

RECEIVED

PERMIT NUMBER: B 20002855

DATE ACCEPTED:

AUG 27 2020

RESIDENTIAL BUILDING PERMIT APPLICATION
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: **5175 Green Bridge Rd** Unit: _____
 City: **Dayton** State: **MD** Zip Code: **21036**
 Subdivision/Village/Complex Name: _____ SDP/WP/BA #: _____
 Lot: _____ Tax Map: _____ Parcel: _____ Grading Permit #: _____

DESCRIPTION OF WORK REQUIRED

Existing Use: **Residential** Proposed Use: **Residential** Estimated Cost: **\$60,000.00**
 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None
Add on sunroom over existing patio slab, includes electrical outlets and lighting and mini-split HVAC unit. This application is for the Sunroom only, the drawings also show other work that we are planning as part of a phased approach, please disregard the other elements, we will submit separate permit applications for those when ready.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): **Victor Butera** Primary Residence: Yes No
 Owner's Street Address: **5175 Green Bridge Rd**
 City: **Dayton** State: **MD** Zip Code: **21036**
 Phone: **(703) 300-2013** Email: **buterav@hotmail.com**

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: **NA** Contact Name: **Victor Butera**
 Street Address: **Same as above**
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

CONTRACTOR INFORMATION REQUIRED

Business Name: _____
 Licensee's Name: _____ License #: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

ARCHITECT/ENGINEER INFORMATION: INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: _____ Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS REQUIRED

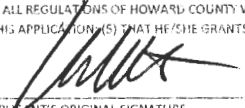
Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: **Ranch style home**
 # of Bedrooms (SF): **460** # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: **3** # Full Baths: **3** # Half Baths: **1** # Fireplaces: **0**
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: **45** 1st Fl Depth: **34** 2nd Fl Width: _____ 2nd Fl Depth: _____ Bsmt Width: **45** Bsmt Depth: **34**
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: **3,906** sq ft Occupiable Area: **1,870** sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

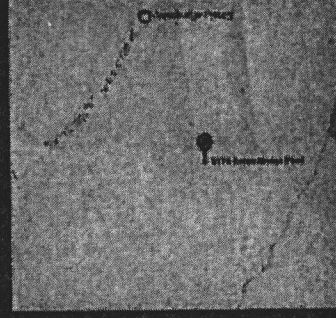
APPLICANT'S ORIGINAL SIGNATURE:  DATE SIGNED: **8/21/20**

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
 FR DPZ DED Health **11/4/20** SHA CID
 SUBMITTAL FEES: _____ PAYMENT: _____ ACCEPTED BY: **MAIL**

B20002855

R&P Settlement Group
1407 York Road | Suite 201
Laurelville-Tinotown, MD 21093
410.821.1401 | rpsettle@msn.net



ADDRESS: 5175 GREEN BRIDGE ROAD DAYTON, MARYLAND 21036

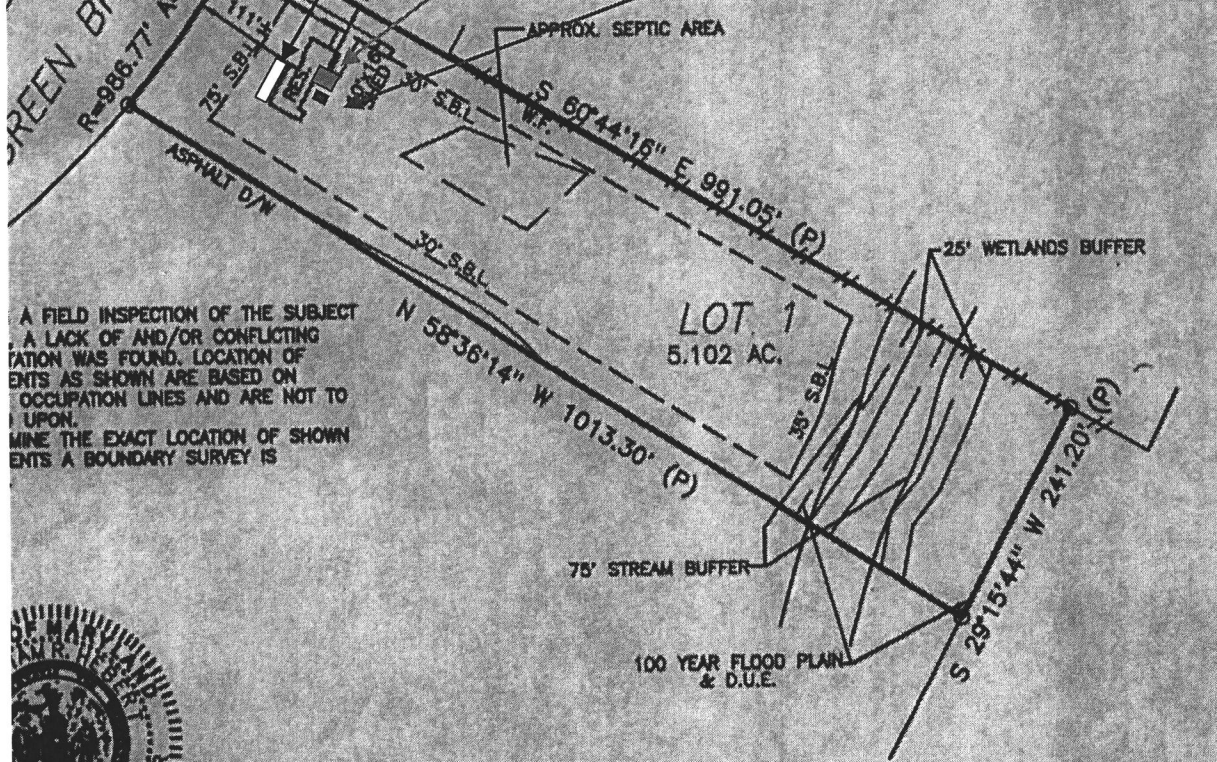
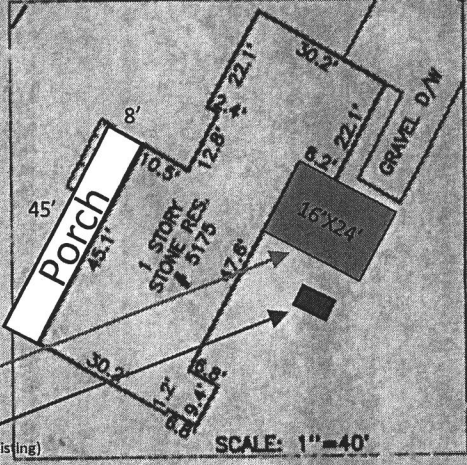
SURVEY NUMBER: 1706.1005

DATE: 7/11/2017 REVISION HISTORY: (REV.D 7/12/2017)

PROPERTY
MOUNTAIN VIEW, MARYLAND
SCALE 1"=200'

GREEN BRIDGE ROAD
R=986.77' N=204.97' (P)

A FIELD INSPECTION OF THE SUBJECT
PROPERTY WAS CONDUCTED AND
A LACK OF ANY AND/OR CONFLICTING
EASMENTS OR ENCUMBRANCES
WAS FOUND. LOCATION OF
FEATURES AS SHOWN ARE BASED ON
OCCUPATION LINES AND ARE NOT TO
BE RELIED UPON.
TO DETERMINE THE EXACT LOCATION OF SHOWN
FEATURES A BOUNDARY SURVEY IS
REQUIRED.



STATE OF MARYLAND
DEPARTMENT OF THE GENERAL LANDS
OFFICE OF THE ASSISTANT ATTORNEY GENERAL
LAND SURVEYING
RES 1-14-2019



GRAPHIC SCALE (In Feet)
1 inch = 200' ft.

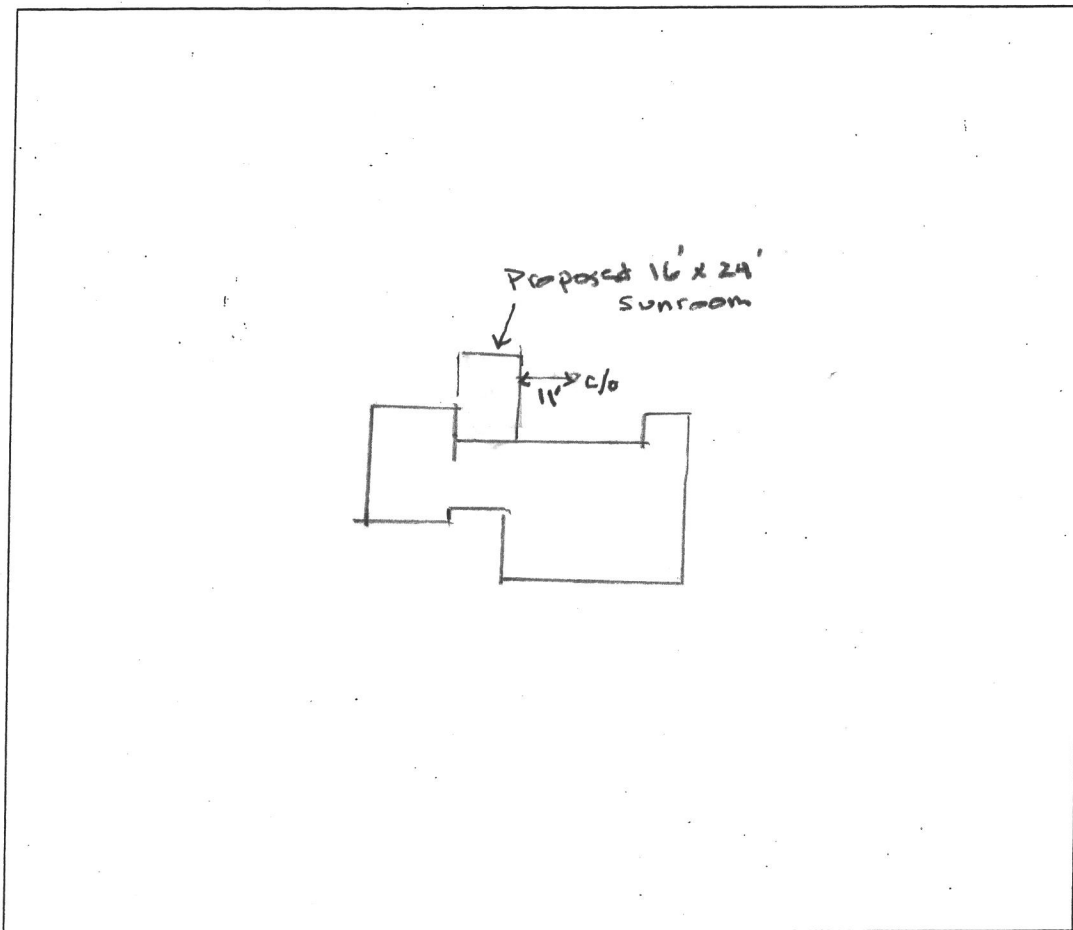
ACCURACY=3±

PLEASE NOTE
This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.

SITE INSPECTION SHEET

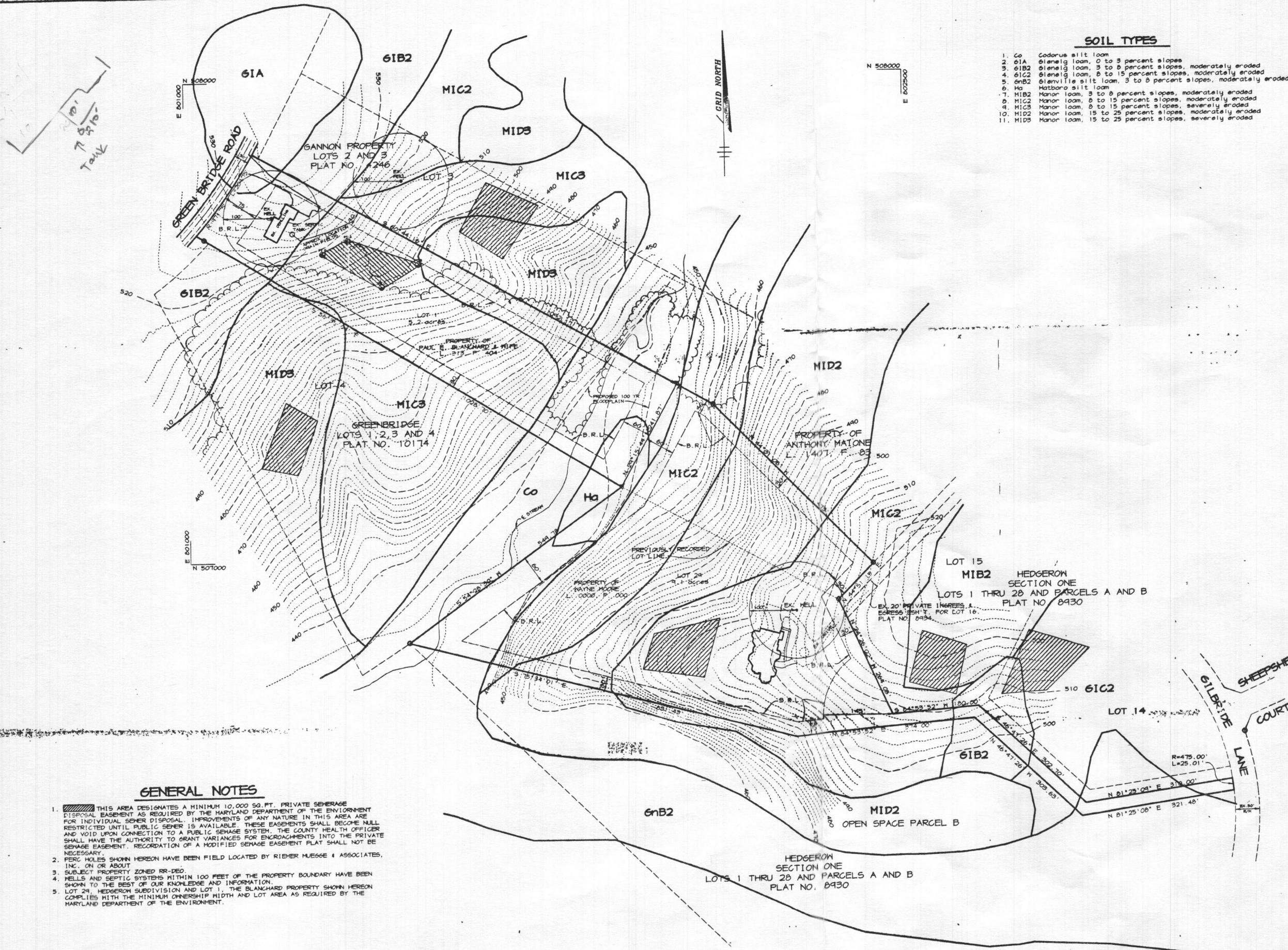
OWNER: Victor Butera PHONE #: _____
ADDRESS: 5175 Green Bridge Rd CONTRACTOR: _____
Dayton, MD 21036 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: _____
PROPOSAL: 16' x 24' Sunroom

LOCATION DIAGRAM

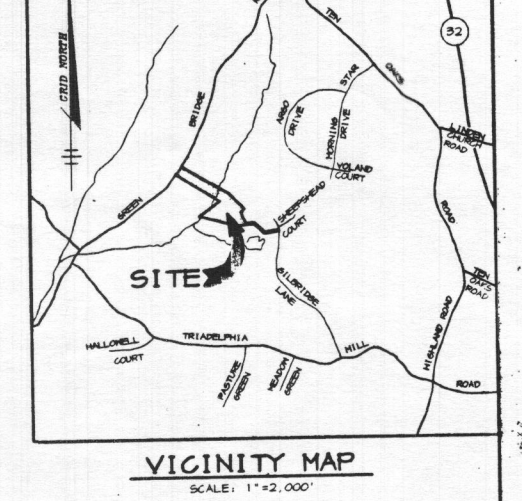


COMMENTS: _____

DATE: 11/4/2020 INSPECTOR: Mark Oswald



- SOIL TYPES**
1. Co Codorus silt loam
 2. 61A Glenelg loam, 0 to 3 percent slopes
 3. 61B2 Glenelg loam, 3 to 8 percent slopes, moderately eroded
 4. 61C2 Glenelg loam, 8 to 15 percent slopes, moderately eroded
 5. 6nB2 Glenville silt loam, 3 to 8 percent slopes, moderately eroded
 6. Ha Hatboro silt loam
 7. MID2 Manor loam, 3 to 8 percent slopes, moderately eroded
 8. MID3 Manor loam, 8 to 15 percent slopes, severely eroded
 9. MID2 Manor loam, 8 to 15 percent slopes, severely eroded
 10. MID2 Manor loam, 15 to 25 percent slopes, moderately eroded
 11. MID3 Manor loam, 15 to 25 percent slopes, severely eroded



GENERAL NOTES

1. THIS AREA DESIGNATES A MINIMUM 10,000 SQ. FT. PRIVATE SEWERAGE DISPOSAL EASEMENT AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWER DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
2. PERC HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED BY RIEMER MUEGGE & ASSOCIATES, INC. ON OR ABOUT [DATE].
3. SUBJECT PROPERTY ZONED RR-DEO.
4. WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF THE PROPERTY BOUNDARY HAVE BEEN SHOWN TO THE BEST OF OUR KNOWLEDGE AND INFORMATION.
5. LOT 24, HEDGERON SUBDIVISION AND LOT 1, THE BLANCHARD PROPERTY SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.

PURPOSE STATEMENT

THE PURPOSE OF THIS PLAN IS TO SHOW A PRIVATE SEWERAGE DISPOSAL EASEMENT FOR NEW LOT 1, PREVIOUSLY PARCEL 12 RECORDED IN LIBER 313, AT FOLIO 404, AFTER THE CONVEYANCE OF 2.23 ACRES TO NEW LOT 24, HEDGERON, PREVIOUSLY RECORDED LOT 16 AS SHOWN ON A PLAT OF SUBDIVISION ENTITLED "HEDGERON, SECTION 1, LOTS 1 THRU 28 AND PARCELS A AND B, RECORDED ON PLAT #8930.

DATE	NO.	REVISION
		OWNERS PAUL E. BLANCHARD GREENS BRIDGE ROAD DATON, MARYLAND 21056-1205 AND WAYNE MOORE 13687 61 BRIDE LANE CLARKSVILLE, MARYLAND 21024
		PROJECT THE WAYNE MOORE AND PAUL E. BLANCHARD & WIFE PROPERTIES
		AREA 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND PARCELS 12 & P/O 30 TAX MAP NO. 28 BLOCKS 13 & 14
TITLE PERC CERTIFICATION PLAN		
RIEMER MUEGGE & ASSOCIATES, INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive, Columbia, Maryland 21045 tel 410.997.8900 fax 410.997.9282		
DATE		PROJECT: 97326 PERCENT. DMS
		DRAWN BY: L.J.D.
		PROJECT NO : 97326
		DATE : JANUARY 30, 1998
		SCALE : 1"=100'
		DRAWING NO. 1 OF 1

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS BY THE HOWARD COUNTY HEALTH DEPARTMENT.
[Signature] 2-5-98
 HOWARD COUNTY HEALTH OFFICER DATE

Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, September 8, 2020 2:44 PM
To: buterav@hotmail.com
Subject: B20002855_5175 Green Bridge Road_Site Plan

Hi Mr. Butera:

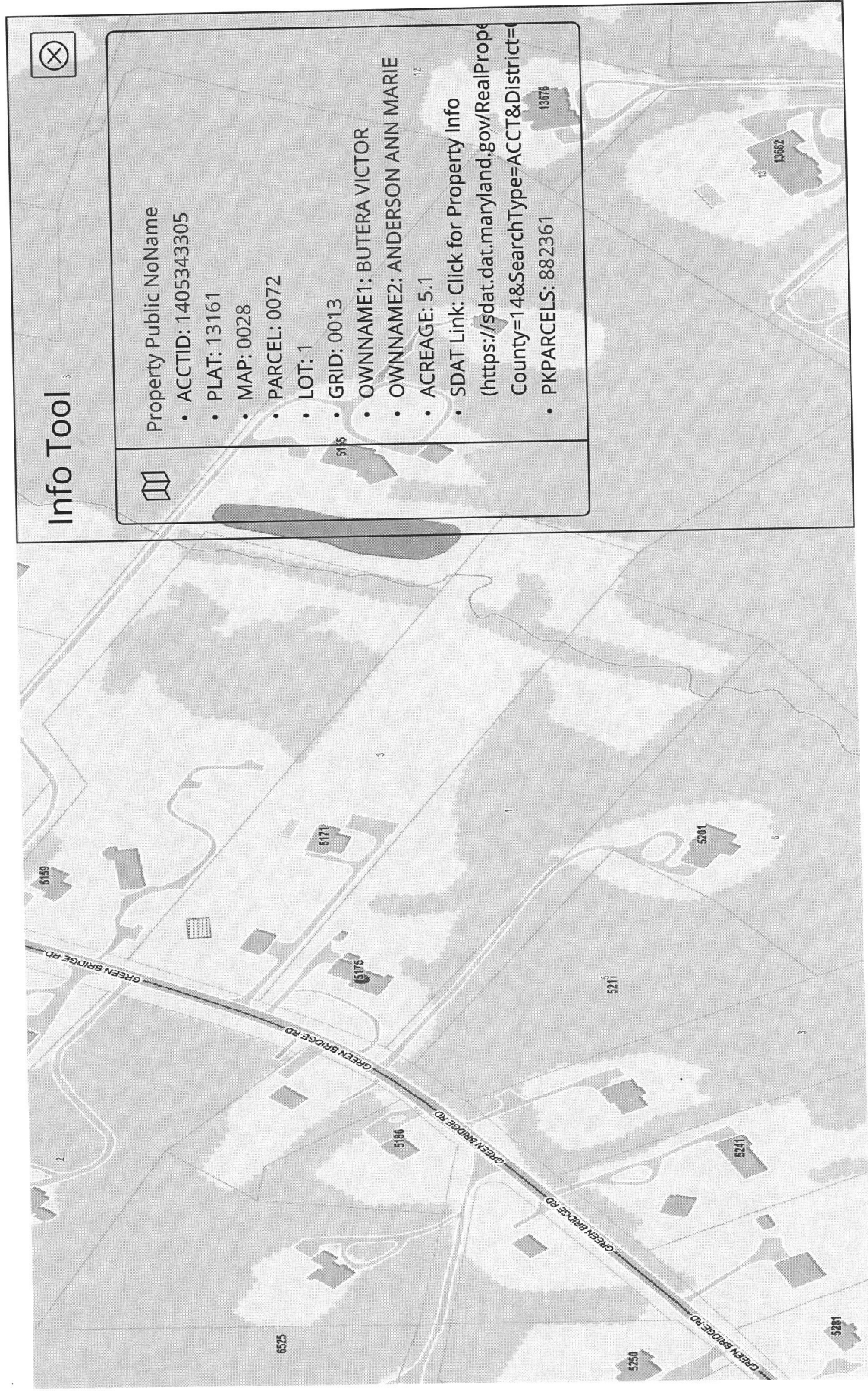
Good afternoon. Please revise the building permit site plan to scale between (1:30 - 1:100) and add the well, septic tank and septic trench. Once completed, please resubmit copies of the site plan to the permit office. Please let me know when you do.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Howard County Health Department
Well and Septic Program
410.313.1786



**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 10-20-20

To: Dan Swinder
(Person's Name and Division)

From: Vic Butera (703) 300-2013
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 5175 Green Bridge Rd
Permit # B20002855 SDP # _____
Other information pertinent to this project _____

RECEIVED
OCT 21 2020
PLAN REVIEW DIVISION

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of _____ (be specific).
_____ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

RECEIVED
OCT 22 2020
PLAN REVIEW DIVISION

Contact Person Information: (Required)

Please Print Name _____ Telephone No: _____
E-Mail Address: _____

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by Drop Box

Vic Butera
5175 Green Bridge Rd, Dayton MD 21036
(703) 300-2013

October 19, 2020

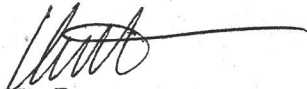
Howard County Department of Inspections, Licenses, and Permits
Attn: Licenses and Permits Front Counter - Building Permits
3430 Court House Drive
Ellicott City, MD, 21043

Dear Sirs or Ladies,

I submitted a request for a building permit, #B2000 ~~2855~~ and received a call from your reviewer that the drawings were not complete and needed to be updated. Attached are the updated (new) drawings, please replace the existing drawings with these.

Please contact me if you need any additional information or if I can be of any other assistance.

Sincerely,


Vic Butera

RECEIVED

OCT 20 2020

LICENSES & PERMITS
DIVISION

GENERAL NOTES

1. All construction shall be in compliance with the International Residential Code 2018 IRC.
2. The contractor shall verify all dimensions, grades, boundaries and construction before proceeding with the work.
3. Wood stud bearing walls to be 2x6, 2x4 at 16" O.C. unless otherwise noted, SPF # 2 grade or better.
4. All wood less than 8" from grade shall be pressure treated. All wood plates on slab to be pressure treated.
5. Provide minimum of R-49 Roof insulation with vapor barrier and insulation baffles at each roof bay eave.
6. Provide R-20 batt insulation with vapor barrier on all finished frame walls unless otherwise noted.
7. All exterior wood to be pressure treated or painted with minimum of two coats of paint. All exterior metal louvers/steel lintel angles, flashing shall be galvanized and painted.
8. Provide 3/4" T & G rated plywood sub-floor.
9. Provide 2-2x4 post at each end of double joists unless noted otherwise.
10. Floor joists/truss layout shown is only for guidance floor joists supplier shall provide joists layout & ensure not to obstruct plumbing & HVAC openings.
11. Any walks and stoops with two risers and over shall be provided with handrail 3"0" high.
12. Smoke detectors to be installed in accordance with local codes and requirements and to be integrated with the electrical system.
13. All electrical work shall be installed in accordance with NEC and local codes.
14. All mechanical work shall be installed in accordance with mechanical codes.
15. Bottom of footings shall be a minimum of 30" below grade.
16. Dimensions given on floors plans are face to face of finished wall.
17. General contractor and manufacturers to coordinate all dimensions concerning doors, panels, windows, trusses and their openings prior to fabrication and construction
18. Typical interior partitions 2x4 wood studs with one layer 1/2" gypsum board both sides unless otherwise noted.
19. Provide sheathing at all exterior frame walls as shown on drawings. Install in accordance with manufacturer's recommendations.
20. Provide continuous footing drain tile along the building basement perimeter. Drain to positive outfall.
21. Provide splash block at all downspouts to direct water away from building, or run downspout into sleeve connected to below-grade pipe directing water away from building.
22. Provide minimum of one light fixture in roof trusses attic access.
23. Soil Bearing capacity shall be minimum of 1500 PSF.
24. Concrete : 3000 psi minimum.
25. Minimum design loads shall be: 30 PSF Habitable Attics, 10 PSF Non Storage Attic, 30 PSF Roof, 40 PSF Stairs and Decks, 40 PSF ext Balconies, 30 PSF Sleeping rooms, 40 PSF Stairs, 40 PSF Non Bedroom Habitable space.
26. Minimum design Wind Speed shall be 115 MPH. Ground Snow Load 30 PSF.
27. Each bedroom shall have at least one window with a clear opening of 5.7 square feet. The minimum clear width shall be 20 inches and the minimum clear height shall be 24 inches. The sill height shall not be more than 44 inches above F.F.

APPLICABLE CODES

2018 INTERNATIONAL RESIDENTIAL CODE

SCOPE OF WORK

1. Provide First floor addition 16'-0"x24'-0", New All Season Room
2. Provide 20"x12" concrete footing.
3. Provide 2x6 wall framing
4. Provide Pre-engineered roof trusses @ 24" O.C.

BUILDING ANALYSIS

1. Parcel	072
2. Lot	1
3. No of Floors/Level	1
4. Sq ft Area Existing First Floor	2,268.00
5. Sq ft Area First Floor Addition	384.00
6. Gross Sq ft Area First Floor	2,652.00
7. Sq ft Area Lot	222,156.00
8. Building % Area	1.%
9. Building Height (Addition)	12'-10"

INDEX

C001	COVER GENERAL NOTES
A001	EXISTING FIRST FLOOR PLAN
A002	FIRST FLOOR PLAN PROPOSED
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A005	LEFT & RIGHT ELEVATION
A006	REAR ELEVATION
S001	FOUNDATION PLAN
S003	ROOF FRAMING PLAN

OWNER

VICTOR BUTERA
5175 GREEN BRIDGE RD
DAYTON, MD 21036
TELEPHONE: 703 300 2013

DESIGN

MOYA DESIGN
611 GILMOURE DR
SILVER SPRING, MD 20901
TELEPHONE 301 257 9359

BUTERA RESIDENCE

5175 BRIDGE GREEN RD
DAYTON, MD 21036

OCTOBER 7 2020
FIRST FLOOR ADDITION

DWG BY

MD
MOYA DESIGN
301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

PROJECT NAME:
**BUTERA
RESIDENCE**

PROJECT ADDRESS:
**5175 BRIDGE GREEN RD
DAYTON, MD 21036**

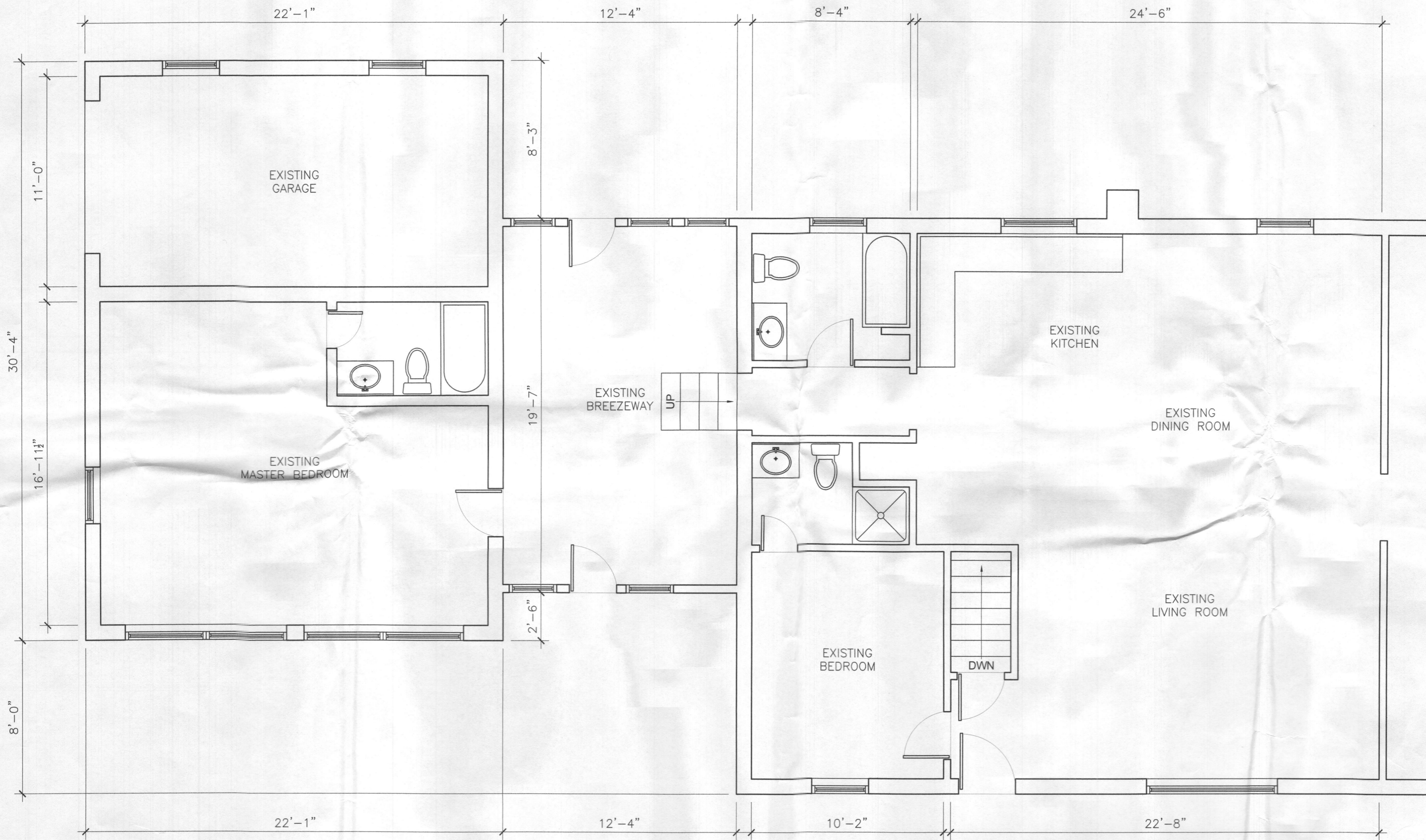
SEAL

DRAWING NAME

COVER
GENERAL NOTES

SHEET NUMBER

C001



1 EXISTING FIRST FLOOR PLAN
A001 1/4" = 1'-0"

DWG BY
MD
 MOYA DESIGN
 301-257-9359

ISSUED
 OCTOBER 7, 2020

SCALE
 1/4" = 1'-0"

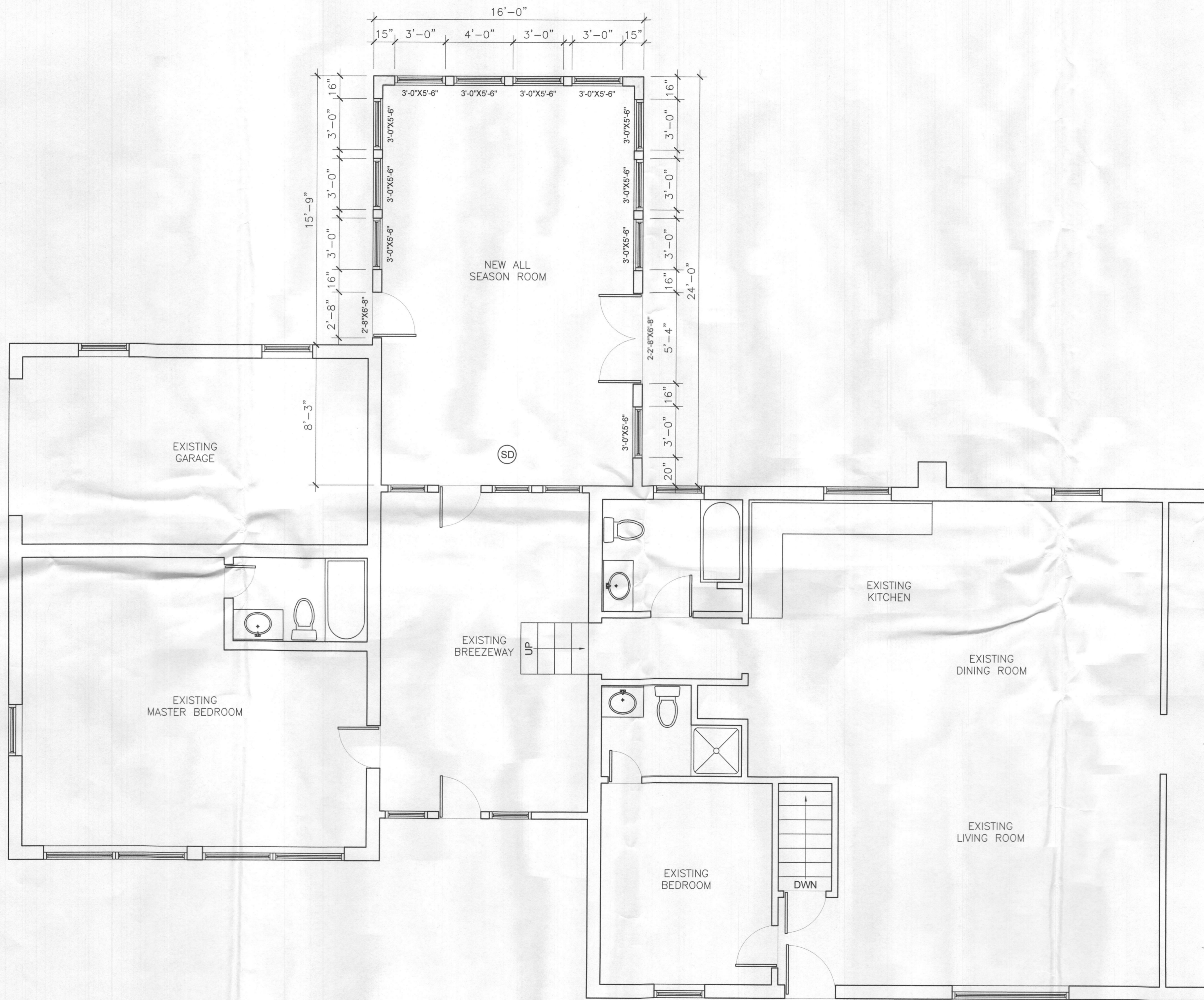
PROJECT NAME:
BUTERA RESIDENCE

PROJECT ADDRESS:
**5175 BRIDGE GREEN RD
 DAYTON, MD 21036**

SEAL

DRAWING NAME
EXISTING FIRST FLOOR PLAN

SHEET NUMBER
A001



1 FIRST FLOOR PLAN PROPOSED
A002 1/4" = 1'-0"

DWG BY

MD
MOYA DESIGN
 301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/4" = 1'-0"

PROJECT NAME:
BUTERA RESIDENCE

PROJECT ADDRESS:
5175 BRIDGE GREEN RD
DAYTON, MD 21036

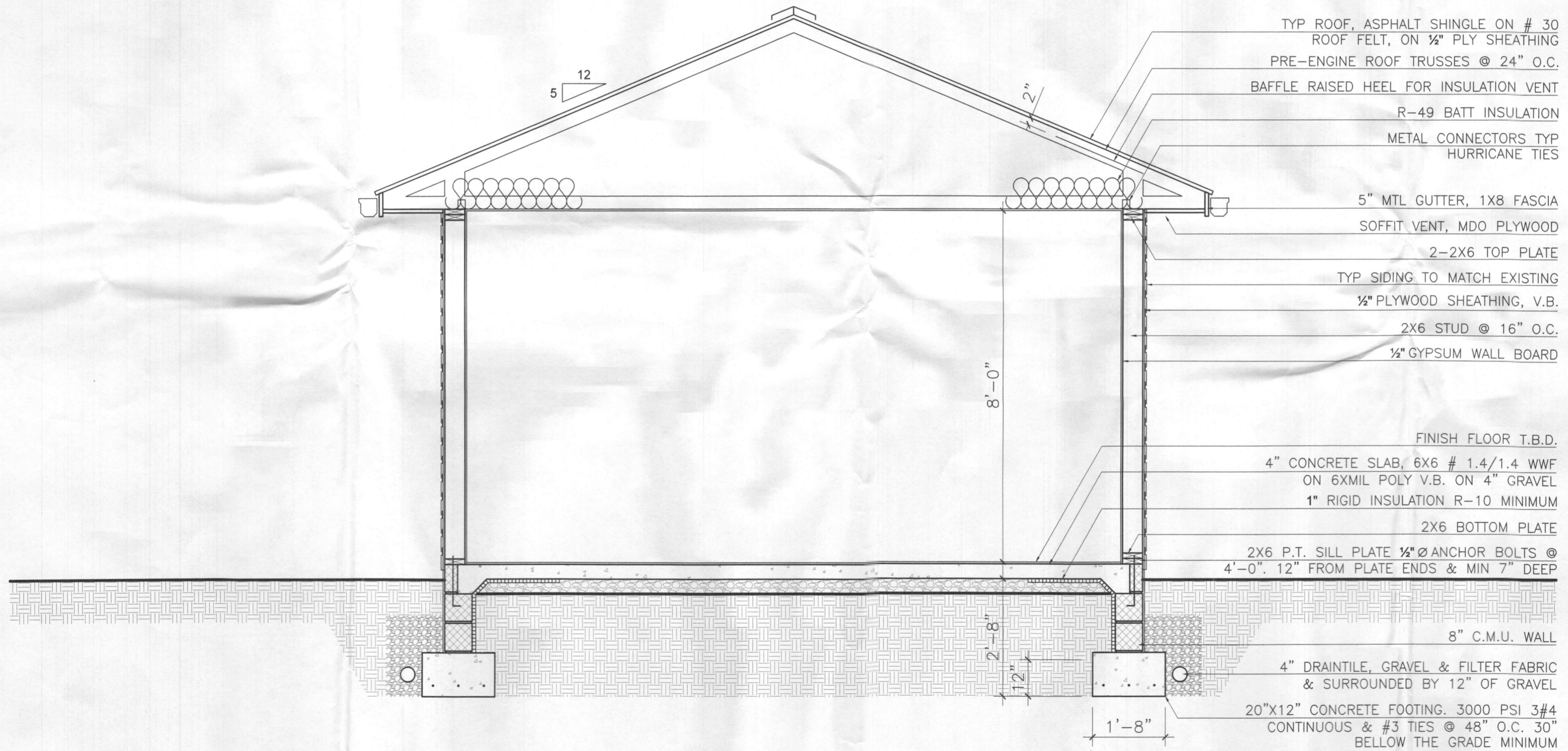
SEAL

DRAWING NAME

FIRST FLOOR
 PLAN PROPOSED

SHEET NUMBER

A002



- TYP ROOF, ASPHALT SHINGLE ON # 30
ROOF FELT, ON 1/2" PLY SHEATHING
- PRE-ENGINE ROOF TRUSSES @ 24" O.C.
- BAFFLE RAISED HEEL FOR INSULATION VENT
- R-49 BATT INSULATION
- METAL CONNECTORS TYP
HURRICANE TIES
- 5" MTL GUTTER, 1X8 FASCIA
- SOFFIT VENT, MDO PLYWOOD
- 2-2X6 TOP PLATE
- TYP SIDING TO MATCH EXISTING
- 1/2" PLYWOOD SHEATHING, V.B.
- 2X6 STUD @ 16" O.C.
- 1/2" GYPSUM WALL BOARD
- FINISH FLOOR T.B.D.
- 4" CONCRETE SLAB, 6X6 # 1.4/1.4 WWF
ON 6XMIL POLY V.B. ON 4" GRAVEL
- 1" RIGID INSULATION R-10 MINIMUM
- 2X6 BOTTOM PLATE
- 2X6 P.T. SILL PLATE 1/2" Ø ANCHOR BOLTS @
4'-0". 12" FROM PLATE ENDS & MIN 7" DEEP
- 8" C.M.U. WALL
- 4" DRAINTILE, GRAVEL & FILTER FABRIC
& SURROUNDED BY 12" OF GRAVEL
- 20"X12" CONCRETE FOOTING. 3000 PSI 3#4
CONTINUOUS & #3 TIES @ 48" O.C. 30"
BELOW THE GRADE MINIMUM

1 SECTION ELEVATION A-A
A002 1/2" = 1'-0"

DWG BY

MD
MOYA DESIGN
301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/2" = 1'-0"

PROJECT
NAME:

**BUTERA
RESIDENCE**

PROJECT ADDRESS:

**5175 BRIDGE GREEN RD
DAYTON, MD 21036**

SEAL

DRAWING NAME

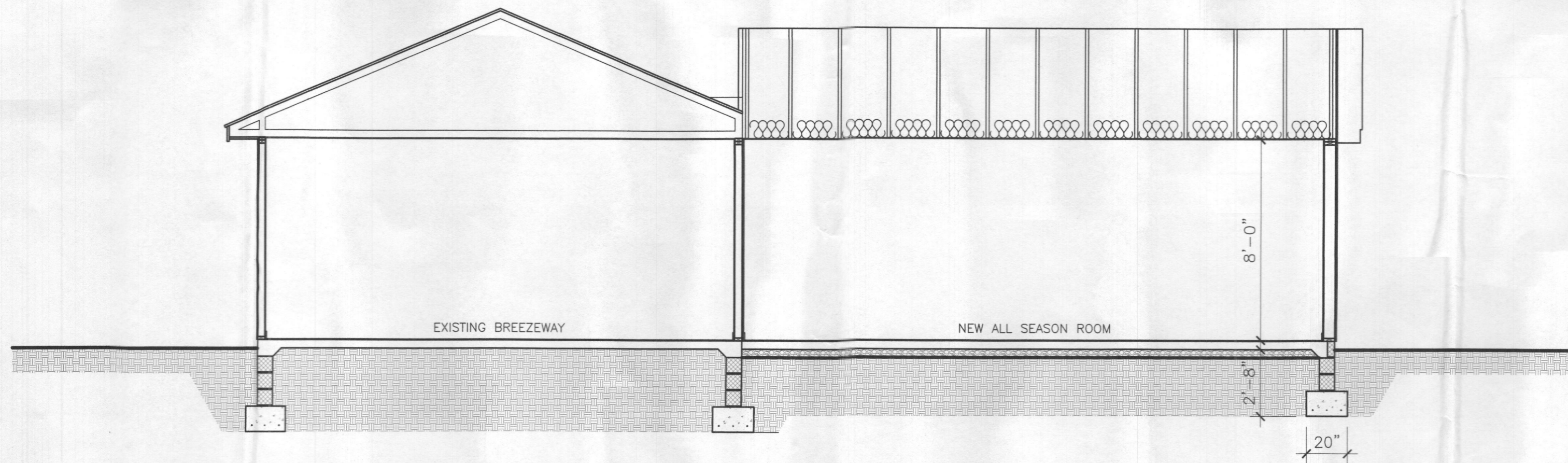
**SECTION
ELEVATION A-A**

SHEET NUMBER

A003

KEY NOTES

1. PROVIDE 3/4" T&G RATED PLYWOOD SUB-FLOOR
2. STUD WALLS ALL LOCATIONS : 2X6 @ 16" O.C. SPF #2 GRADE OR BETTER
4. SPACE JOISTS UNDER CERAMIC TILE/MARBLE FLOOR FINISHES @ 12" O.C. MAX.
5. PROVIDE (2) 2X6 POST AT EACH END OF DBL JOISTS UNLESS NOTED OTHERWISE.
6. FLOOR JOISTS/TRUSS LAYOUT SHOWN IS ONLY FOR GUIDANCE FLOOR JOISTS SUPPLIER SHALL PROVIDE JOISTS LAYOUT & ENSURE NOT TO OBSTRUCT PLUMBING & HVAC OPENINGS
7. DIMENSIONS GIVEN ON FLOOR PLANS ARE FACE TO FACE OF FINISHED WALL. GENERAL CONTRACTOR AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, TRUSSES AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION



1 SECTION ELEVATION B-B
A004 1/4" = 1'-0"

DWG BY

MD
MOYA DESIGN
301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/4" = 1'-0"

PROJECT NAME:
**BUTERA
RESIDENCE**

PROJECT ADDRESS:
**5175 BRIDGE GREEN RD
DAYTON, MD 21036**

SEAL

DRAWING NAME

**SECTION
ELEVATION**

SHEET NUMBER

A004



2 RIGHT ELEVATION
A005 1/4" = 1'-0"



1 LEFT ELEVATION
A005 1/4" = 1'-0"

DWG BY

MD
MOYA DESIGN
 301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/4" = 1'-0"

**BUTERA
 RESIDENCE**

PROJECT
 NAME:

PROJECT ADDRESS:

**5175 BRIDGE GREEN RD
 DAYTON, MD 21036**

SEAL

DRAWING NAME

**LEFT & RIGHT
 ELEVATION**

SHEET NUMBER

A005



EXISTING

ADDITION

EXISTING

1 REAR ELEVATION
A006 1/4" = 1'-0"

DWG BY

MD
MOYA DESIGN
301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/4" = 1'-0"

PROJECT NAME:
**BUTERA
RESIDENCE**

PROJECT ADDRESS:
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DAYTON, MD 21036**

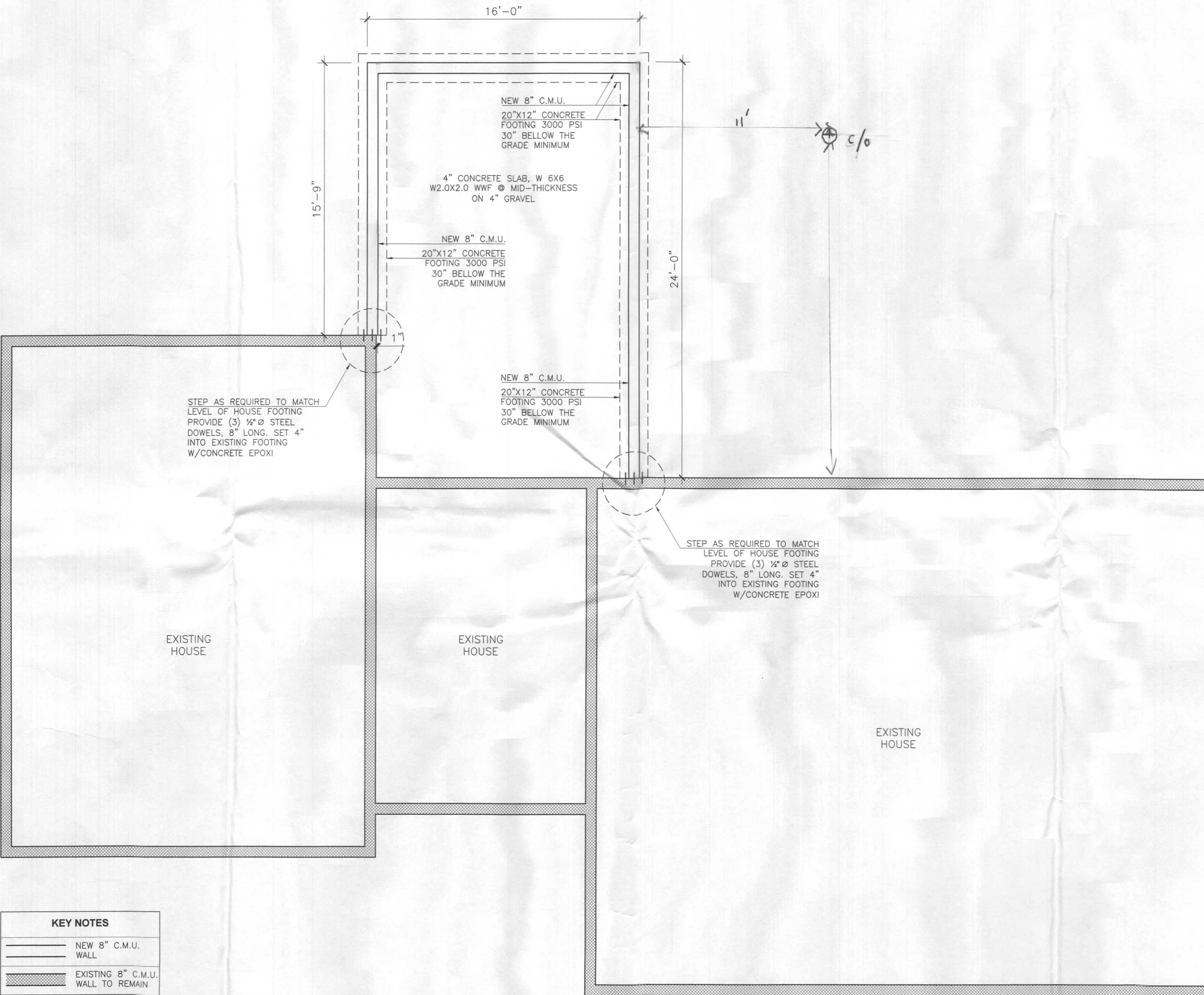
SEAL

DRAWING NAME

**REAR
ELEVATION**

SHEET NUMBER

A006



KEY NOTES	
	NEW 8" C.M.U. WALL
	EXISTING 8" C.M.U. WALL TO REMAIN

1 FOUNDATION PLAN
S001 1/4" = 1'-0"

DWG BY
MD
MOYA DESIGN
301-257-9359

ISSUED
OCTOBER 7, 2020

SCALE
1/4" = 1'-0"

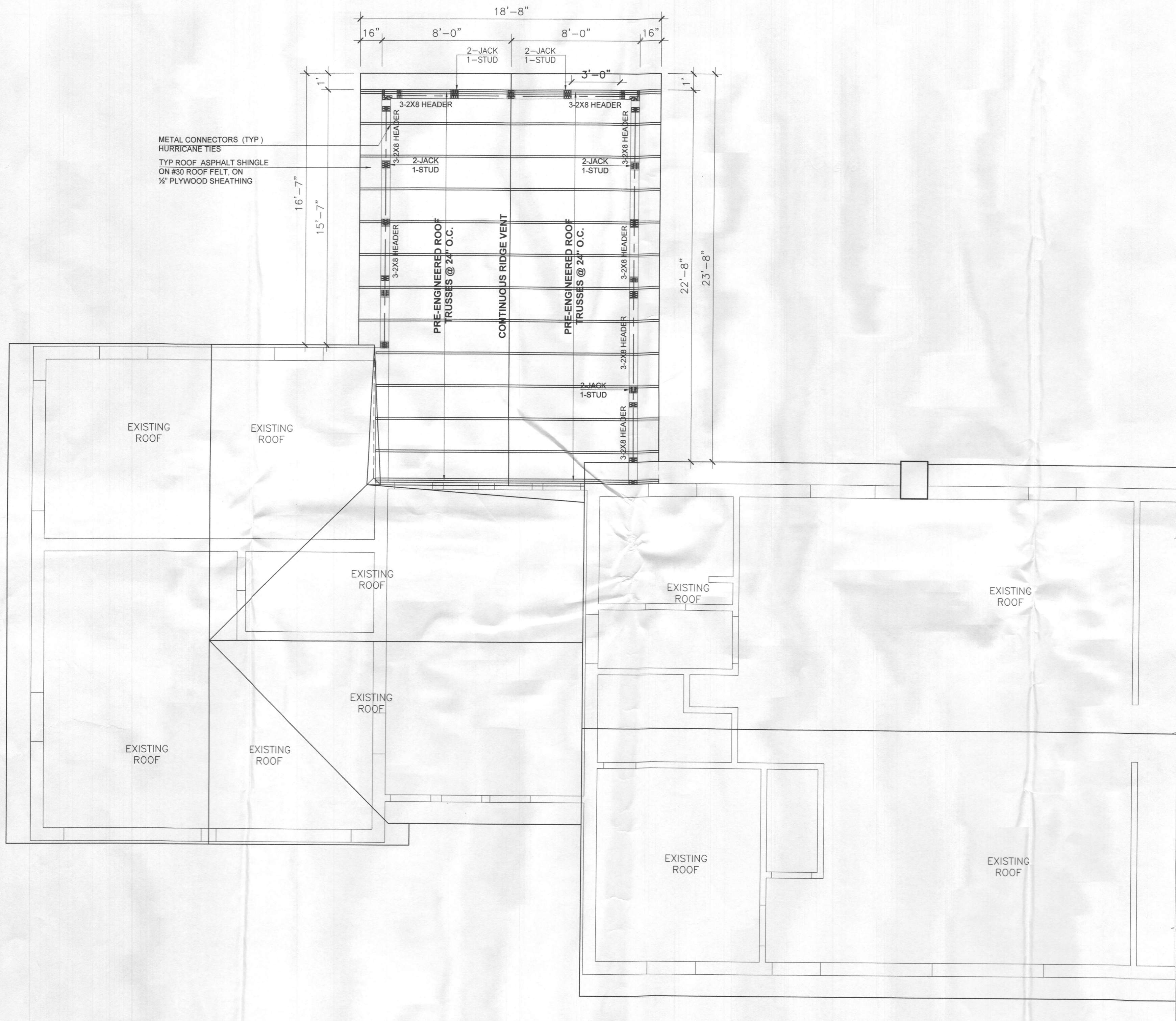
PROJECT NAME:
BUTERA RESIDENCE

PROJECT ADDRESS:
5175 BRIDGE GREEN RD
DAYTON, MD 21036

SEAL

DRAWING NAME
FOUNDATION PLAN

SHEET NUMBER
S001



METAL CONNECTORS (TYP)
HURRICANE TIES
TYP ROOF ASPHALT SHINGLE
ON #30 ROOF FELT, ON
1/2" PLYWOOD SHEATHING

1 ROOF FRAMING PLAN
S002 1/4" = 1'-0"

DWG BY

MD
MOYA DESIGN
301-257-9359

ISSUED

OCTOBER 7, 2020

SCALE

1/4" = 1'-0"

**BUTERA
RESIDENCE**

PROJECT
NAME:

PROJECT ADDRESS:

**5175 BRIDGE GREEN RD
DAYTON, MD 21036**

SEAL

DRAWING NAME

**ROOF
FRAMING PLAN**

SHEET NUMBER

S001