

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 9/23/20 **ONSITE SEWAGE DISPOSAL SYSTEM** P 567991

APPROVAL DATE: 10/8/2020 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 1802 DAVIS BRANCH ROAD, WOODSTOCK, MD 21163

SUBDIVISION: MYRTUE PROPERTY LOT: 9 TAX ID: 03-352412
greinsmith@keystonecustomhomes.c

CONTRACTOR: Bill Ingram/ Farm and Home Excavating EMAIL: om

CONTRACTOR ADDRESS: 901 Driver Road, Marriottsville, MD 21104 PHONE: 410-984-0189

PROPERTY OWNER: SONSHINE MD LP EMAIL: _____

OWNER ADDRESS: 227 GRANITE RUN ROAD, LANCASTER, PA 17601 PHONE: 717-464-9060

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: MAYER BROS., INC.

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

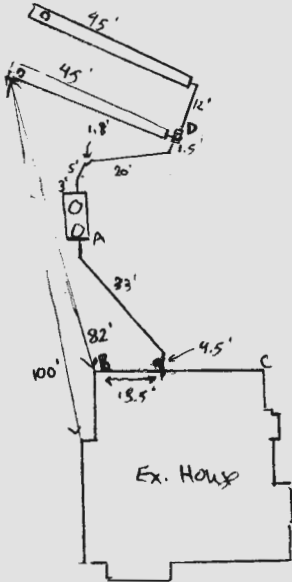
TRENCHES:	LINEAR FEET REQUIRED: <u>80</u>	INLET DEPTH: <u>2.0</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.0</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL INTIAL SYSTEM AT T 40' TRENCHES.	

ISSUED BY: R BRICKER ISSUE DATE: 9/23/20 EXPIRATION DATE: 9/23/21

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE 1" = 50'



A-B 31'
 A-C: 57'
 D-B: 42'
 D-C: 45'

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	2'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		90'
ABSORPTION AREA		270 sq ft
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL yes
 MANUFACTURER Babylon
 CAPACITY 2000 GAL
 SEAM LOC top
 TANK LID DEPTH 2'
 BAFFLES front + back
 BAFFLE FILTER -
 MANHOLE LOC front + back
 6" PORT LOC -
 WATERTIGHT TEST -
 SLOTTED yes
 DATE ON LID 8-18-20

PUMP/SEPTIC TANK LEVEL

MANUFACTURER _____
 CAPACITY _____ GAL
 SEAM LOC _____
 TANK LID DEPTH _____
 BAFFLES _____
 BAFFLE FILTER _____
 MANHOLE LOC _____
 6" PORT LOC _____
 WATERTIGHT TEST _____
 SLOTTED _____
 DATE ON LID _____

ROAD NAME

PRE-CONSTRUCTION:

10/7/2020 Laid out 2x40' trenches on contour according to plan (S)

INSTALLATION: 10/8/2020 SHC, SL tank, d-box and trenches installed. D-box leveled.

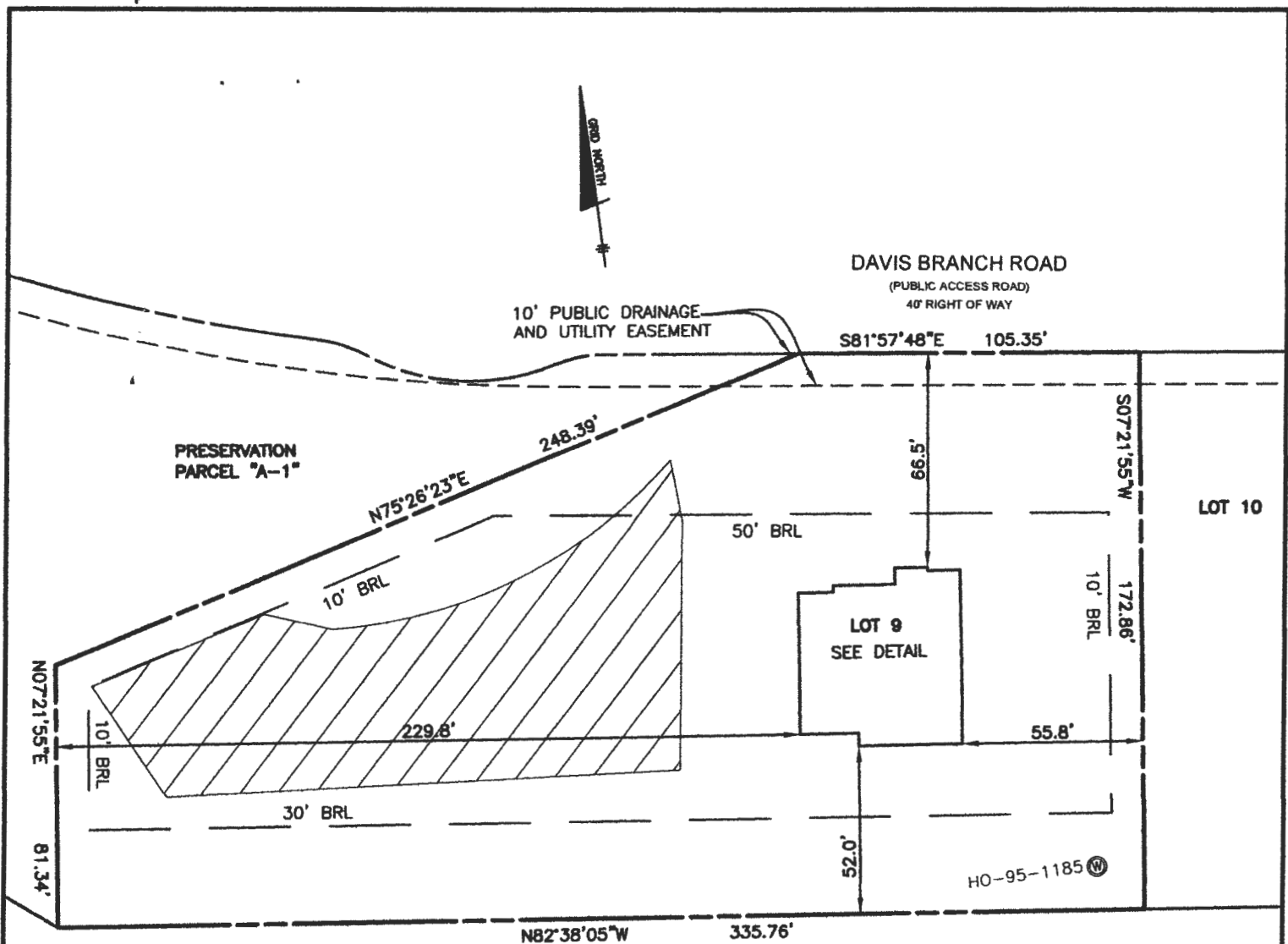
(S)

FINAL INSPECTOR

Susan Thomas

DATE OF APPROVAL

10/8/2020



RUTH D. BROWN
 L. 2214 F. 731
 SAMUEL BROWN, RUTH D. BROWN &
 FRANCES LOUISE BROWN
 L. 394 F. 553
 L. 60 F. 36
 1st PARCEL
 ZONED RC-DEO

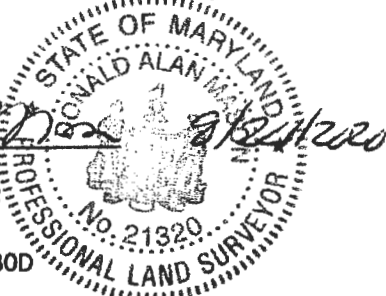
OK
 gw
 9/23/20

FIRST FLOOR ELEVATION = 400.5'
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

SURVEYOR'S CERTIFICATE

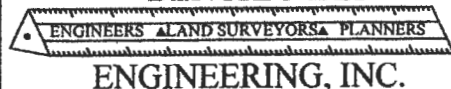
I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2021 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 08/20/2020.

Donald A. Mason
 DONALD A. MASON
 PROFESSIONAL LAND SURVEYOR
 MARYLAND REG. No. 21320



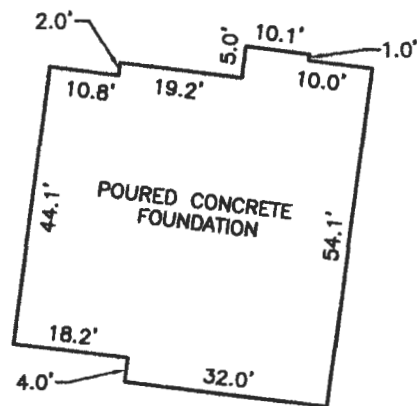
FEMA FIRM No. 24027C0080D
 ZONE: X
 DATED: 11/06/2013

BENCHMARK



8480 BALTIMORE NATIONAL PIKE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-485-8105 (F) 410-485-8844

WWW.BEJ-CMLENGINEERING.COM



FOUNDATION DETAIL
 SCALE: 1" = 30'

WALL CHECK

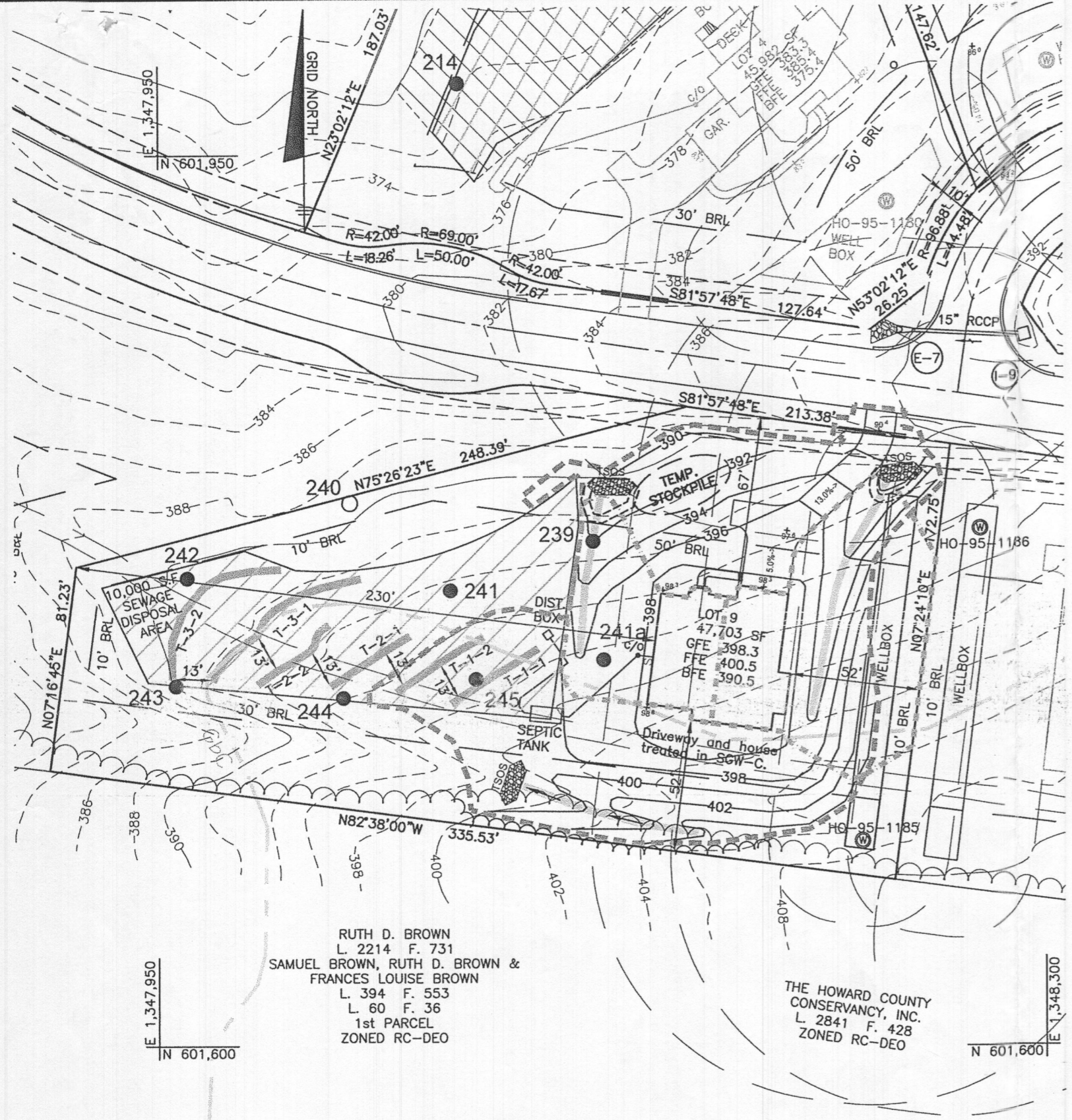
MYRTUE PROPERTY

PLAT No. 23865
LOT No. 9

1802 DAVIS BRANCH ROAD

3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FIELD OBS. BY ML
 COMP. BY DAM
 DRAWN BY EWF SCALE: 1" = 50' DATE: 08-20-2020



RUTH D. BROWN
L. 2214 F. 731
SAMUEL BROWN, RUTH D. BROWN &
FRANCES LOUISE BROWN
L. 394 F. 553
L. 60 F. 36
1st PARCEL
ZONED RC-DEO

THE HOWARD COUNTY
CONSERVANCY, INC.
L. 2841 F. 428
ZONED RC-DEO

PLAN VIEW
1" = 50'

NOTE: THE STORMWATER MANAGEMENT FOR LOT 9 IS PROVIDED IN SGW-C AND WAS PREPARED AND APPROVED UNDER THE F-06-104 STORMWATER MANAGEMENT PLAN.

LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- EXISTING PRIVATE SEWAGE AREA
- PROPOSED PRIVATE SEWAGE AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED

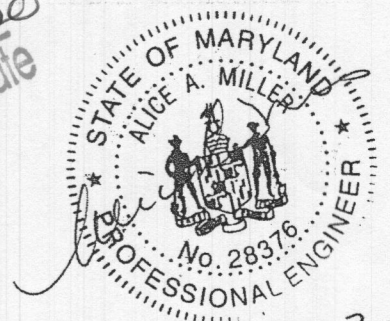
NOTE: LOT 9 CELLAR NOT SERVED VIA GRAVITY, PUMP REQ'D IN BASEMENT.

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN DESIGNED FOR THIS SPECIFIC HOUSE, GP-20-68.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1185, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED PROVIDED IN SGW-C FACILITY, WHICH IS CONSTRUCTED IN COMPLIANCE WITH F-06-104.
10. RAINWATER SHALL BE CONVEYED VIA GRADED SWALES, AS SHOWN.

*Approved Septic System Plan
Howard County Health Department
5-Bedroom SFD
w/rough-in bath
PBuckler
signature
5/7/2020
Date*

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01/01/2021.

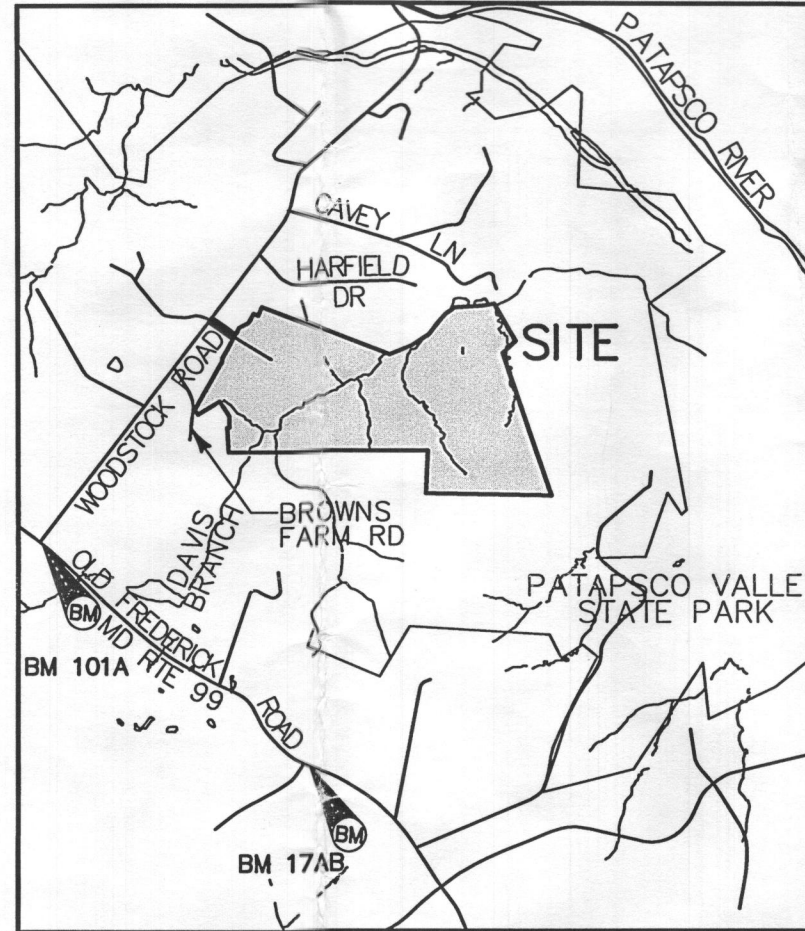


3-25-20

OWNER/BUILDER: KEYSTONE CUSTOM HOMES, INC. 227 GRANITE RUN DR. SUITE 100 LANCASTER, PA 17601 717-464-9060		PROJECT: MYRTUE PROPERTY LOT 9	
BENCHMARK ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CVLENGINEERING.COM		LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225 ZONED: 1802 DAVIS BRANCH ROAD 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #352404	
		TITLE: BUILDING PERMIT PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES		DATE: MARCH, 2020	PROJECT NO. 2099
SCALE: AS SHOWN		DRAWING <u>1</u> OF <u>1</u>	

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR MYRTUE PROPERTY, PLAT NUMBER 23865. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1185) HAS BEEN FIELD LOCATED ON JUNE, 2019 BY BENCHMARK ENGINEERING, INC. AND IS ACCURATELY SHOWN.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS FLOWN BY VIRGINIA RESOURCE MAPPING, INC. DATED FEBUAURY 2003 AND SUPPLEMENTED WITH FIELD SURVEY BY DMW, INC. DATED 2005 AND BENCHMARK ENGINEERING, INC. DATED JUNE, 2019 WHICH CONSISTS OF 2 FOOT CONTOUR INTERVALS.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK INFORMATION NAD83

Ho. Co. STATION 101A STAMPED DISC SET ON TOP OF CONCRETE COLUMN	Ho. Co. STATION 17AB STAMPED DISC SET ON TOP OF CONCRETE COLUMN
NORTHING: 565347.937' EASTING: 1319266.269' ELEVATION: 588.708'	NORTHING: 564468.943' EASTING: 1318257.375' ELEVATION: 561.105'

Approved Septic System Plan
Howard County Health Department
2000-gal Septic Tank
to Gravity Drain Field
for 5-Bedroom SFD
R. Buick
Signature
3/20/2020
Date

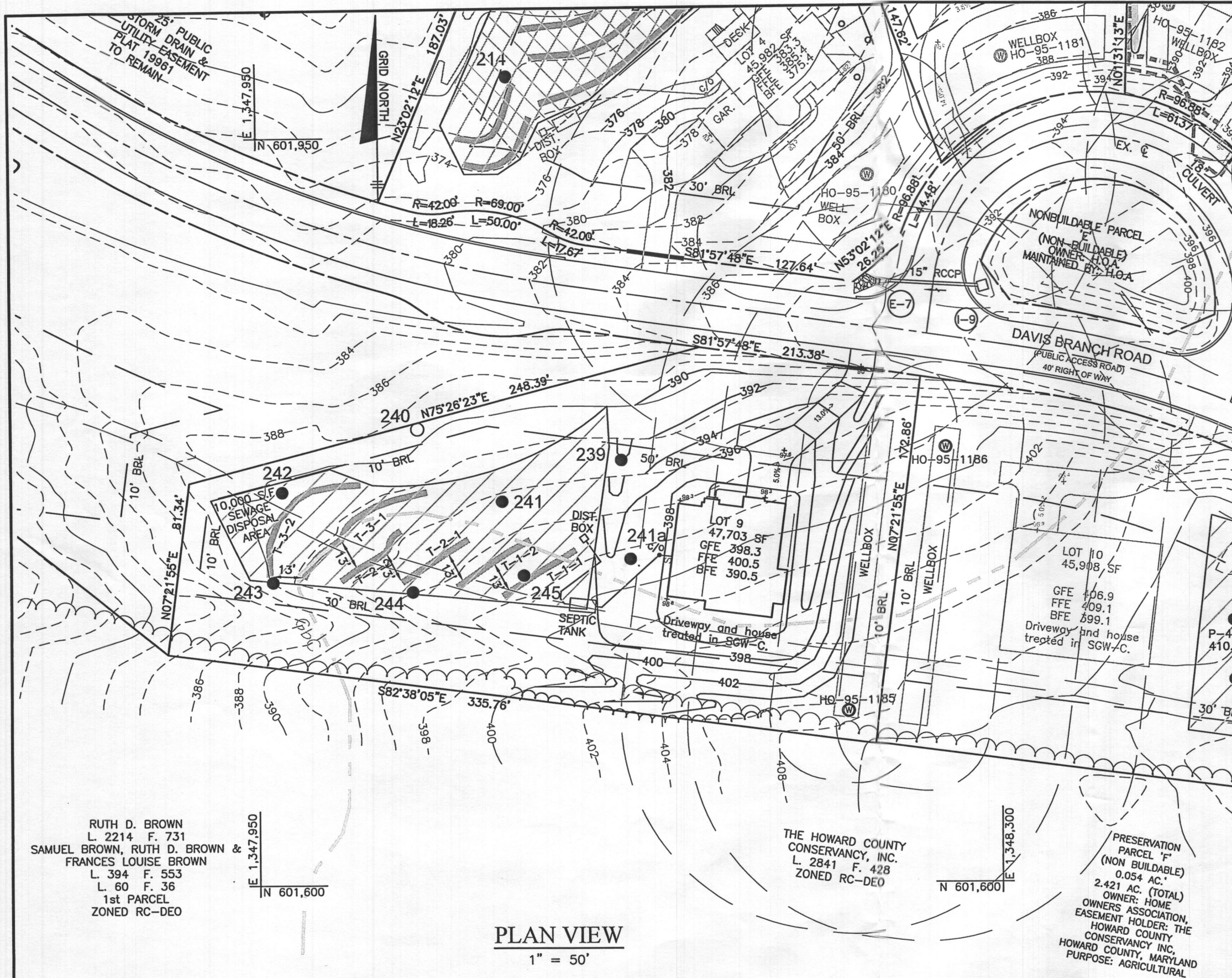
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



PROJECT: MYRTUE PROPERTY LOT 9	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1802 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE: ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: FEBRUARY, 2020	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 1 OF 3

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 ▲ (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM



- ### LEGEND
- 400 PROPOSED CONTOURS
 - 398 EXISTING CONTOURS
 - EXISTING PRIVATE SEWAGE AREA
 - PROPOSED PRIVATE SEWAGE AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED
 - PERC TEST FAILED

NOTE: LOT 9 CELLAR NOT SERVED VIA GRAVITY, PUMP REQ'D IN BASEMENT.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



3-12-20

RUTH D. BROWN
L. 2214 F. 731
SAMUEL BROWN, RUTH D. BROWN &
FRANCES LOUISE BROWN
L. 394 F. 553
L. 60 F. 36
1st PARCEL
ZONED RC-DEO

PLAN VIEW
1" = 50'

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
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NOTE: THE STORMWATER MANAGEMENT FOR LOT 9 IS PROVIDED IN SGW-C AND WAS PREPARED AND APPROVED UNDER THE F-06-104 STORMWATER MANAGEMENT PLAN.

PROJECT:		MYRTUE PROPERTY LOT 9	
LOCATION:		TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1802 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:		ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	FEBRUARY, 2020	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	2 OF 3

HEALTH DEPARTMENT SPEC SHEET INFORMATION - LOT 9			
System	Application Rate	Effective Depth	Bottom Depth
Initial System	1.2	3.0	8.0
1st Replacement	1.2	3.0	8.0
2nd Replacement	0.6	3.0	8.0

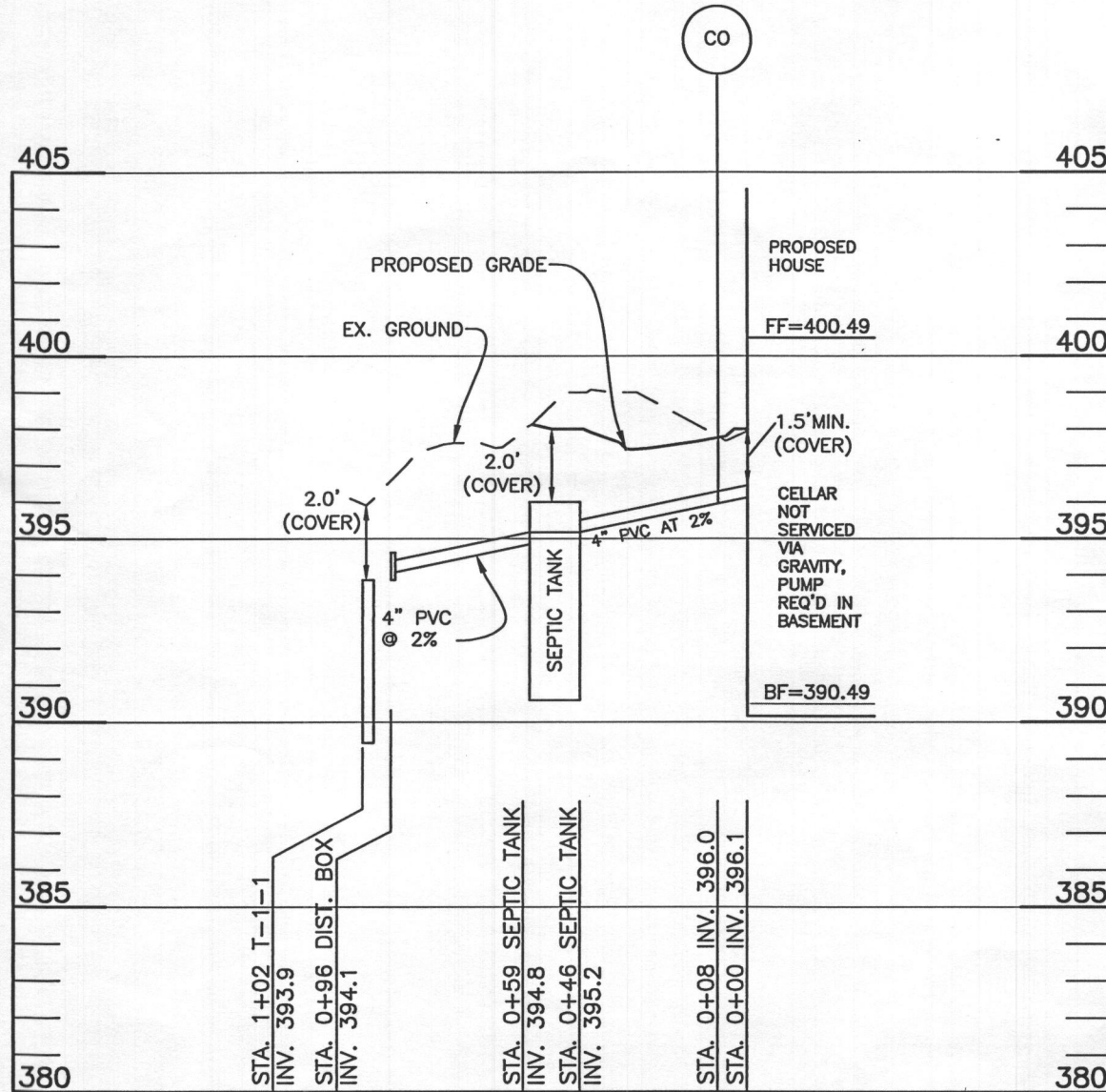
TRENCH DESIGN - LOT 9					
INITIAL SYSTEM					
T-1-1	LENGTH	40 ft	T-1-2	LENGTH	40 ft
	GROUND ELEVATION	395.9		GROUND ELEVATION	396.5
	INVERT ELEVATION	393.9		INVERT ELEVATION	394.5
	MAX BOTTOM ELEVATION	387.9		MAX BOTTOM ELEVATION	388.5
1ST REPLACEMENT SYSTEM					
T-2-1	LENGTH	40 ft	T-2-2	LENGTH	40 ft
	GROUND ELEVATION	395.2		GROUND ELEVATION	393.7
	INVERT ELEVATION	393.2		INVERT ELEVATION	391.7
	MAX BOTTOM ELEVATION	387.2		MAX BOTTOM ELEVATION	385.7
2ND REPLACEMENT SYSTEM					
T-3-1	LENGTH	74.5 ft	T-3-2	LENGTH	74.5 ft
	GROUND ELEVATION	392.4		GROUND ELEVATION	390.1
	INVERT ELEVATION	390.4		INVERT ELEVATION	388.1
	MAX BOTTOM ELEVATION	384.4		MAX BOTTOM ELEVATION	382.1

SEPTIC INVERT CHART - LOT 9	
INV @ HOUSE	396.1
GROUND @ HOUSE	398.0
INV IN SEPTIC TANK	395.2
INV OUT SEPTIC TANK	394.8
TOP OF SEPTIC TANK	396.0
GROUND OVER SEPTIC TANK	398.0

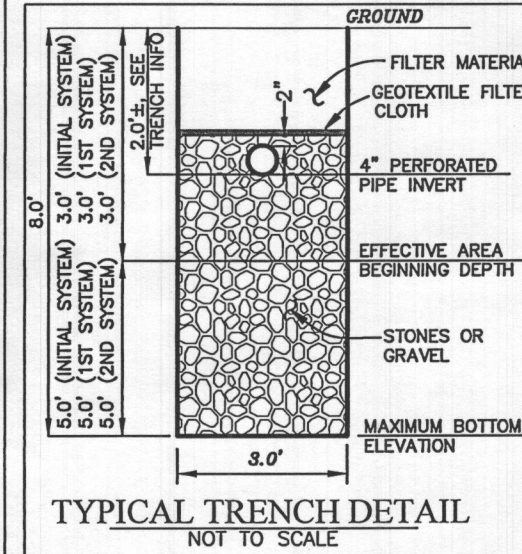
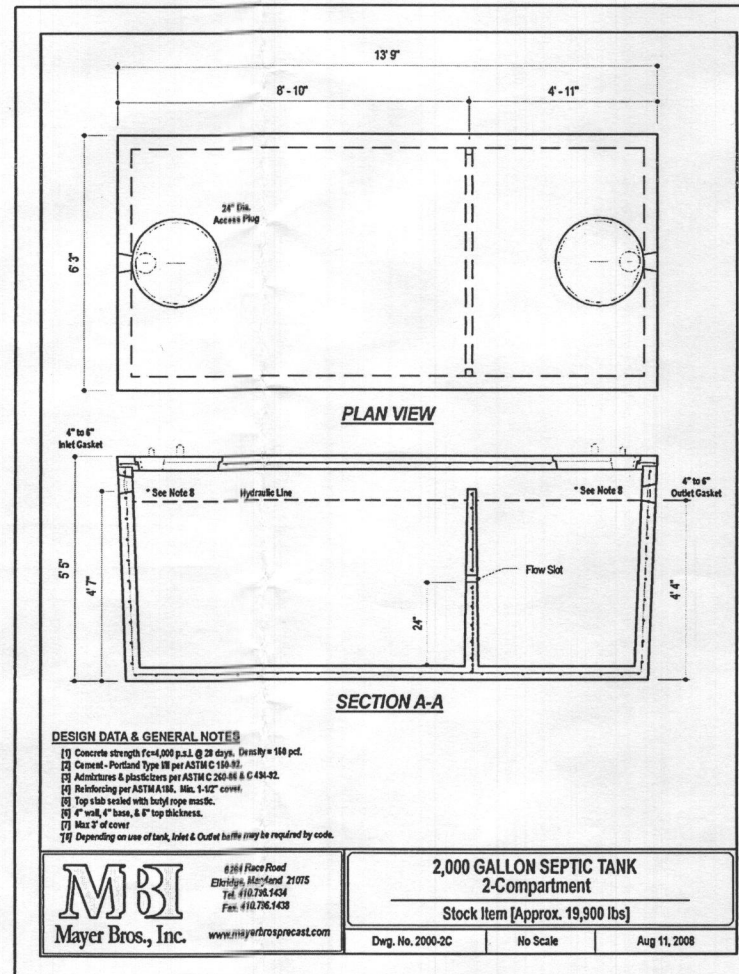
INITIAL SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Side Wall Reduction Credit	0.36	
Trench width	3	ft
Effective Area Depth	5	ft
Trench Spacing	13	ft
Linear Length of trench Required	74	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Side Wall Reduction Credit	0.36	
Trench width	3	ft
Effective Area Depth	5	ft
Trench Spacing	13	ft
Linear Length of trench Required	74	lf

2ND REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	0.6	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	8.0	ft
Design Flow	750	gpd
Drainage Field square footage	1250	sf
Side Wall Reduction Credit	0.36	
Trench width	3	ft
Effective Area Depth	5	ft
Trench Spacing	13	ft
Linear Length of trench Required	149	lf



LOT 9 OSDS
SCALE: 1"=50' HORIZ., 1"=5' VERT.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2021.



3-12-20

PROJECT: MYRTUE PROPERTY LOT 9
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO
1802 DAVIS BRANCH RD. WOODSTOCK, MD 21163
6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404

TITLE: ONSITE SEWAGE DISPOSAL PLAN
HOUSE TYPE: CUSTOM - KEYSTONE HOMES
DATE: FEBRUARY, 2020 PROJECT NO. 2099
SCALE: AS SHOWN DRAWING 3 OF 3

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

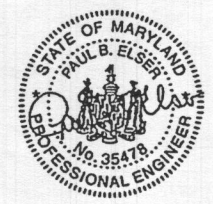
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227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PENNSYLVANIA 17601
 PH: (717) 464-9060 • FAX: (717) 464-9046
 www.keystoncustomhomes.com



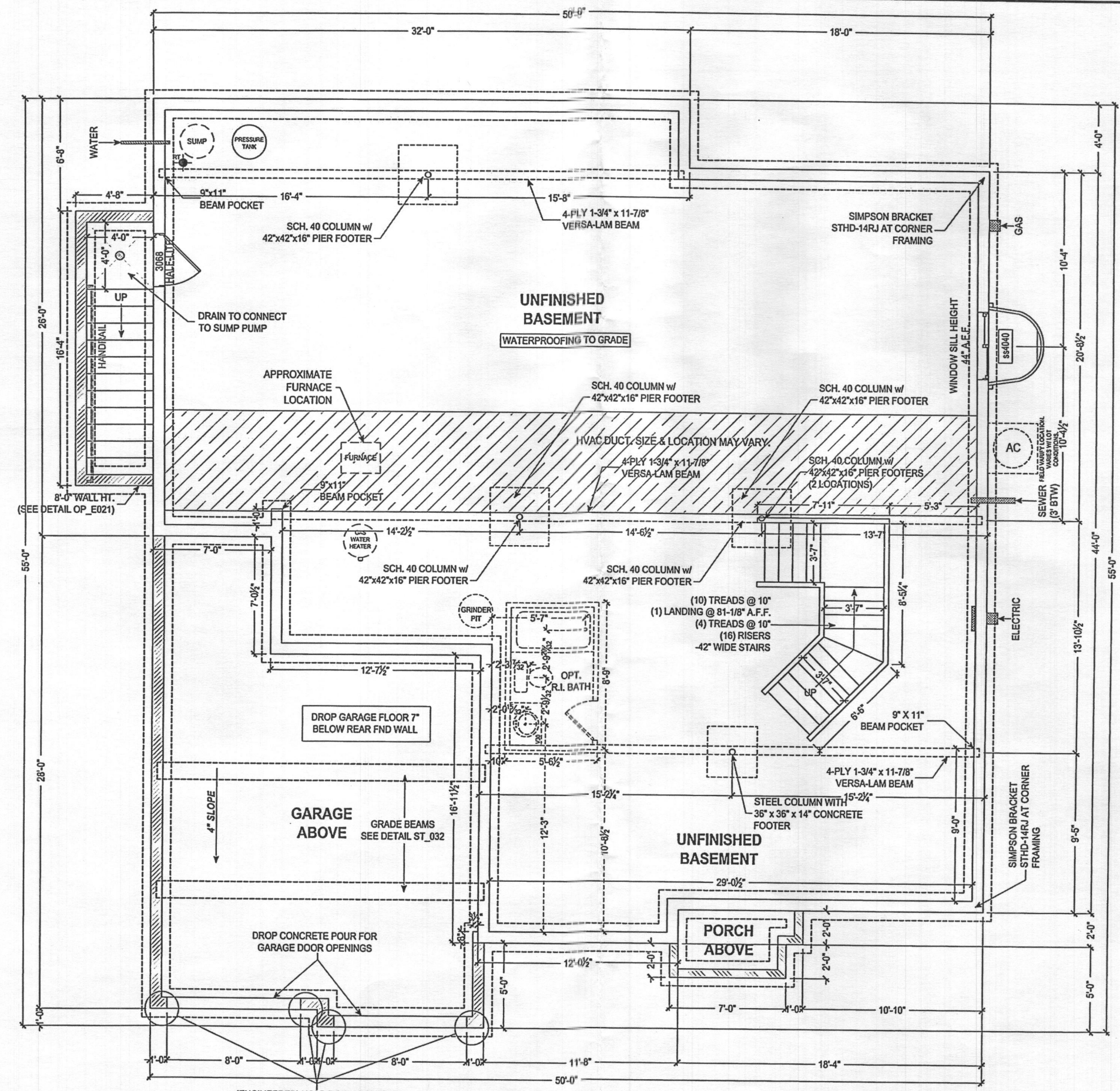
KEYSTONE CUSTOM HOMES, INC.



Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a fully licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expiration Date: 06-18-2020.

FOUNDATION PLAN
 MODEL: MRS009
 KONDUR / NAREDLA

UPDATED: DEC 17 2019
 SCALE: AS NOTED
 DRAWN BY: L. JARMOSKA
 SHEET NO. P1.2
 PLAN: ads 10



NOTE TO HOMEOWNERS:
 LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

(ENGINEERED) HOLD DOWN BOLTS @ GARAGE CORNERS PER ST_113 DETAIL

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

8" THICK POURED CONCRETE WALLS
 9'-0" HIGH MAIN HOUSE BASEMENT WALLS STANDARD
 8" THICK POURED CONCRETE WALLS
 CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS
 8" THICK POURED CONCRETE WALLS
 CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS

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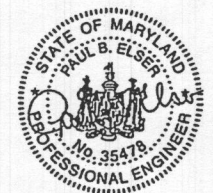


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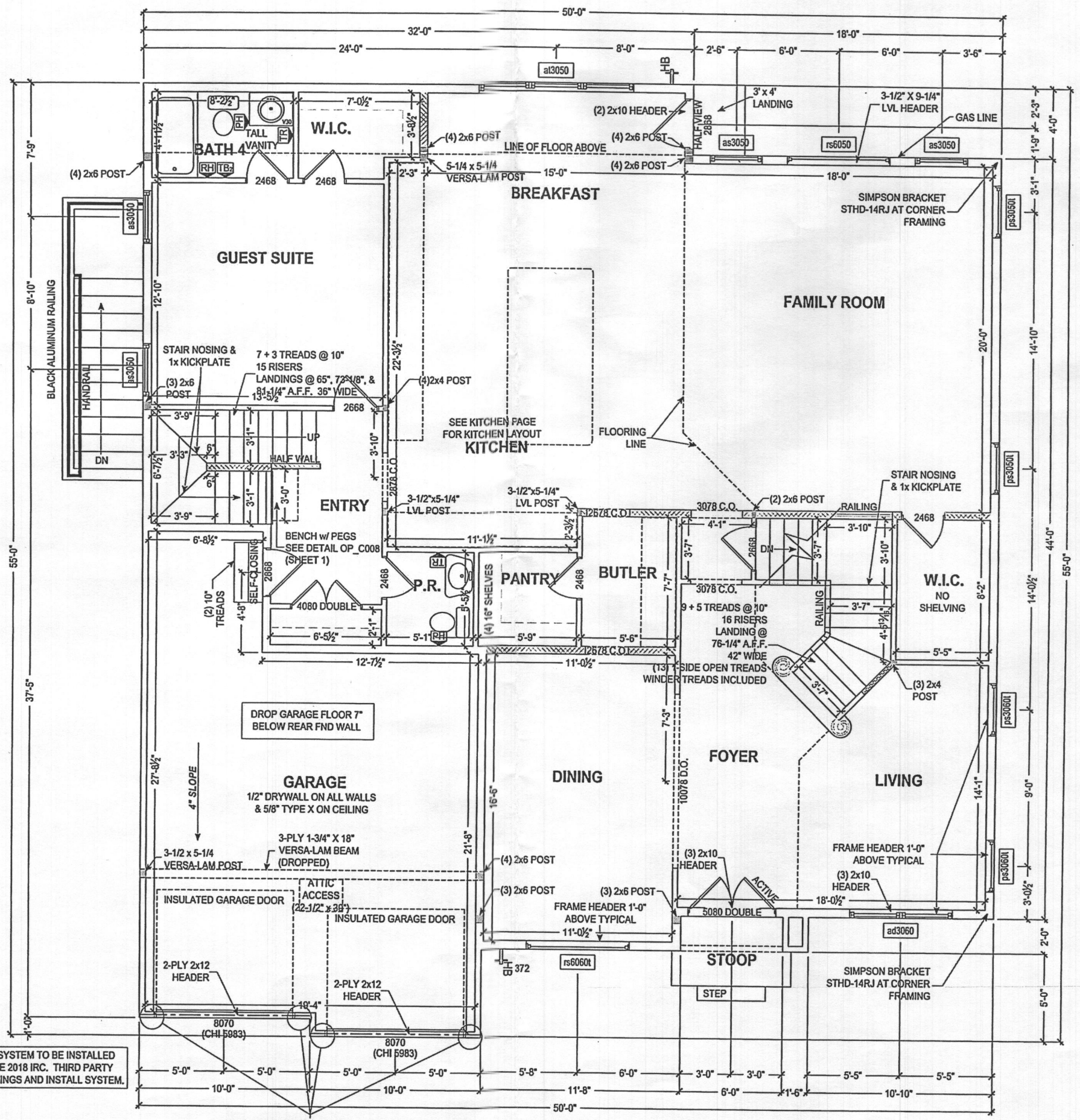
SHEET DESCRIPTION: FIRST FLOOR PLAN
MODEL: MRS009
KONDUR / NAREDLA

UPDATED: DEC 17 2019
SCALE: AS NOTED
DRAWN BY: L. JARMOSKA

SHEET NO. P1.0
FOURTH AD S 10



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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)
GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)
2x6 INTERIOR WALL
INTERIOR HALF WALL
FRAMING POST

(ENGINEERED) HOLD DOWN STRAPS @ GARAGE CORNERS PER ST_113 DETAIL

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

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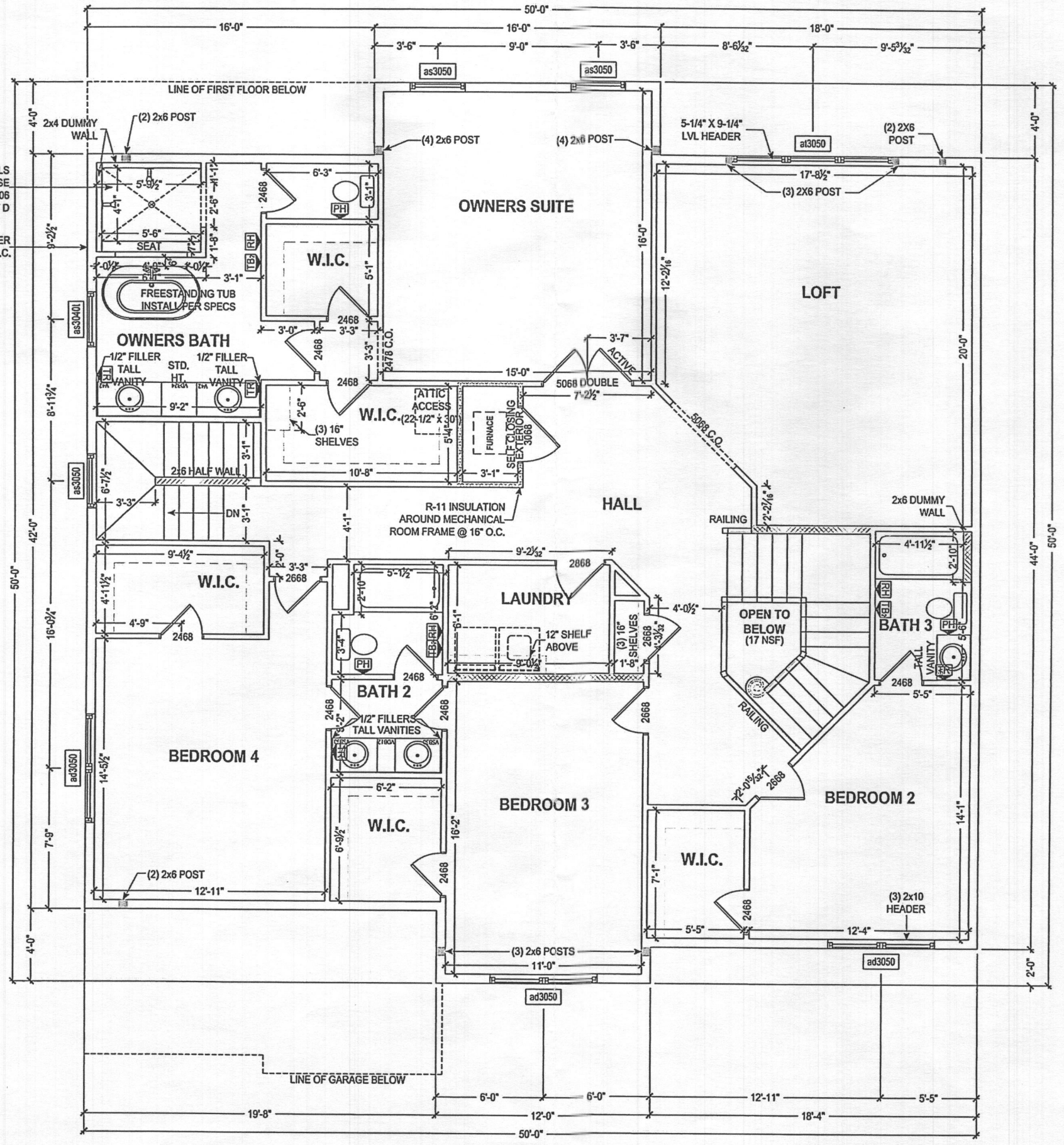
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TILE WALLS WITH TILE BASE SEE DETAIL ST_006 LAYOUT D
FRAME ALL SHOWER WALLS @ 16" O.C.

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET DESCRIPTION:	SECOND FLOOR PLAN
MODEL:	MRS009 KONDUR / NAREDLA
UPDATED:	DEC 17 2019
SCALE:	AS NOTED
DRAWN BY:	LJARMOSKA
SHEET NO.:	P1.1
PRINTED:	ads 10