

PERMIT NUMBER: B 20002030

DATE ACCEPTED:

JUN 24 2020



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 7514 Browns Bridge Rd
City: HIGHLAND
Subdivision/Village/Complex Name: Greenwood Farms
Lot: 10 Tax Map: 0040 Parcel: 0158

DESCRIPTION OF WORK REQUIRED

Existing Use: CARPORT Proposed Use: FAMILY ROOM Estimated Cost: \$ 16,000
CARPORT ENCLOSURE, 10.8 X 17.7, TO MAKE A FAMILY ROOM, THIS IS AN OPEN AREA OFF KITCHEN, THIS IS A SINGLE STORY PROJECT. 2088 Sqt (Pre construction) 191.14.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Jeffery W. VANDENBROEK, SHARI Port Primary Residence: Yes
Owner's Street Address: 7514 Browns Bridge Rd
City: HIGHLAND State: MD Zip Code: 20777
Phone: 202-664-7299 Email: SHARI.M.Port@GMAIL.COM

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: N/A - HOME OWNER Contact Name: SHARI M. PORT
Street Address: 7514 Browns Bridge Rd
City: HIGHLAND State: MD Zip Code: 20777
Phone: 202-664-7299 Email: SHARI.M.PORT@GMAIL.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: AMERICAN SERVICES AND INSTALLATIONS
Licensee's Name: Jeffrey SHIRAZI License #: 22483
Street Address: 19117 Heritage Hills Dr.
City: Brookeville State: MD Zip Code: 20833
Phone: 301-924-3800 Email: info@AMERICANSERVICENOW.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Blue House Architecture LLC Name: MELISSA CLARK
Street Address: 1993 BARKLEY Rd
City: MARIOTTVILLE State: MD Zip Code: 21104
Phone: 410-511-3604 Email: MCLARK@BLUEHOUSEARCH.COM

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: DSF Dwelling
Utilities: Electric Gas Water Supply: Private (Well) Sewage Disposal: Private (Septic)
Heating System: Natural Gas Roadside Tree Project: No
Sprinkler System: None Fire Alarm System: Yes

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF): # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 13 # Full Baths: 3 # Half Baths: 0 # Fireplaces: 2
Garage/Carport Info: Detached Garage
Basement/Foundation Info: Finished Basement: Partial
1st Fl Width: 1st Fl Depth: 2nd Fl Width: 2nd Fl Depth: Bsmt Width: Bsmt Depth:
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 2794 sq ft Occupiable Area: 1440 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPL WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Shari m. Port APPLICANT'S ORIGINAL SIGNATURE

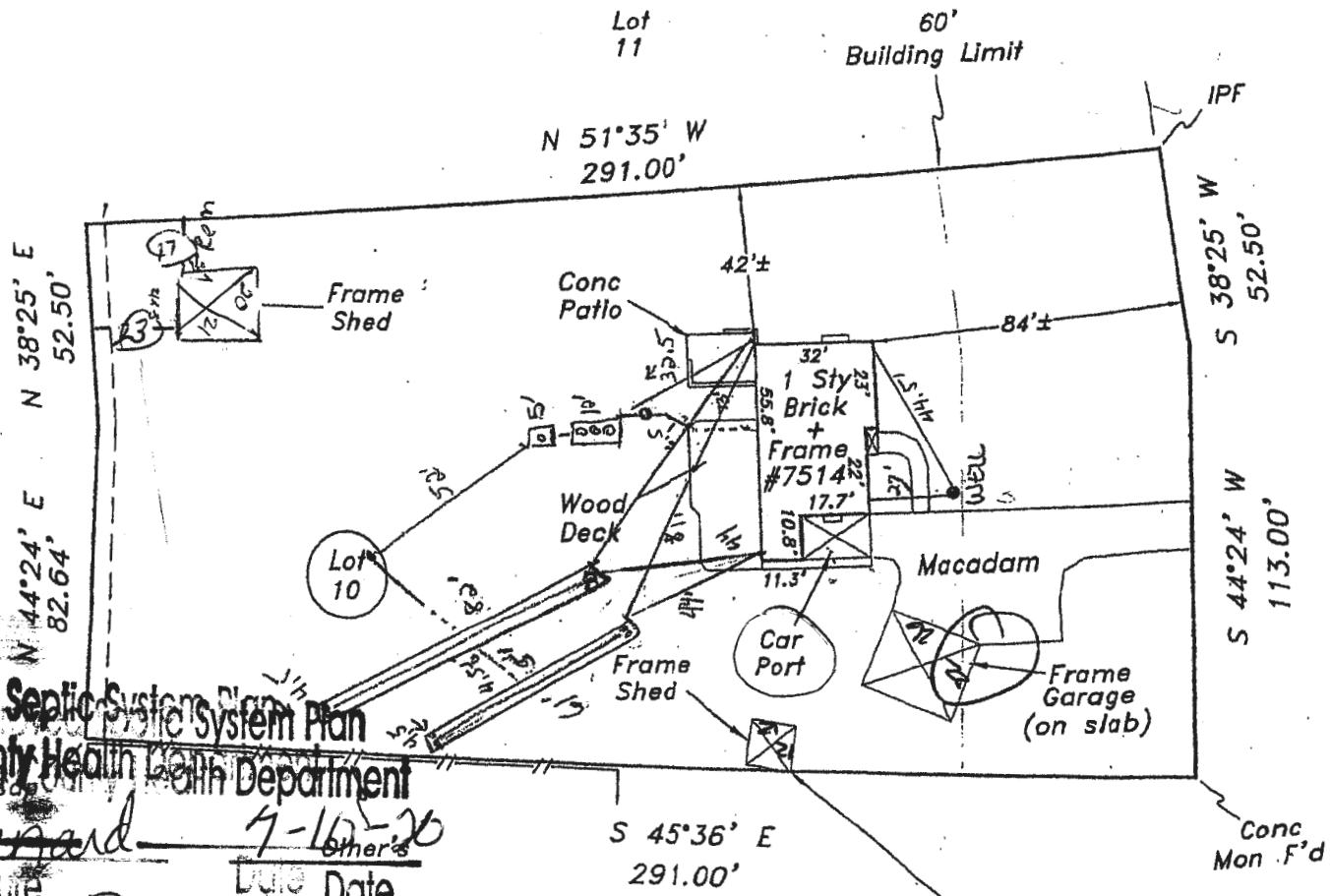
17 Jun 2020 DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR DPZ DED Health Department SHA CID
SUBMITTAL FEES: PAYMENT: ACCEPTED BY: MAIL



Brown's Bridge Road

Septic System Plan
 Howard County Health Department
 D. Bernard
 Signature
 7-10-20
 Date
 B2000030

Frame Shed at or near property line.

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:
 Lot 10, Map of GREENWOOD FARMS
 recorded among the land records of Howard County, Maryland in Plat Book 5 Plat 28

PREPARED FOR:
 SAGE TITLE GROUP
 THE WISE CHOICE

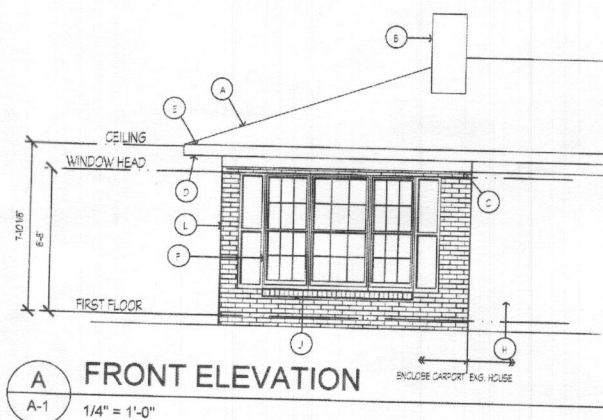
This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.

STATE OF MARYLAND
 JAMES C. HUDGINS
 No. 96
 REGISTERED
 PROPERTY LINE SURVEYOR
 James Carl Hudgins
 Property Line Surveyor #96
 Expiration Date: 3/11/16

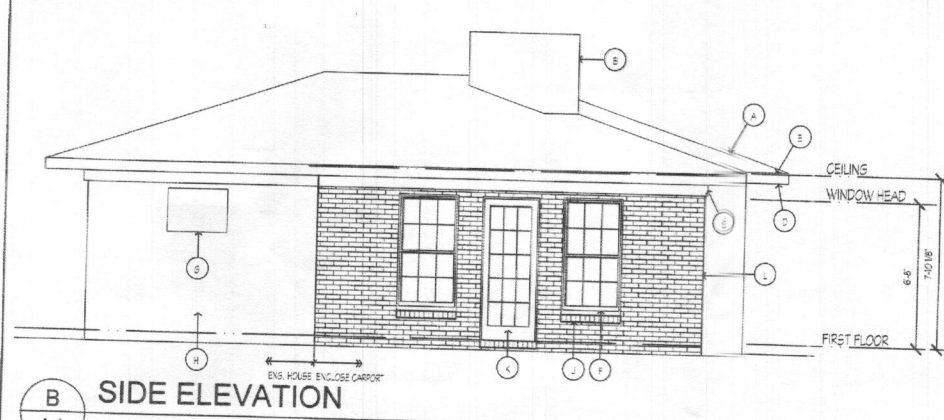
LOCATION DRAWING
 7514 Brown's Bridge Road
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

NTT Associates, Inc.
 16205 Old Frederick Rd.
 Mt. Alry, Maryland 21771
 Phone: (410) 442-2031
 Fax: (410) 442-1315
 www.nttsurveyors.com

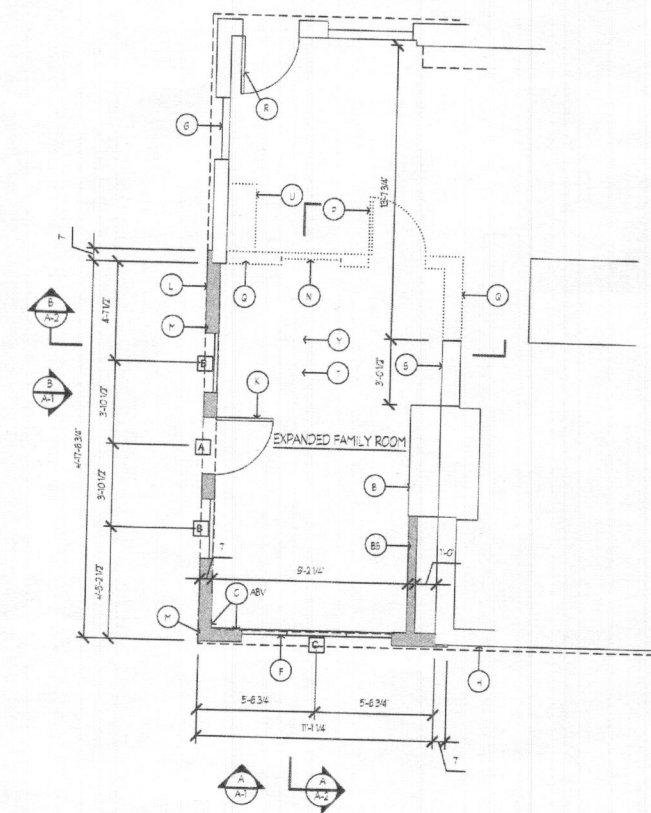
Scale: 1" = 50'
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 Field By: DR
 Drawn By: DR
 File No.: 114990HIRS
 Page No.: 1 of 2



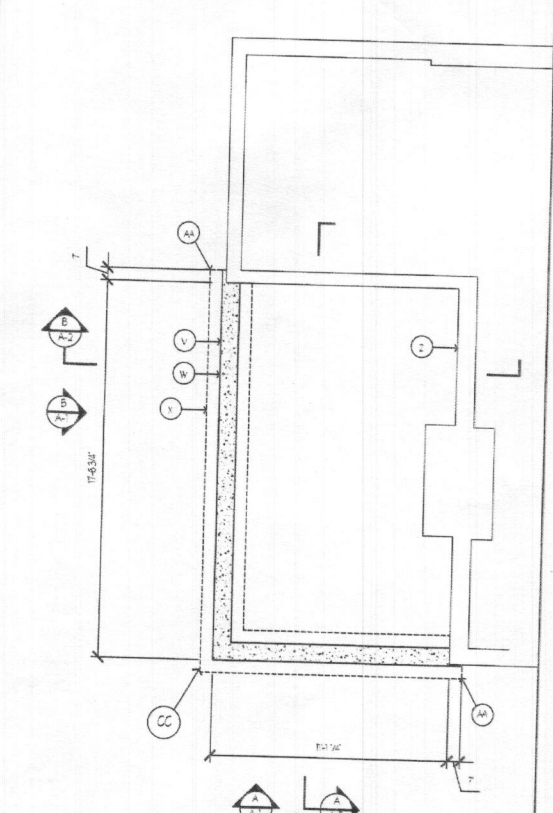
A FRONT ELEVATION
A-1 1/4" = 1'-0"



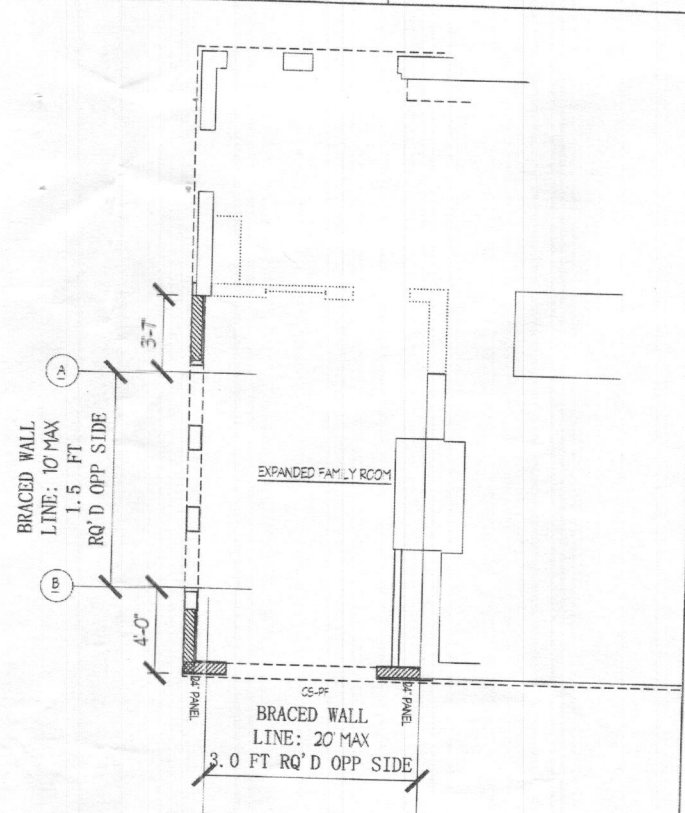
B SIDE ELEVATION
A-1 1/4" = 1'-0"



C FLOOR PLAN
A-1 1/4" = 1'-0"



D OPTIONAL FOUNDATION PLAN
A-1 1/4" = 1'-0"
SEE SECTION FOR NOTE



E WALL BRACING PLAN
A-1 1/4" = 1'-0"

- MATERIAL NOTES**
- (A) EXS ASPHALT SHINGLES AND TRUSS ROOF
 - (B) EXS CHIMNEY
 - (C) EXS BEAM WITH 1" TO REMAIN
 - (D) EXS VENTILATED VINYL SOFFIT
 - (E) EXS FASCIA TO REMAIN
 - (F) NEW WINDOW - SEE SCHEDULE
 - (G) EXS WINDOWS TO REMAIN
 - (H) EXS EXTERIOR BRICK WALL TO REMAIN
 - (I) BRICK ROWLOCK
 - (J) NEW ENTRY DOOR - SEE SCHEDULE
 - (K) THIN BRICK VENEER ON AIR INFILTRATION BARRIER ON 1/2" PLWD, ON 2x6 STUD @ 16" O.C. (N.E. ON WARM SIDE OF WALL), 1/2" GROW ON INTERIOR
 - (L) EXS COLUMNS TO REMAIN WITH NEW WALL BUILT AROUND, OR REMOVE EXS COLUMNS, PROVIDE SHORNS FOR TEMPORARY SUPPORT OF EXS ROOF WHILE NEW WALL CONSTRUCTED
 - (M) REMOVE EXS WINDOW
 - (N) REMOVE EXS DOOR
 - (O) REMOVE EXS EXTERIOR WALL - CONFIRM WALL'S NON-LOAD BEARING
 - (P) EXS DOOR TO REMAIN
 - (Q) 1 1/2" FT. WOOD FLOORING ON EXS BRICK WALL 1/2" GROW INTERIOR
 - (R) FINISH FLOOR ON 2x6 SUBFLOOR, JOIST ON 2x12 WOOD SLEEPERS @ 16" O.C. SAWCUT PERIMETER OF SLABS TO ALLOW FOR NEW CONC. FOUNDATION WALL & FOOTING
 - (S) REMOVE EXS CABINET
 - (T) 12" POLISHED CONCRETE FOUNDATION WALLS - SEE SPEC FOR REINFORCING, W/ WATERPROOFING BELOW GRADE
 - (U) FINISH EXPOSED FINCH
 - (V) 1"-0" O.C. CONT. CONC. FTG. W/ (2) #4 CONT.
 - (W) ALUM NEW FLOOR W/ EXS
 - (X) EXS FASCIA TO REMAIN
 - (Y) STEP NEW FINCH AS ROD FOR GRADE (TO MAINTAIN FROST DEPTH)
 - (Z) 2x4 @ 16" O.C. W/ 1/2" GROW ON ROOF SIDE, PROVIDE ACCESS PANEL TO EXS PRESS
 - (AA) FINCH DETAIL IF EXS FINCH IS INSUFFICIENT - SEE SECTION FOR NOTE

ROOM FINISH SCHEDULE

ROOM	FLOOR		WALL FINISH	CEILING FINISH	ADDITIONAL NOTES
	FINISH	BASE			
EXPANDED FAMILY RM	-	-	PAINTED DRYWALL	GPOW	

GENERAL NOTE: ALL NEW MATERIALS TO MATCH COLOR OF EXISTING RESIDENCE AS CLOSELY AS POSSIBLE

EXTERIOR DOOR & WINDOW SCHEDULE

NO.	ANDERSEN MODEL	NOTES
A	2868	FULL GLASS DOOR
B	2852	DOUBLE-HUNG
C	2052-2852-2052	DOUBLE-HUNG

NOTE: EXS. BEAM TO REMAIN AS HEADER

F SCHEDULES
A-1 N.T.S.

Approved for release to:

Permit Bid/Negotiation Construction Other

Owner _____ Date _____

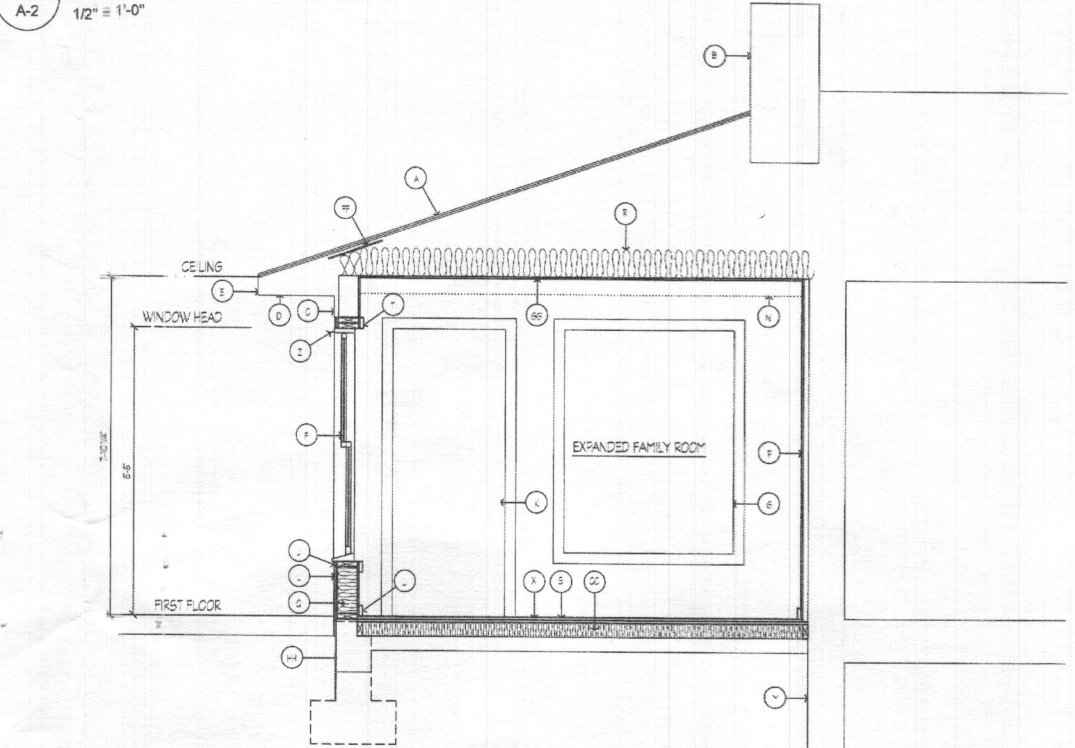
SEAL

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect in the State of Maryland. My State of Maryland License No. 00505. My Expiration Date: 02-07-2023.

SCALE: AS NOTED
PROJECT: PORT RESIDENCE CARPORT ENCLOSURE
DATE: 03/29/2023
FILE NO.: 2023-CD
PROJ. NO.: 20023
DRAWING NO.: A-1 (1 of 2)

PLANS, ELEVATIONS, SCHEDULES
PORT RESIDENCE CARPORT ENCLOSURE
1887 Beatty Road
Hockessin, DE 19344
www.andersenarchitect.com
anderson@andersenarch.com
Fax: 410-849-3377

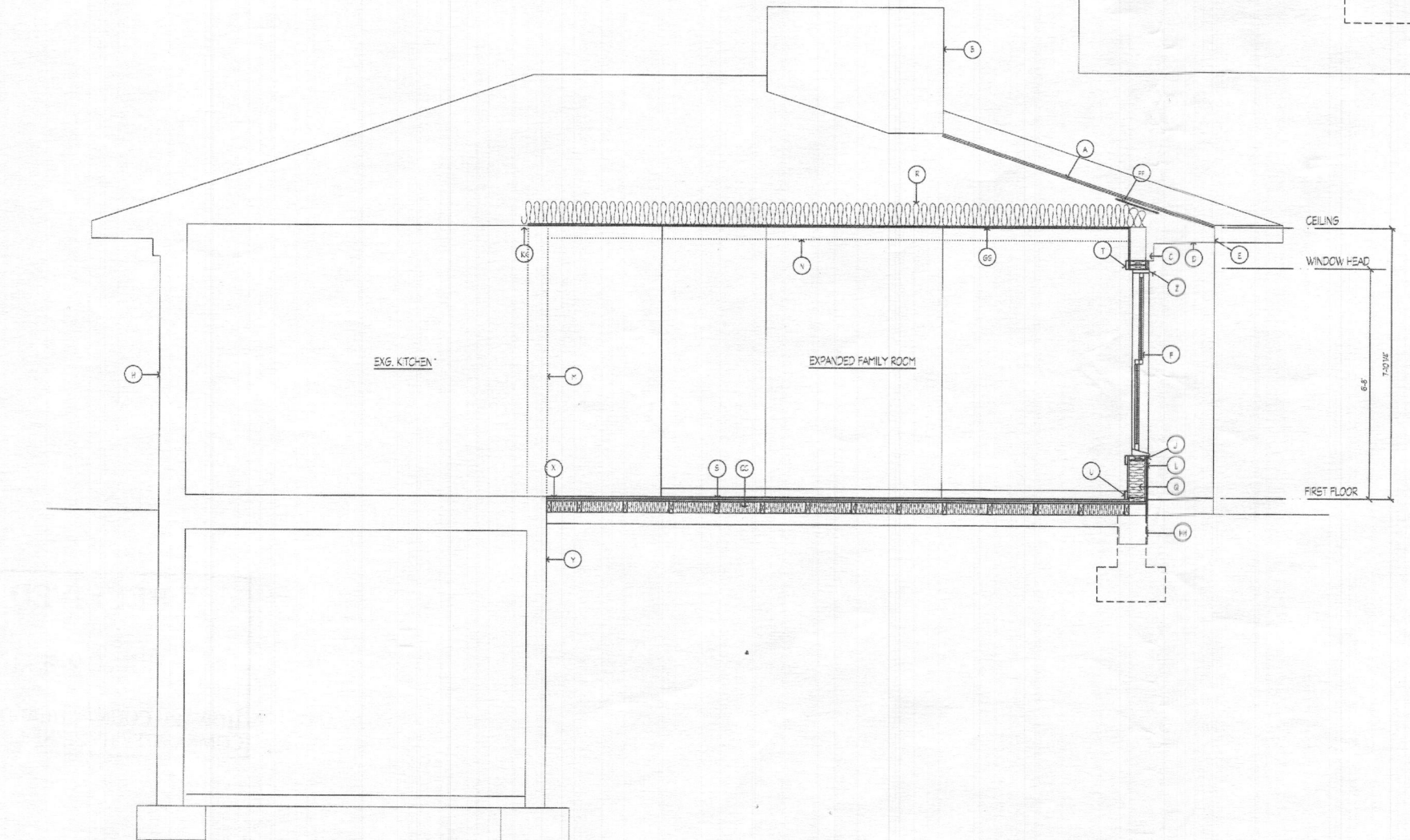
B TRANSVERSE SECTION
A-2 1/2" = 1'-0"



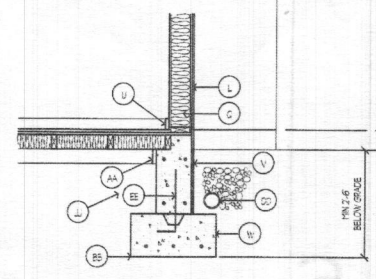
MATERIAL NOTES

- A. EXG. ASPHALT SHINGLES AND "ICE ROOF"
- B. EXG. OSB/PLY
- C. EXG. BEAM WITH 2x10 RYSAN
- D. EXG. VENTILATED VINYL SOFFIT
- E. EXG. FASCIA TO REMAIN
- F. NEW WINDOW-SEE SCHEDULE
- G. EXG. WINDOW TO REMAIN-REYDAD
- H. EXG. EXTERIOR BRICK WALL TO REMAIN
- I. BRICK SILL/LOCK
- J. EXG. DOOR TO REMAIN- BEYOND
- K. 2" THIN BRICK VENEER ON AIR INFILTRATION BARRIER OVER 1/2" FIBERGLASS INSULATION ON 2x4 STUDS @ 16" O.C. IN S. ON WARM SIDE OF WALL. 1/2" SPON ON INTERIOR
- L. REMOVE EXG. EXTERIOR WALL - CONFORM WALL IS NON-LONG BEARING
- M. REMOVE EXG. VINYL SOFFIT
- N. 1/2" PLYWOOD FLOORING ON EXG. BRICK WALL WITH 2" GROW INTERIOR
- O. WALL INSULATION R-20
- P. ROOF INSULATION R-48
- Q. FINISH FLOOR ON 5/8" SUBFLOORING ON 1" PLYWOOD SLEEPERS @ 16" O.C.
- R. W.C. CASING
- S. W.C. BASE
- T. 12" POLYMER CONCRETE FOUNDATION WALLS (SEE SPEC FOR REINFORCEMENT W/ WATERPROOFING BELOW GRADE)
- U. 4"-12" O.C. CONC. FTG. W/ (3) #4 CONT.
- V. ALIEN NEW FLOOR W/ EXG.
- W. EXG. FLOOR TO REMAIN
- X. CONCEALED FLASHING & WEBS
- AA. 1" CONT. EXPANDED POLYISOCYANURATE INSULATION W/ COMPRESSIBLE PILES
- BB. STEP NEW FLOOR AS REQ. FOR GRADE TO MAINTAIN "FINISH" LEVEL
- CC. FLOOR INSULATION BETWEEN SLEEPERS
- DD. FOOTING ON DRAIN
- EE. FIVE FOOTING TO PION
- FF. INSULATION BATTLES
- GG. 12" GROW CEILING ON BOTTOM OF EXG. TRUSSES. ALIEN W/ EXG. CEILING AS CLOSELY AS POSSIBLE
- HH. CONFORM EXG. SUBFOOTING IS 12" THICK AS PER METEOROLOGICAL NEW WALLS & EXISTING FOOTING REQUIREMENTS. IN THE ABSENCE OF BOTH CONDITIONS BEING MET, CONTRACTOR SHALL DETERMINE POSITION OF EXISTING SUB-FOOTING TO INSTALL ALTERNATE FOUNDATION DETAIL AS SHOWN IN C-2.
- II. SAWCUT PERIMETER OF SUB-FOOTING TO ALLOW FOR NEW CONC. FOUNDATION WALL & FOOTING
- JJ. ALIEN NEW CEILING W/ EXG. AS CLOSELY AS POSSIBLE

A LONGITUDINAL SECTION
A-2 1/2" = 1'-0"



C OPTIONAL FOOTING DETAIL
A-2 1/2" = 1'-0"



Approved for release to:

Permit Bid/Negotiation Construction Other:

Owner _____ Date _____

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and I am a duly licensed architect in the State of Maryland, License No. MARCH 2023, Expire Date: 02-27-2027.

M. J. ...

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	09/29/2023
2	FOR THE CORRECTNESS OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ALL DIMENSIONS AND EXPANSIONS SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO BEGINNING WORK.	09/29/2023

SCALE: AS NOTED

DATE: 09/29/2023

PROJECT NO.: 20023-CD

DRAWING NO.: A-2

SECTION TITLE: SECTIONS & FOOTING DETAIL

PROJECT: PORT RESIDENCE CARPORT ENCLOSURE

1000 Boney Road
Havre de Grace, Maryland 21104
www.havreofarch.com
Phone: 410-686-3377
Fax: 410-686-3377