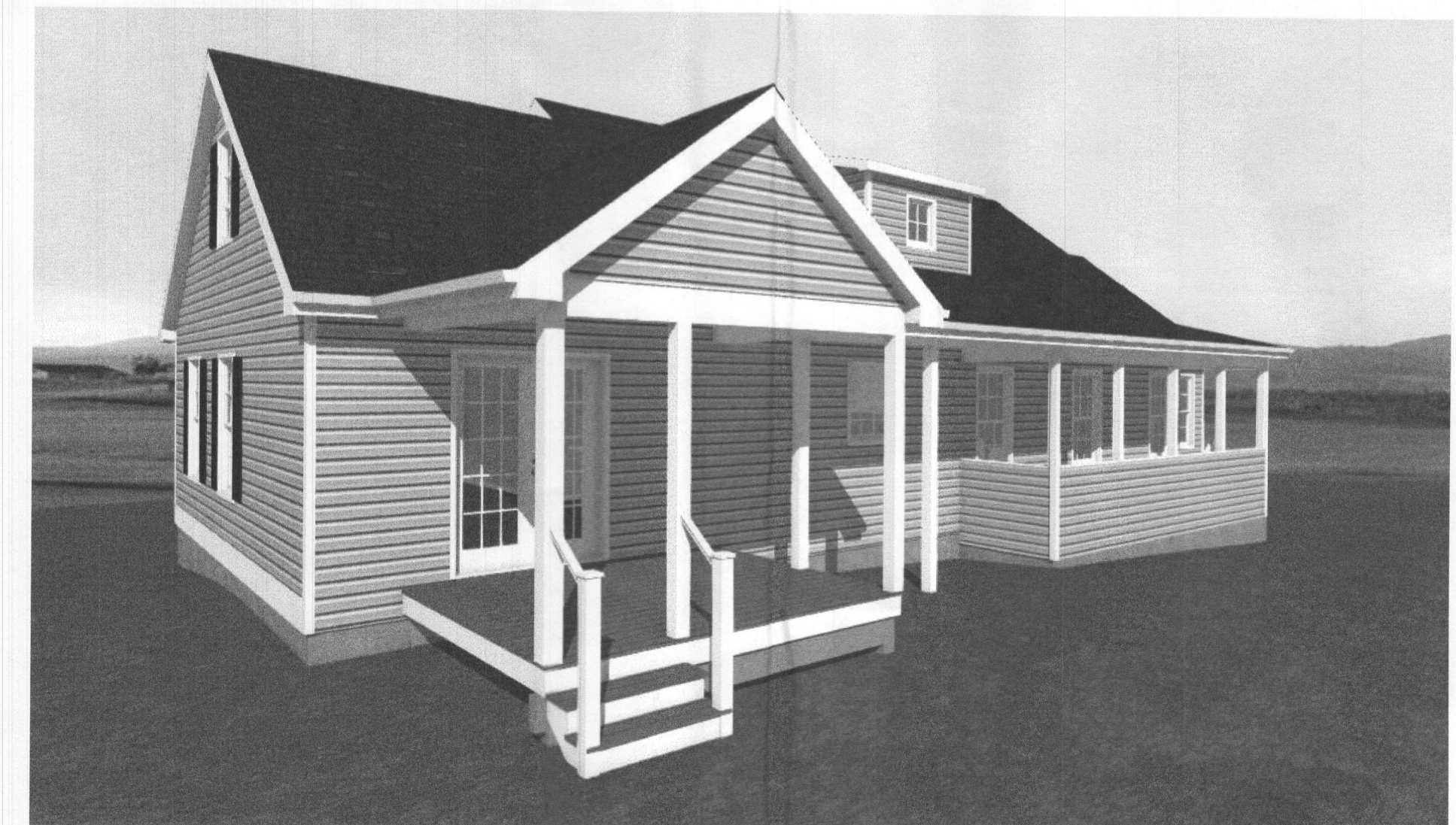
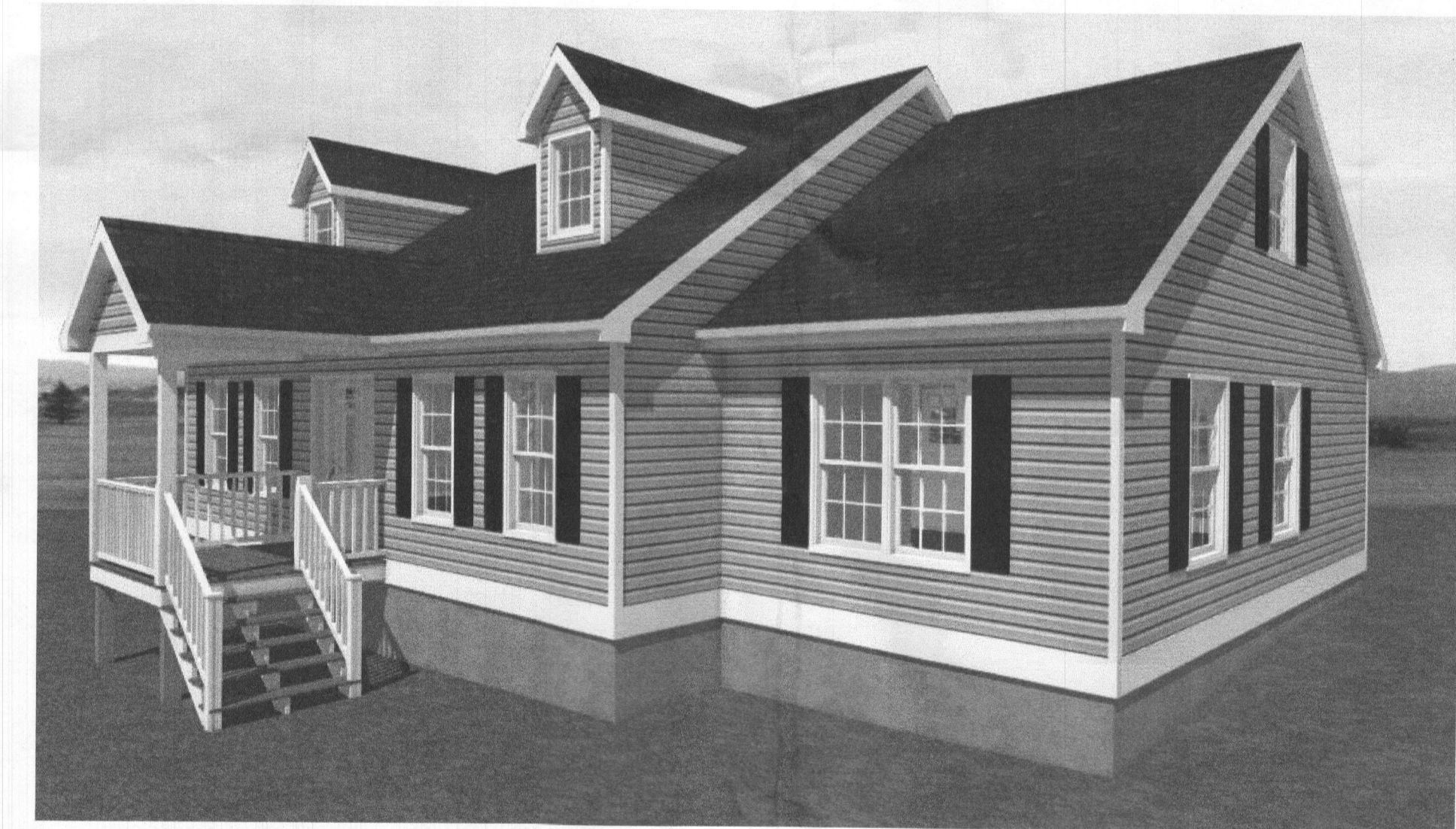
3 FRONT ELEVATION
A-2 SCALE: 5/16" = 1'-0"



2 REAR ELEVATION
A-2 SCALE: 5/16" = 1'-0"



1 RIGHT SIDE ELEVATION
A-2 SCALE: 5/16" = 1'-0"



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SCOPE OF PROJECT

CONSTRUCT A NEW 360 S.F. ADDITION TO REPLACE EXISTING SIDE PORCH. CONSTRUCT A NEW 86 S.F. PORCH ON REAR OF NEW ADDITION.

DRAWING NAME

EXTERIOR ELEVATIONS

DATE

AUGUST 12, 2020

DRAWING NUMBER

A-2

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REPLACE EXISTING SIDE
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REAR OF NEW ADDITION.

DRAWING NAME

SECTION
DETAILS

DATE

AUGUST 12, 2020

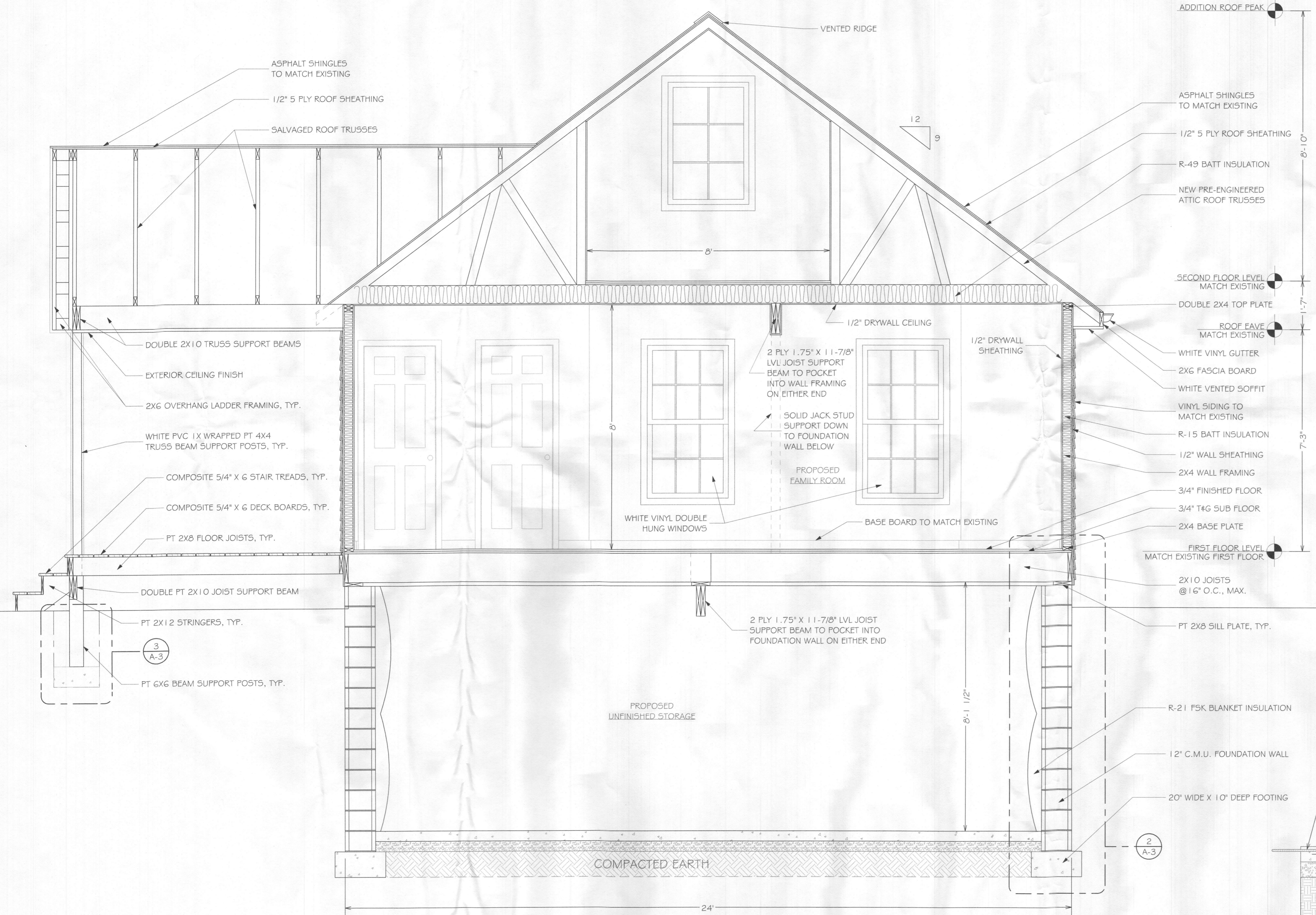
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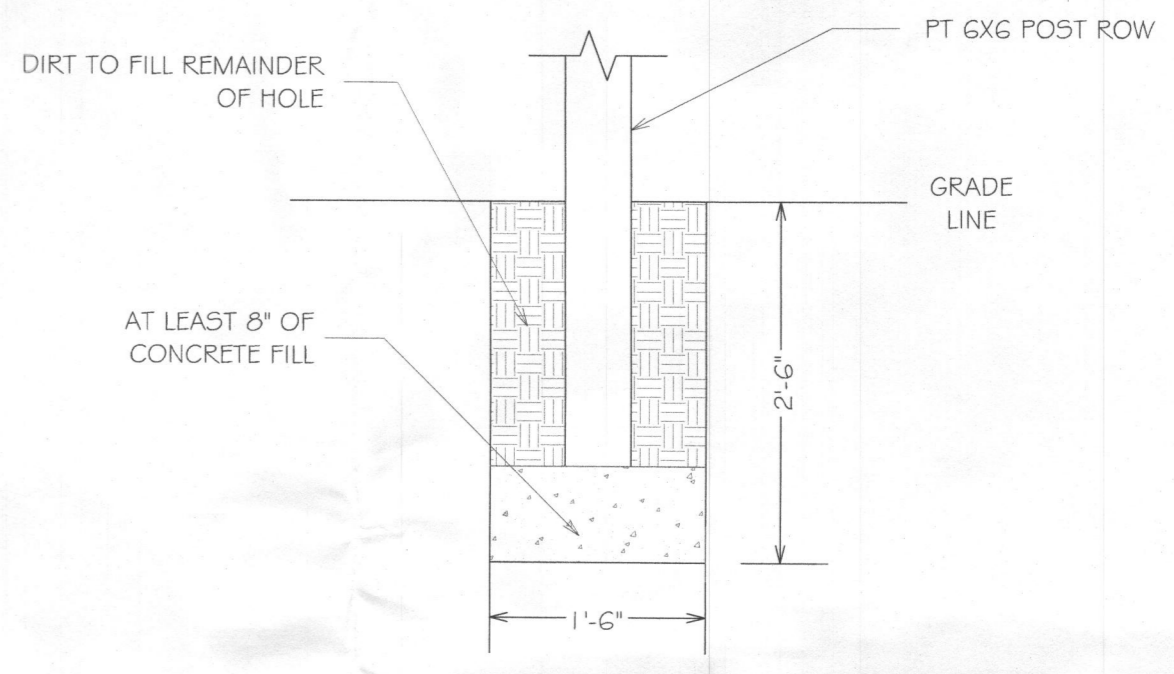
FOR FLOOR JOISTS THAT ARE NOT CONTINUOUS (40 PSF LIVE, 15 PSF DEAD, 100%)

Beam Span (ft)	Beam Width	Span Carried By Beam (ft)												
		20	22	24	26	28	30	32	34	36	38	40		
8	3-1/2"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"
	5-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"	7-1/4"
10	3-1/2"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"
	5-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"	9-1/4"
12	3-1/2"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"
	5-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"	11-1/4"
14	3-1/2"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"
	5-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"	13-1/4"
16	3-1/2"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"
	5-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"	15-1/4"
18	3-1/2"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"
	5-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"	17-1/4"
20	3-1/2"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"
	5-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"	19-1/4"

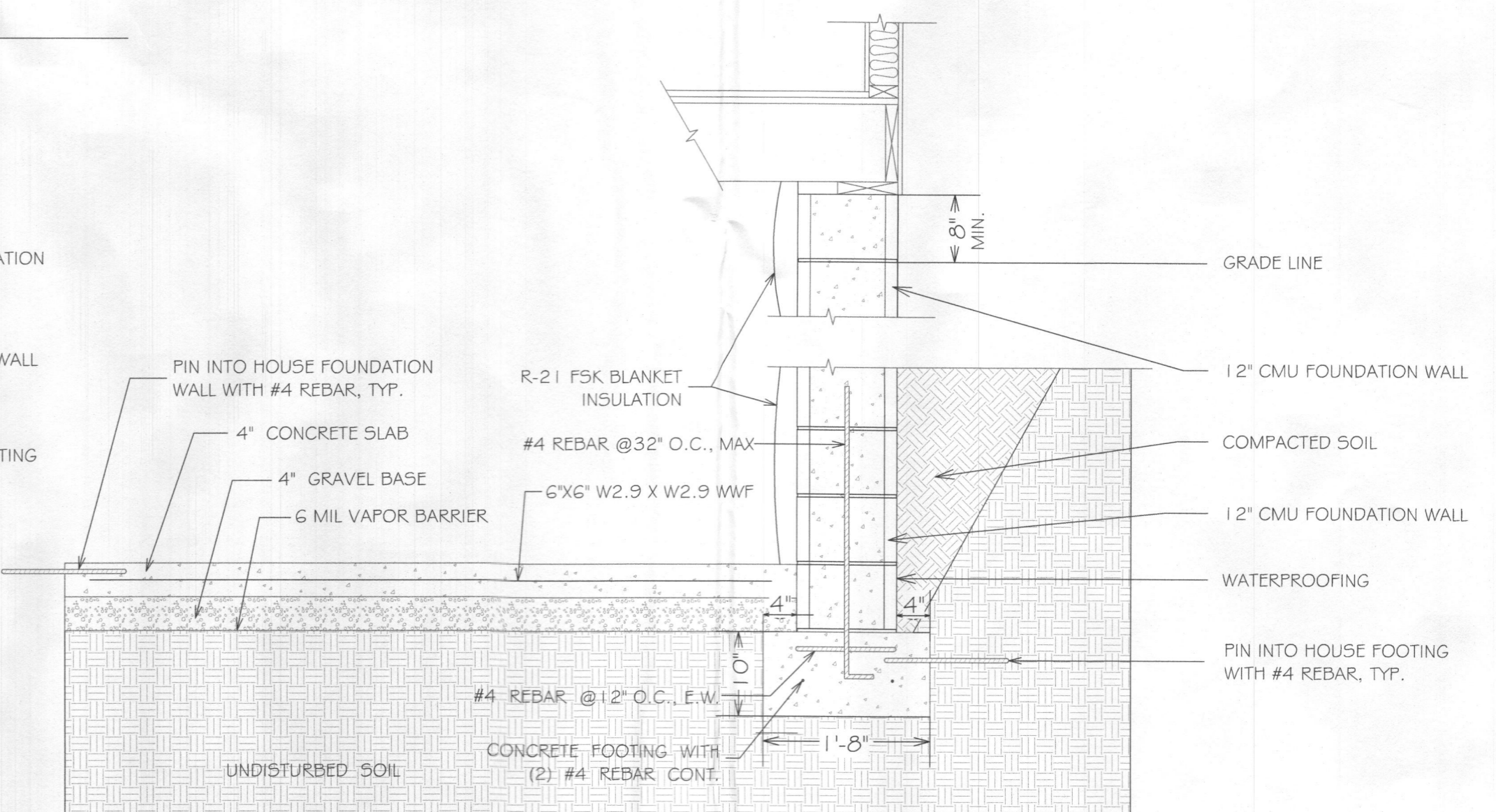
FIRST FLOOR AND SECOND FLOOR JOIST SUPPORT BEAMS



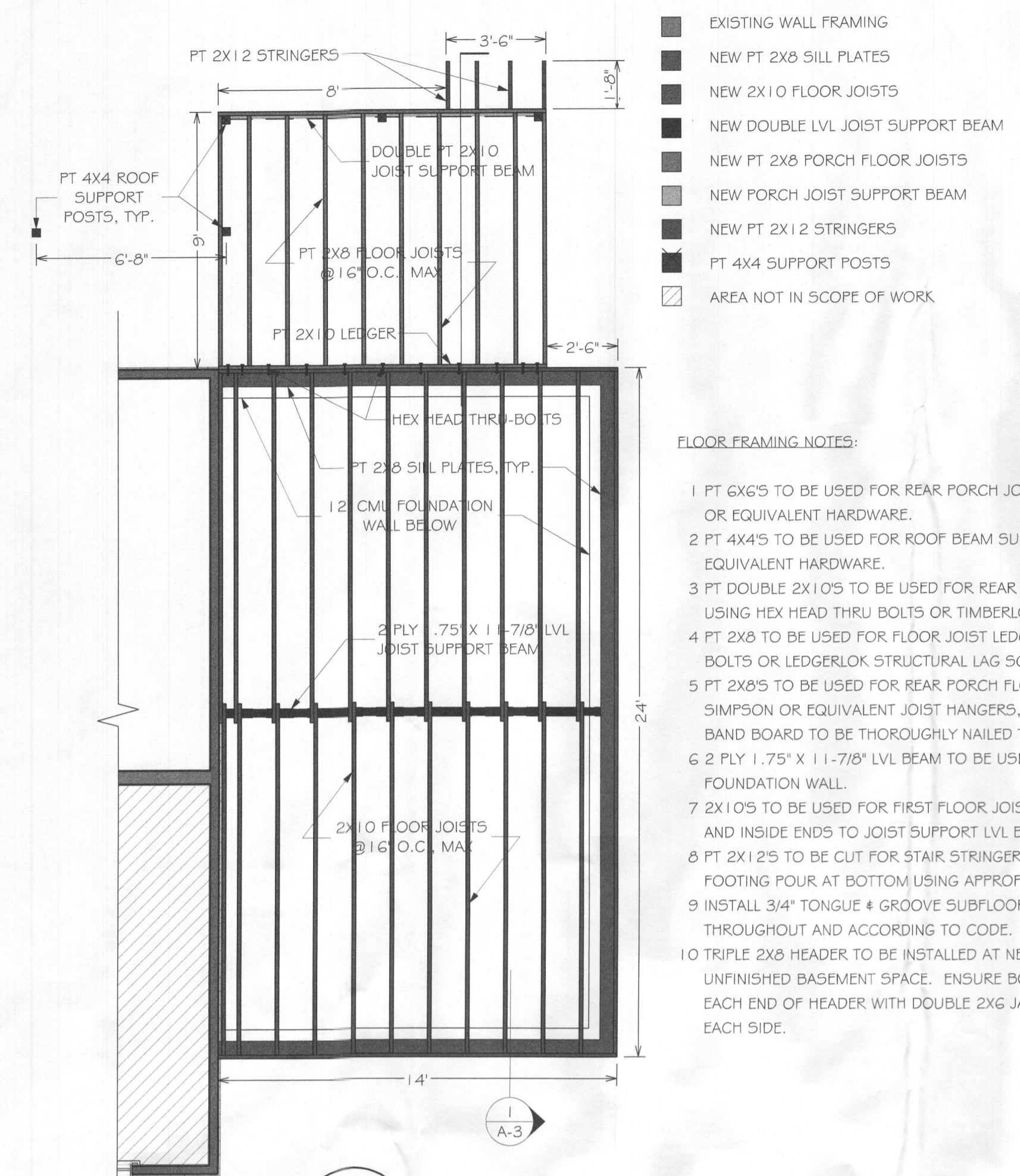
1 ADDITION CROSS SECTION DETAIL
A-3 SCALE: 1/2" = 1'-0"



3 POST FOOTING DETAIL
A-3 SCALE: 3/4" = 1'-0"



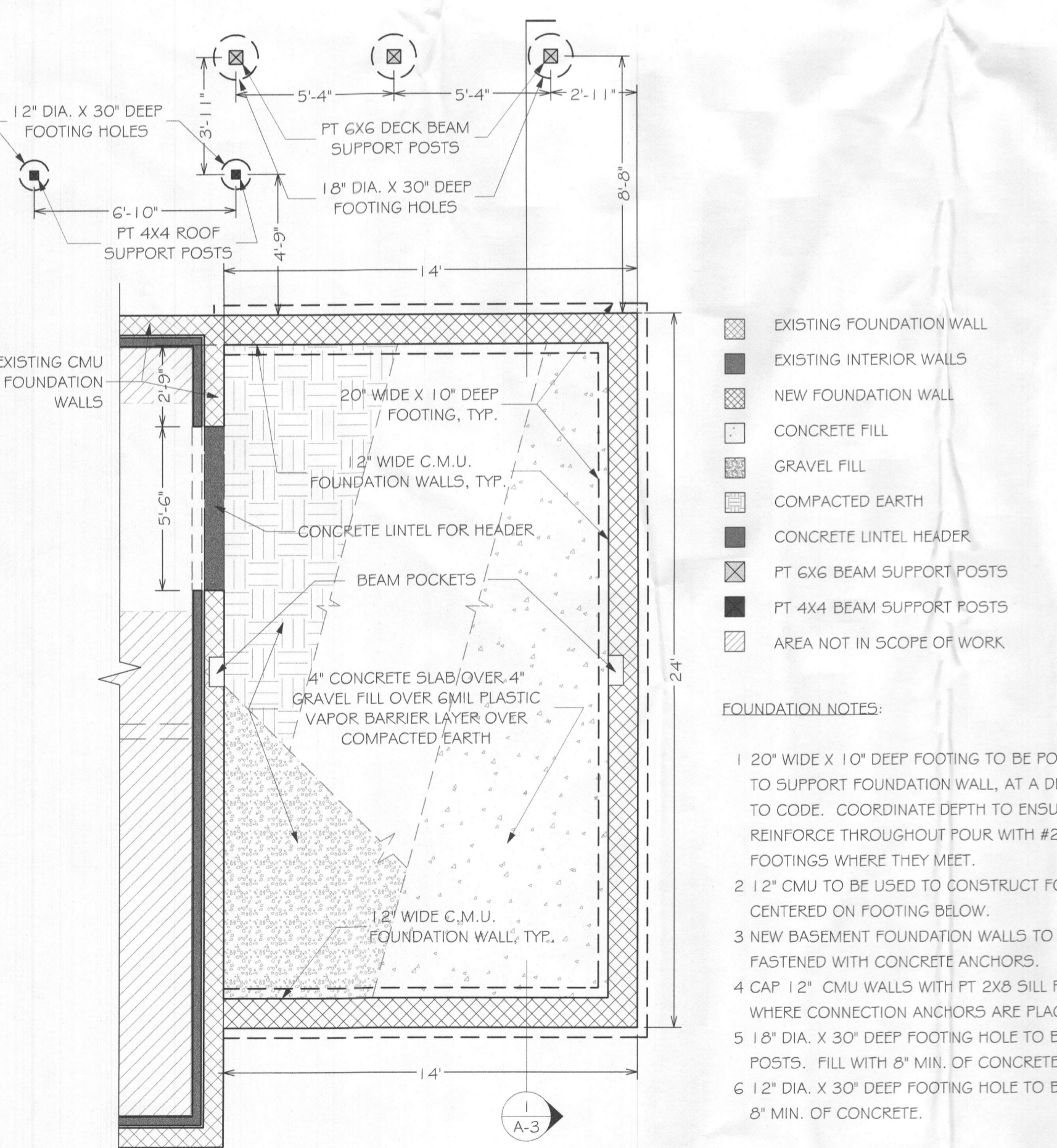
2 FOUNDATION WALL FOOTING DETAIL
A-3 SCALE: 3/4" = 1'-0"



- EXISTING WALL FRAMING
- NEW PT 2X8 SILL PLATES
- NEW 2X10 FLOOR JOISTS
- NEW DOUBLE LVL JOIST SUPPORT BEAM
- NEW PT 2X8 PORCH FLOOR JOISTS
- NEW PORCH JOIST SUPPORT BEAM
- NEW PT 2X12 2 STRINGERS
- PT 4X4 SUPPORT POSTS
- AREA NOT IN SCOPE OF WORK

FLOOR FRAMING NOTES:

- 1 PT 6X6'S TO BE USED FOR REAR PORCH JOIST BEAM SUPPORT POSTS. SECURE TO CONCRETE FOOTING USING SIMPSON OR EQUIVALENT HARDWARE.
- 2 PT 4X4'S TO BE USED FOR ROOF BEAM SUPPORT POSTS. SECURE TO CONCRETE FOOTING USING SIMPSON OR EQUIVALENT HARDWARE.
- 3 PT DOUBLE 2X10'S TO BE USED FOR REAR PORCH FLOOR JOIST SUPPORT BEAM. SECURE TO BEAM SUPPORT POSTS USING HEX HEAD THRU BOLTS OR TIMBERLOK STRUCTURAL LAG SCREWS.
- 4 PT 2X8 TO BE USED FOR FLOOR JOIST LEDGER. SECURE LEDGER TO FIRST FLOOR FRAMEWORK USING HEX HEAD THRU BOLTS OR LEDGERLOK STRUCTURAL LAG SCREWS ACCORDING TO COUNTY DECK BUILDING GUIDE.
- 5 PT 2X8'S TO BE USED FOR REAR PORCH FLOOR JOISTS, PLACED 16" O.C., MAX. HANG INSIDE ENDS OF LEDGER USING SIMPSON OR EQUIVALENT JOIST HANGERS, AND CROSS TOE NAIL OUTSIDE ENDS TO PT SUPPORT BEAM BELOW. OUTSIDE BAND BOARD TO BE THOROUGHLY NAILED TO EACH JOIST END.
- 6 2 PLY 1.75" X 11-7/8" LVL BEAM TO BE USED TO SUPPORT FIRST FLOOR JOISTS. BEAM TO REST IN CREATED POCKETS IN FOUNDATION WALL.
- 7 2X10'S TO BE USED FOR FIRST FLOOR JOISTS, PLACED 16" O.C., MAX. CROSS TOE NAIL OUTSIDE ENDS TO SILL PLATES, AND INSIDE ENDS TO JOIST SUPPORT LVL BEAM.
- 8 PT 2X12'S TO BE CUT FOR STAIR STRINGERS, AND PLACED 16" O.C., MAX. SECURE TO FRAMEWORK AT TOP AND CONCRETE FOOTING POUR AT BOTTOM USING APPROPRIATE SIMPSON OR EQUIVALENT HARDWARE.
- 9 INSTALL 3/4" TONGUE & GROOVE SUBFLOOR OVER ENTIRE FIRST FLOOR FRAMEWORK SYSTEM. GLUE AND NAIL THROUGHOUT AND ACCORDING TO CODE.
- 10 TRIPLE 2X8 HEADER TO BE INSTALLED AT NEW BASEMENT DOORWAY OPENING CREATED FOR ACCESS TO PROPOSED UNFINISHED BASEMENT SPACE. ENSURE BOTTOM OF HEADER IS AT LEAST 80.75" ABOVE FLOOR SURFACE. SUPPORT EACH END OF HEADER WITH DOUBLE 2X6 JACK STUDS, MECHANICALLY AND EPOXY FASTENED TO FOUNDATION OPENING ON EACH SIDE.



- EXISTING FOUNDATION WALL
- EXISTING INTERIOR WALLS
- NEW FOUNDATION WALL
- CONCRETE FILL
- GRAVEL FILL
- COMPACTED EARTH
- CONCRETE LINTEL HEADER
- PT 6X6 BEAM SUPPORT POSTS
- PT 4X4 BEAM SUPPORT POSTS
- AREA NOT IN SCOPE OF WORK

FOUNDATION NOTES:

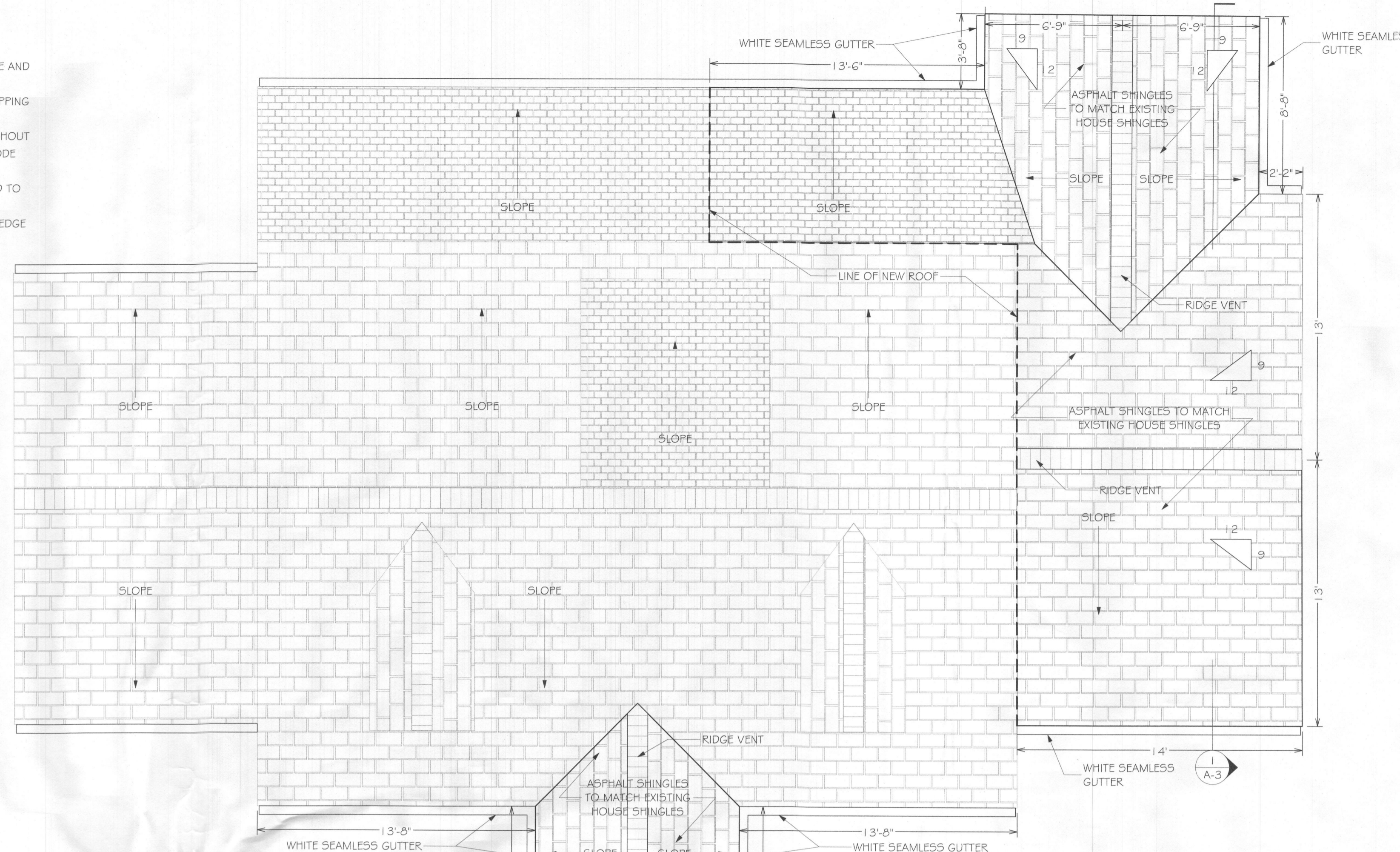
- 1 20" WIDE X 10" DEEP FOOTING TO BE POURED AROUND PERIMETER OF ADDITION FOOTPRINT TO SUPPORT FOUNDATION WALL, AT A DEPTH OF AT LEAST 30" IN GROUND, AND ACCORDING TO CODE. COORDINATE DEPTH TO ENSURE ALIGNMENT WITH EXISTING HOUSE FOOTINGS. REINFORCE THROUGHOUT POUR WITH #2 REBAR. PIN FOOTING INTO EXISTING HOUSE FOOTINGS WHERE THEY MEET.
- 2 12" CMU TO BE USED TO CONSTRUCT FOUNDATION BASEMENT WALLS FOR ADDITION, CENTERED ON FOOTING BELOW.
- 3 NEW BASEMENT FOUNDATION WALLS TO BE LINED WITH R-21 FSK BLANKET INSULATION, FASTENED WITH CONCRETE ANCHORS.
- 4 CAP 12" CMU WALLS WITH PT 2X8 SILL PLATE HELD TO OUTSIDE EDGE. GROUT CELLS SOLID WHERE CONNECTION ANCHORS ARE PLACED.
- 5 18" DIA. X 30" DEEP FOOTING HOLE TO BE DUG FOR REAR PORCH JOIST BEAM SUPPORT POSTS. FILL WITH 8" MIN. OF CONCRETE.
- 6 12" DIA. X 30" DEEP FOOTING HOLE TO BE DUG FOR ROOF BEAM SUPPORT POSTS. FILL WITH 8" MIN. OF CONCRETE.

ROOF AND FINISH NOTES:

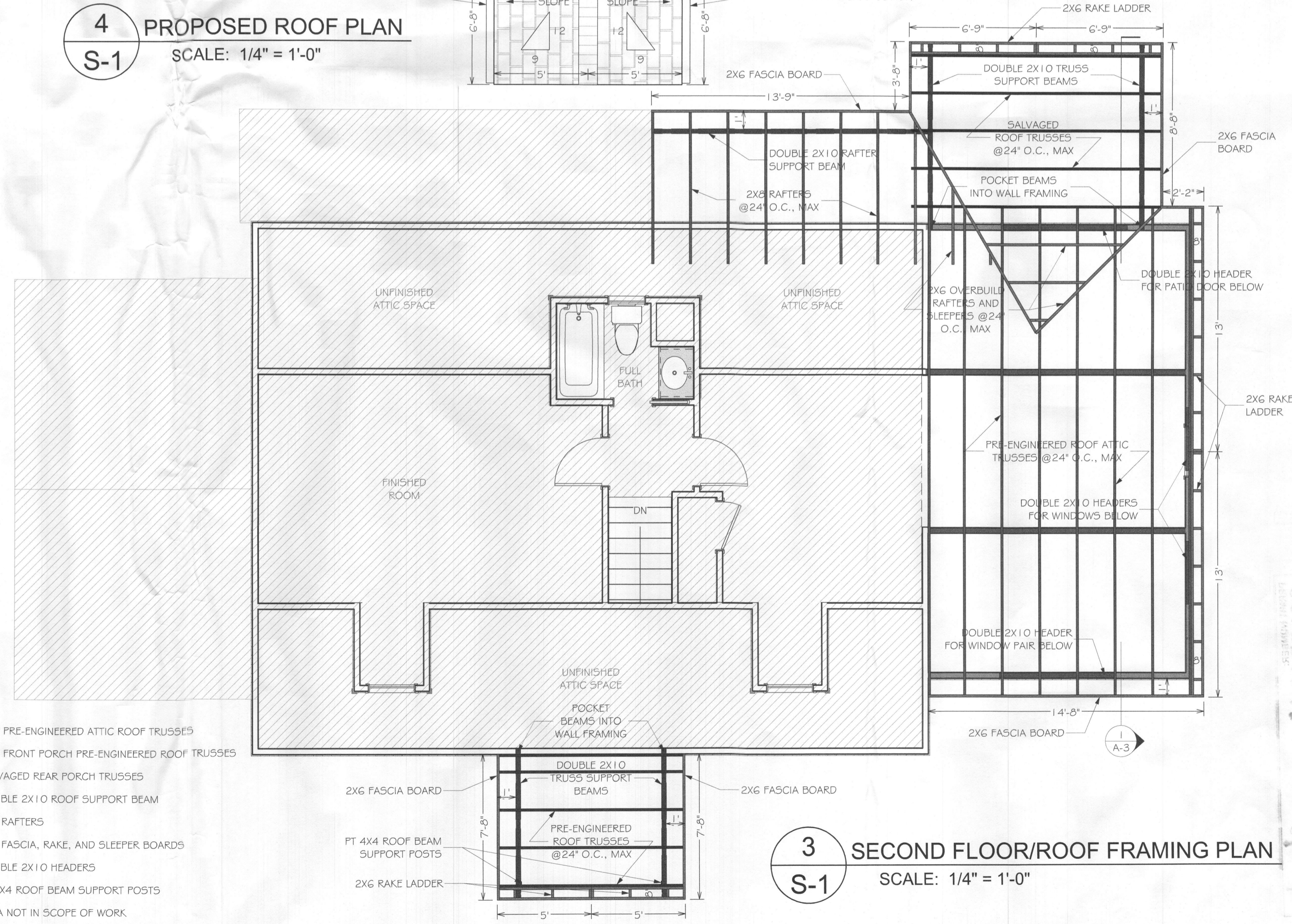
- 1 INSTALL STAINLESS STEEL DRIPEDGE AROUND PERIMETER OF ROOF SURFACE AND NAIL THOROUGHLY TO SHEATHING.
- 2 COVER ROOF SHEATHING FLYWOOD WITH WATERPROOF MEMBRANE OVERLAPPING AT EACH SEAM. SECURE THROUGHOUT AND ACCORDING TO CODE.
- 3 INSTALL NEW ASPHALT SHINGLES TO MATCH EXISTING HOUSE ROOF THROUGHOUT ENTIRE NEW ROOF SURFACE AND NAIL THOROUGHLY AND ACCORDING TO CODE AND MANUFACTURER SPECS.
- 4 VENTED SOFFIT TO BE USED TO COVER OPEN EAVES AND RAKES AND NAILED TO OVERHANG FRAMING THOROUGHLY.
- 5 WRAP FASCIA AND RAKE BOARDS WITH WHITE METAL, TUCKING UNDER DRIP EDGE AND COVERING CUT END OF SOFFIT.
- 6 NEW SEAMLESS GUTTER SYSTEM TO BE SECURED TO NEW FASCIA. NEW DOWNSPOUTS TO BE INSTALLED ACCORDINGLY, AND TO ENSURE PROPER DRAINAGE.

ROOF FRAMING NOTES:

- 1 FULL HEIGHT PT 4X4'S TO BE USED FOR FRONT PORCH ROOF BEAM SUPPORT POSTS. PLACE DIRECTLY OVER FLOOR STRUCTURE 6X6 SUPPORT POSTS, AND SECURE TO FLOOR FRAMEWORK USING TIMBERLOK OR EQUIVALENT STRUCTURAL LAG SCREWS.
- 2 2 PLY 1.75" X 11-7/8" LVL TO BE USED FOR ROOF ATTIC TRUSS SUPPORT BEAM. BEAM TO POCKET INTO WALL FRAMING ON EACH END, AND SUPPORT EACH END OF BEAM WITH SOLID JACK AND KING STUD FRAMING.
- 3 DOUBLE 2X10 HEADERS TO BE USED FOR ALL NEW WINDOWS AND NEW EXTERIOR DOOR IN ADDITION EXTERIOR WALL FRAMING. SUPPORT EACH END OF ALL HEADERS WITH JACK AND KING STUD FRAMING.
- 4 ROOF OVER ADDITION TO BE FRAMED WITH PRE-ENGINEERED ATTIC STYLE ROOF TRUSSES PLACED 24" O.C., MAX. SECURE EACH END OF TRUSSES TO WALL TOP PLATES WITH SIMPSON OR EQUIVALENT HURRICANE TIES. BRACE TOGETHER USING TRUSS BLOCKING AS NECESSARY.
- 5 DOUBLE 2X10'S TO BE USED FOR REAR PORCH, FRONT PORCH, AND REAR SHED EXTENSION ROOF OVERHEAD ROOF SUPPORT BEAMS. BEAMS TO POCKET INTO WALL FRAMING ON INSIDE ENDS, SUPPORTED BY SOLID JACK STUD WALL FRAMING TO BEAR ON FOUNDATION WALLS BELOW. OUTSIDE ENDS TO BE SECURED TO BEAM SUPPORT POSTS USING SIMPSON OR EQUIVALENT POST TO BEAM HARDWARE.
- 6 FRONT PORCH ROOF TO BE FRAMED WITH NEW PRE-ENGINEERED ROOF TRUSSES, AND SECURED ON EACH END TO SUPPORT BEAMS USING SIMPSON OR EQUIVALENT HURRICANE TIES. BRACE TOGETHER USING TRUSS BLOCKING AS NECESSARY.
- 7 REAR PORCH ROOF TO BE FRAMED WITH SALVAGED ROOF TRUSSES, AND SECURED ON EACH END TO SUPPORT BEAMS USING SIMPSON OR EQUIVALENT HURRICANE TIES. BRACE TOGETHER USING TRUSS BLOCKING AS NECESSARY.
- 8 2X8'S TO BE USED FOR NEW REAR SHED ROOF EXTENSION RAFTERS. SECURE OUTSIDE ENDS ON SUPPORT BEAM USING SIMPSON OR EQUIVALENT HURRICANE TIES, AND INSIDE UPPER ENDS TO BE SECURED TO EXISTING ROOF SHEATHING SURFACE.
- 9 2X6'S TO BE USED FOR RAKE LADDER, FASCIA BOARDS, AND ROOF FRAMING OVERBUILD WHERE REAR PORCH ROOF MEETS ADDITION. FASCIA BOARDS TO BE NAILED TO EVERY TRUSS TAIL, AND NAIL RAKE LADDERS TO TRUSSES THOROUGHLY AND ACCORDING TO CODE.
- 10 INSTALL 1/2" 5-PLY ROOF SHEATHING OVER TRUSSES SEPARATED BY H CLIPS. NAIL THROUGHOUT AND ACCORDING TO CODE.



4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR/ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NEW PRE-ENGINEERED ATTIC ROOF TRUSSES
- NEW FRONT PORCH PRE-ENGINEERED ROOF TRUSSES
- SALVAGED REAR PORCH TRUSSES
- DOUBLE 2X10 ROOF SUPPORT BEAM
- 2X8 RAFTERS
- 2X6 FASCIA, RAKE, AND SLEEPER BOARDS
- DOUBLE 2X10 HEADERS
- PT 4X4 ROOF BEAM SUPPORT POSTS
- AREA NOT IN SCOPE OF WORK