

9.18.20 Approved B.P. - H.O.

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/Misc/Porch	B20002882	08/30/2020
<b>Description of Work</b>		
SFD/ CONSTRUCT 18 X 16 SCREEN PORCH ON NEW 45 X 23 IRREGULAR SHAPED DECK, W/ LANDING AND STEPS		

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>	
3635	PAUPERS FOLLY	LN	
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>	<b>Y Coordinate</b>
--Select--		-76.98446	39.27106
<b>City</b>	<b>State</b>	<b>Zip Code</b>	<b>Primary</b>
WEST FRIENDSHIP	MD	21794	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

<b>GIS ID *</b>	<b>Parcel</b>	<b>Parcel Area</b>	<b>Land Value</b>	<b>Improved Value</b>	<b>Exemption Value</b>	<b>Plan Area</b>
11058061	116,7	1.17	216700	216700	0	RURAL
<b>Legal Description</b>						
LOT 6, 1.17 A.[ ]3635 PAUPERS FOLLY LN[ ]BELVEDERE ESTATES						

[check spelling](#)

<b>Block</b>	<b>Lot</b>	<b>Census Tract</b>	<b>Council Dist</b>	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
	6	603000	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1403600115	Belvedere Estates					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		22					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
22-8	RR-DEO	4813-C7					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
	F-16-065						
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
24286-2428			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	3-08A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

**Owner** \* (This section is required.)

Search      Reset      Clear

**Name \***  
 THOMAS TWIGG

**Address Line 1**  
 3635 PAUPERS FOLLY LANE

**Address Line 2**  
 \_\_\_\_\_

**Address Line 3**  
 \_\_\_\_\_

**Mail City**      **Mail State**      **Mail Zip Code**  
 WEST FRIENDSHIP      MD      21794

**Phone**      **Primary**  
 410-790-3072      Yes

**E-mail**  
 rockhouserenovations@gmail.com

**Cell Number**      **Fax Number**  
 \_\_\_\_\_

**Professionals** (This section is not required.)

Search      Reset      Clear

**License # \***      **Business Name**  
 08010101988      ROCK HOUSE RENOVATIONS LLC

**License Type \***      **First Name**      **Middle Name**      **Last Name**  
 MHIC Ind      JOHN      FREDERICK      MCCONARTY

**Primary**      **Address Line 1**  
 Yes      502 PALISADES BLVD

**Address Line 2**  
 \_\_\_\_\_

**City**      **State**      **ZIP Code**  
 CROWNSVILLE      MD      21032-0000

**Phone 1**      **Phone 2**      **Fax**  
 3013772547      \_\_\_\_\_      3013772547

**E-mail**  
 MCCON5000@HOTMAIL.COM

**Applicant** (This section is not required.)

Search      As Owner      As Lic. Prof      As Contact

**Type \***      **First Name**      **MI**      **Last Name**  
 Applicant      JOHN      FREDE      MCCONARTY

**Relationship**      **Full Name**  
 --Select--      \_\_\_\_\_

**Primary**      **Organization Name**  
 Yes      ROCK HOUSE RENOVATIONS LLC

**Street Address**  
 502 PALISADES BLVD

**Address Line 2**  
 \_\_\_\_\_

**City**      **State**      **Zip Code**  
 CROWNSVILLE      MD      21032-0000

**Phone**      **Cell**      **Fax**  
 3013772547      \_\_\_\_\_      3013772547

**E-mail \***  
 \_\_\_\_\_

MCCON5000@HOTMAIL.COM

Addtl Info

Est Construction Cost \*  Housing Units \*  Number of Buildings \*  Public Owned

Construction Type

PORCH INFORMATION

PORCH INFORMATION

Capital Project-No Fee \*  Yes  No Capital Project Number  Fee Exempt \*  Yes  No Roadside Tree Project Permit \*  Yes  No Roadside Tree Project Permit #

Existing Use \*  Type of Porch \*  Type of Porch Foundation \*  Total Square Footage \*  SQFT

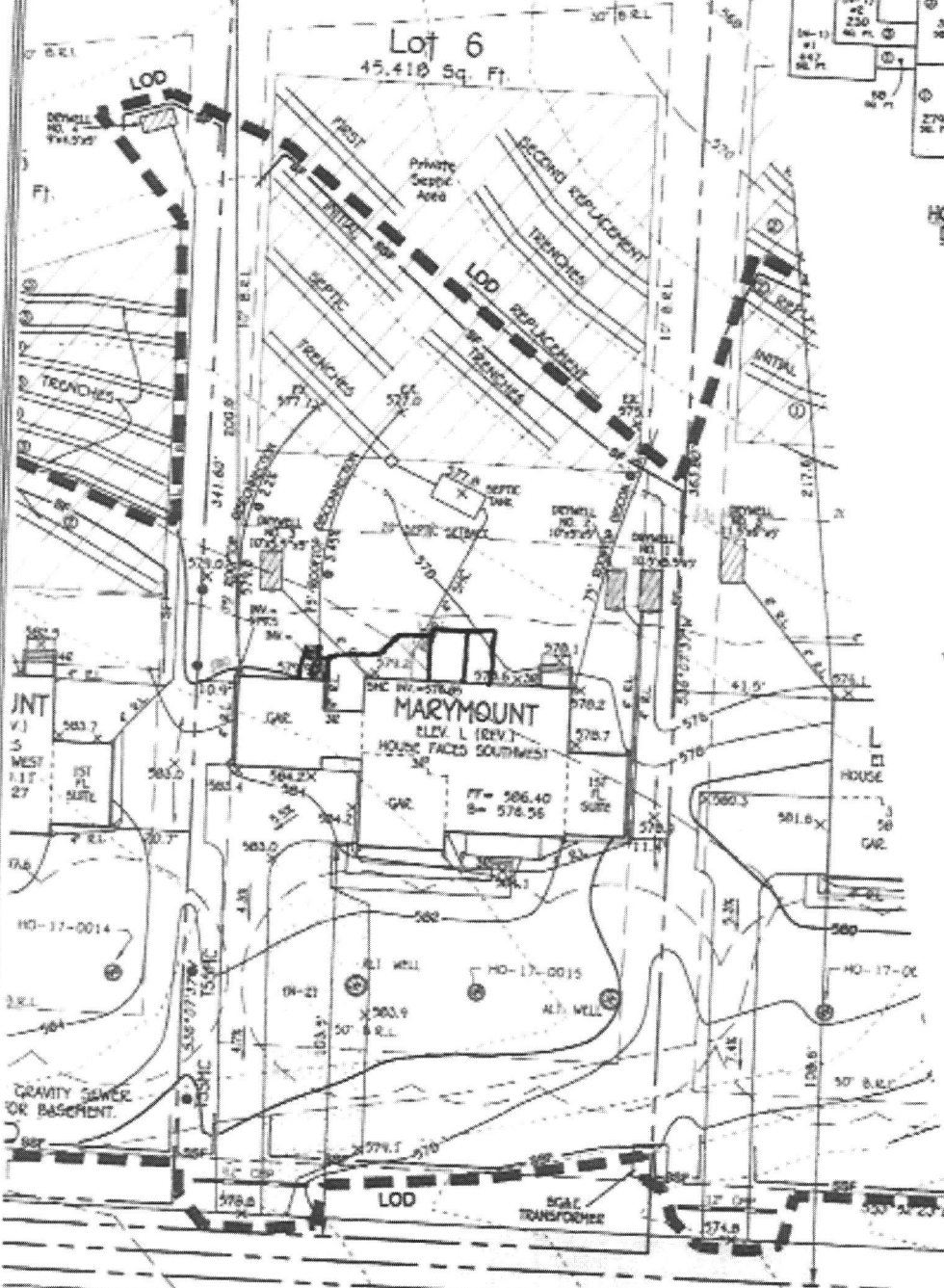
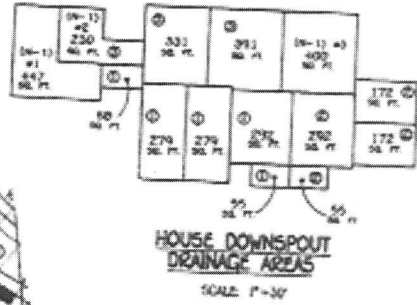
Water Supply  Sewage Disposal  Expiration Date

PAYMENT INFORMATION

Check 1  Payee 1  Check 2  Payee 2  SAP Doc No  SAP Entered

Submit Cancel

**STORMWATER MANAGEMENT NO. 1**  
 STORMWATER MANAGEMENT FOR LOT 6 IS BEING PROVIDED BY A COMBINATION OF MINI-ROOFTOP DISCONNECTION (IN-2) FOR THE DRIVEWAY AREA AND 3 ROOFTOP DISCONNECTION (IN-11, 8 & 3) DRYWELLS (IN-51, 52, 53) FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



**OWNER/DEVELOPER**  
 HW HOMES  
 1705 PARKVIEW WOODS DRIVE  
 COLUMBIA, MD 21046  
 410-374-9996

NOTE: NO GRAVITY SEWER SERVICE FOR BASEMENT.

**PAUPERS FOLLY LANE**  
 (PRIVATE USE-IN-COMMON DRIVEWAY)

**PERMIT SITE PLAN**  
**BELVEDERE ESTATES**  
**LOT 6**  
 3635 PAUPERS FOLLY LANE

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0015, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING, SURVEYING & LAND ACQUISITION  
 10000 BROADWAY DRIVE, SUITE 100  
 BELLEVILLE, MISSOURI 63713  
 (314) 331-1000

**PLAN**  
 SCALE: 1" = 30'

TAX MAP NO. 22 GRID NO. B PARCELS NO. 116 AND P.O. 7  
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: JAN. 2, 2020