

PERMIT NUMBER: B 3000012000

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 1071 High Stepper Trail		Unit:
City: Sykesville	State: MD	Zip Code: 21784
Subdivision/Village/Complex Name: Walker Meadows		SDP/WP/BA #:
Lot: 5	Tax Map:	Parcel:
		Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot	Proposed Use: SFD	Estimated Cost: \$ 210,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
New 2 story "Longwood" ECU L, with 2 car side garage, 1 car side attached garage, covered rear porch, and finished basement (2 bedrooms + 2 and bathroom)		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): NVR		Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 9720 Patuxent Woods Drive		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410 379 5956	Email: Anastas@NVRINC.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services	Contact Name: Jim Korwin
Street Address: PO Box 552	
City: Woodhull	State: MD
Phone: 410 209 7992	Zip Code: 21797
Email: Jim@DecaturBuildingServices.com	

CONTRACTOR INFORMATION REQUIRED

Business Name: NV Homes	License #: 56
Licensee's Name: NVR INC Jimmy Anastasia	
Street Address: 9720 Patuxent Woods Drive	
City: Columbia	State: MD
Phone: 410 379 5956	Zip Code: 21046
Email: Anastas@NVRINC.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Zip Code:
Email:	

RECEIVED

APR 4 2020

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private (Septic)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Longwood ECU L with 2 car side garage, 1 car side attached garage, covered rear porch, and finished basement				
# of Bedrooms (SF): 4	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 9	# Full Baths: 4	# Half Baths: 1	# Fireplaces: 0	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 64	1st Fl Depth: 47	2nd Fl Width: 50	2nd Fl Depth: 39	Bsmt Width: 64 Bsmt Depth: 47
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI				
Gross Area: 5757 sq ft		Occupiable Area: 5597 sq ft		

AGREEMENT/DISCLAIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: *Jim Korwin* DATE SIGNED: 4/14/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <i>5/2/2020 RB</i>	<input type="checkbox"/> SHA
SUBMITTAL FEES: \$150.00		PAYMENT: CK# 393223		ACCEPTED BY: DROPBOX

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *James Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *1021 High Stepper Trail*, Potential Basement Bedroom

DATE: May 7, 2020

I have reviewed the floor plans in support of Building Permit **B20001260** for a new home at **1021 High Stepper Trail** and noted that there is a full bathroom planned in the partly-finished basement. Please note that this makes it very likely for at least one more room to be considered a bedroom should the basement layout be modified and/or an egress window installed.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **four (4)**- bedroom design to accommodate a future modification of the finished basement. If you choose to only size for the existing design, any future building permit for modification of the finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

Approved RTR
6/4/2020

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B20001609	05/29/2020
Description of Work		
SFD/ INSTALL (1) 1,000 GALLON UNDERGROUND PROPANE TANK		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
1021	HIGH STEPPER	TRL	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.93929	39.34563
City	State	Zip Code	Primary
SYKESVILLE	MD	21784	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059594	66	0	0	0	0	RURAL
Legal Description						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	5	603000	5				
Plan Area	State Tax Id	Subdivision Name					
		Walker Meadows					
Section	Area	Tax Map					
		9					
Grid	Zoning District	ADC Map					
9-6	RR-DEO	4693-K5					
SDP No.	Final Plan No.	WP File No.					
	ECP-15-078						
Record Plat No.	WS Contract No.	FDP No.	Primary				
24974-2497			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

ESC WALKER MEADOWS LC

Address Line 1

1355 BEVERLY ROAD #240

Address Line 2

Address Line 3

Mail City

MCLEAN

Mail State

VA

Mail Zip Code

22101

Phone

443-934-0202

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *

20100081215

Business Name

AIR GAS

License Type *

Propane Gs

First Name

DENNIS

Middle Name

Last Name

FEAGA

Primary

Yes

Address Line 1

6750 MACLEAN DRIVE STE B

Address Line 2

1625 HENRYTON RD

City

GLEN BURNIE

State

MD

ZIP Code

210600000

Phone 1

4104425623

Phone 2

Fax

4104425623

E-mail

michelle@appliedandapproved.com

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *

Applicant

First Name

MICHELLE

MI

Last Name

CLANCY

Relationship

Applicant

Full Name

MICHELLE CLANCY

Primary

Yes

Organization Name

APPLIED & APPROVED PERMITS LLC

Street Address

P.O. BOX 310

Address Line 2

City

PERRY HALL

State

MD

Zip Code

21128

Phone

443-340-1229

Cell

Fax

E-mail *

MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
4000	0	0	No <input type="checkbox"/>
Construction Type			
329 - Structures Other Than Buildings (Retaining Walls/Tents) <input type="checkbox"/>			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD <input type="checkbox"/>	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private <input type="checkbox"/>	Private <input type="checkbox"/>	12/1/2020	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Related Records

« 1 2 »

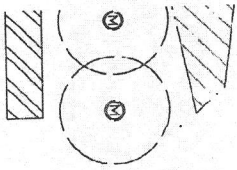
Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B20001260	Residential New Single Family Dwelling Permit	Issued	1021	HIGH STEPPER	04/14/2020	SFD/ MODI
E20002077	Residential Electrical New Home Permit	Issued	1021	HIGH STEPPER	05/19/2020	NEW SING
F20000685	Residential New-Addition SFD Sprinkler Permit	Review In Process	1021	HIGH STEPPER	06/02/2020	SFD-WALK
M20000403	Residential HVAC New Permit	Issued	1021	HIGH STEPPER	06/02/2020	TO INSTAL
P20001736	Residential New Plumbing Permit	Issued	1021	HIGH STEPPER	05/13/2020	NEW SFD/

« 1 2 »

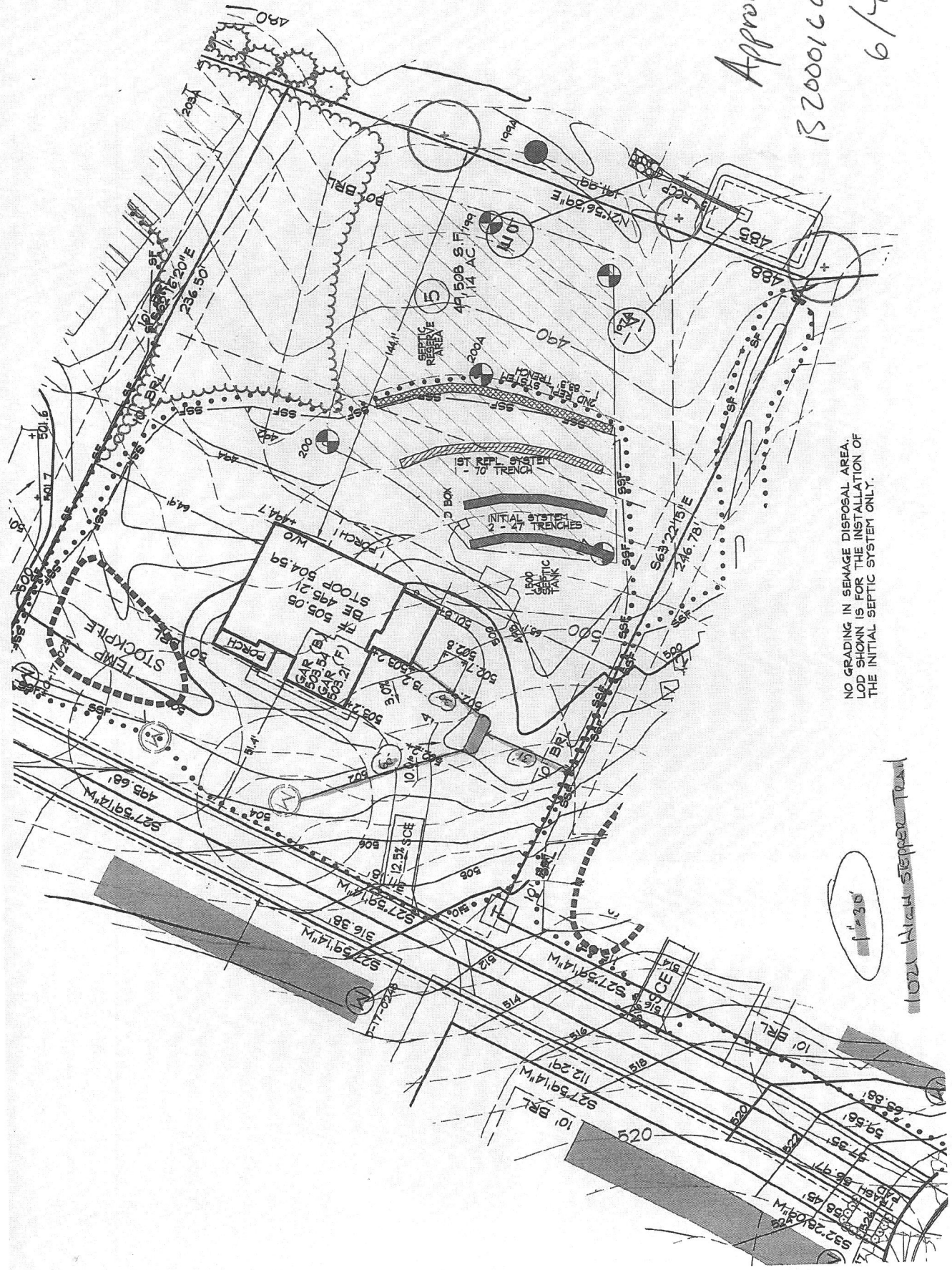
Submit Cancel

DRA

- SF
- SF
- SSF



Approved
 B20001609 R12
 6/4/2020

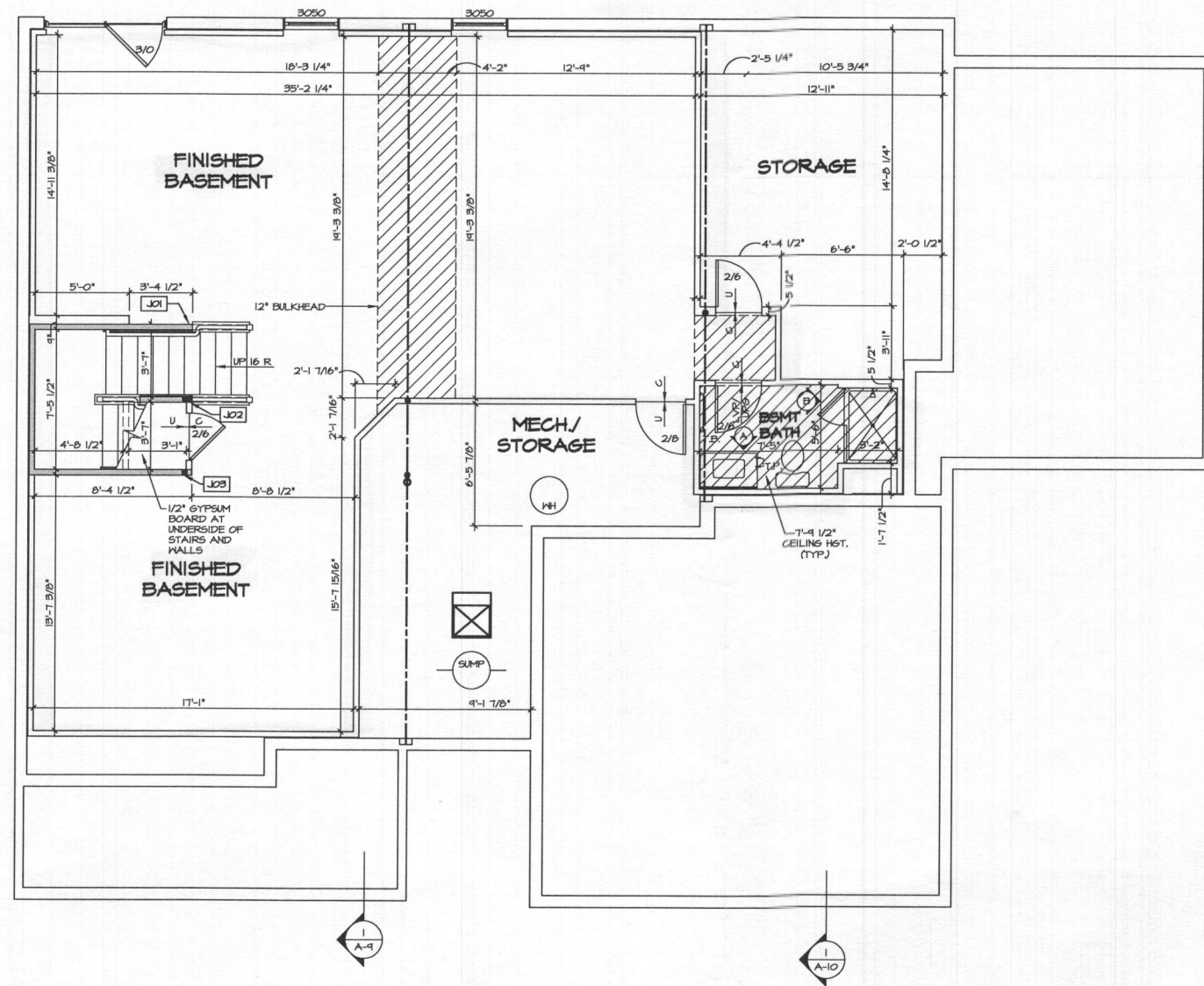


NO GRADING IN SEWAGE DISPOSAL AREA
 LOD SHOWN IS FOR THE INSTALLATION OF
 THE INITIAL SEPTIC SYSTEM ONLY.



120" HIGH STEPPED CURB

1" = 30'



1
A-6 **BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 9. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.

- GYPSUM NOTES**
- AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
- - - NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- J JACKS
- B BEAM/HEADER
- F PAD FOOTING
- ◇ STEEL COLUMN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL LVL
- X ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

BASEMENT JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J01	JACK - (2) 2X4 SFF STUD GRADE	MAC	BO020	
J02	JACK - (4) 2X4 SFF STUD GRADE	MAC	BO016, BO018	
J03	JACK - (2) 2X4 SFF STUD GRADE	MAC	BO016	

Finished area lacking privacy

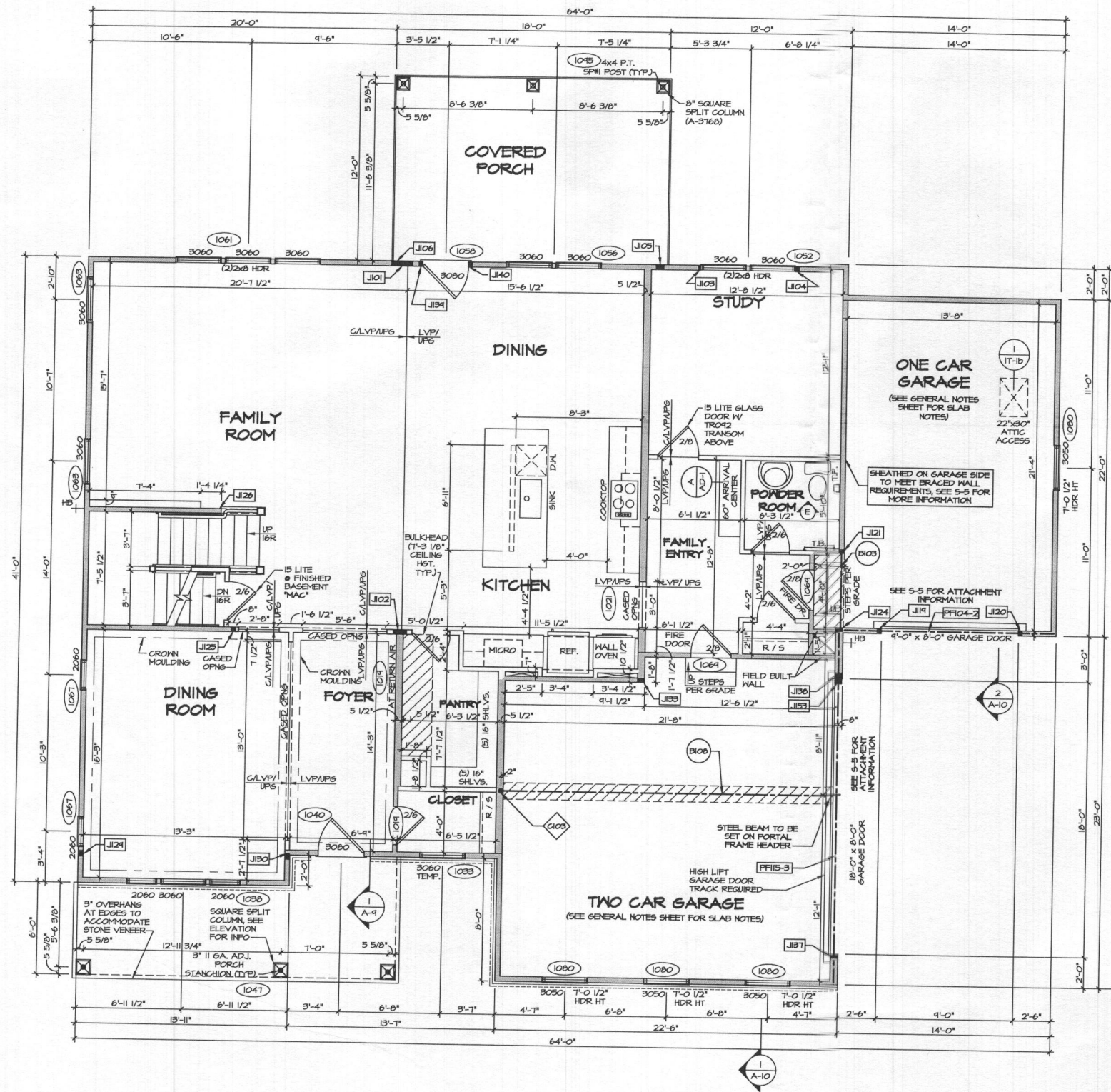
DIV-COMM-LOT-UNIT
MDE-IW-005
COMM-LOT
MALKER MEADOWS - 0005
STREET ADDRESS
1021 HIGH STEPPER TRAIL
CITY BYKESVILLE STATE MD ZIP 21784

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NVR
NVR, Inc.
5285 Weaview Drive, Suite 100
Frederick, MD 21703

SHEET NO. A-6	MODEL LONGWOOD	SET NO. 14000 VERSION 01 DRAWN BY NGB DATE: OPTION	DRAWING TITLE BASEMENT FLOOR PLAN	OPTION DESCRIPTION
22				

ALL WINDOWS HAVE 8'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W 2x4 WALLS OR (3) 2x6 W 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "11" SHEETS FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSTUM NOTES

- AT GARAGE:**
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSTUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSTUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTINGS
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C.
- 2A - (2) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C.
- 3A - (2) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C.
- 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 5A - (3) PLY 14" TO AND 18" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 6A - (3) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE

FIRST FLOOR BEAM/HEADER SCHEDULE

IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
B103	INT HEADER - 2x6 - 2 PLY	5'-4"	GAA	1031	
B106	BEAM STEEL - W10X41	22'-5"	GCC	1071, 1075, 1078	
PF104-2	LVL - 11-0"	13'-4"	GAA	1085	PORTAL FRAME - 1A
PF115-3	LVL - 22	22'-4 1/2"	GCC/GAA	1087, 1089, 1091	PORTAL FRAME - 6A

STEEL COLUMN SCHEDULE

IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. NUM.	REMARKS
C103	STANCHION - 3 IN SCHED 40	8'-1 5/8"	GCC	1071, 1075, 1078	

FIRST FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J101	JACK - (1) 2x4 SFF		1024	
J102	JACK - (1) 2x4 SFF STUD GRADE		1024	
J103	JACK - 2x4 SFF STUD GRADE		1052	
J104	JACK - (2) 2x4 SFF STUD GRADE		1052	
J105	JACK - (4) 2x4 SFF STUD GRADE	EPE	1045	
J106	JACK - (4) 2x4 SFF	EPE	1045	
J114	JACK - (2) 2x4 SFF STUD GRADE	GAA	1085	
J120	JACK - (2) 2x4 SFF STUD GRADE	GAA	1085	
J121	JACK - (2) 2x4 SFF STUD GRADE	GAA	1031	
J124	JACK - (2) 2x6 SFF STUD GRADE	GAA	1031	
J125	JACK - (2) 2x4 SFF STUD GRADE		1011	
J126	JACK - (2) 2x4 SFF STUD GRADE		1011	
J124	JACK - (3) 2x4 SFF	ELL	2008	
J130	JACK - (3) 2x4 SFF	ELL	2008	
J133	JACK - (2) 2x6 SFF STUD GRADE	ELB, ELK, ELL, ELR	1011	
J137	JACK - (2) 2x6 SFF STUD GRADE	GCC	1087, 1089, 1091	
J138	JACK - (3) 2x6 SFF STUD GRADE	GCC	1087, 1089, 1091	
J139	JACK - (2) 2x4 SFF STUD GRADE	GCC	1056	
J140	JACK - (2) 2x4 SFF STUD GRADE	GCC	1056	
J153	JACK - (2) 2x6 SFF STUD GRADE	GCC, ELB/ELK/ELL/ELR	1011	CRIPPLES

MODEL: LONGWOOD
DRAWING TITLE: FIRST FLOOR PLAN
OPTION DESCRIPTION:

SHEET NO. A-7
VERSION 01
DRAWN BY: NGB
DATE:
OPTION:

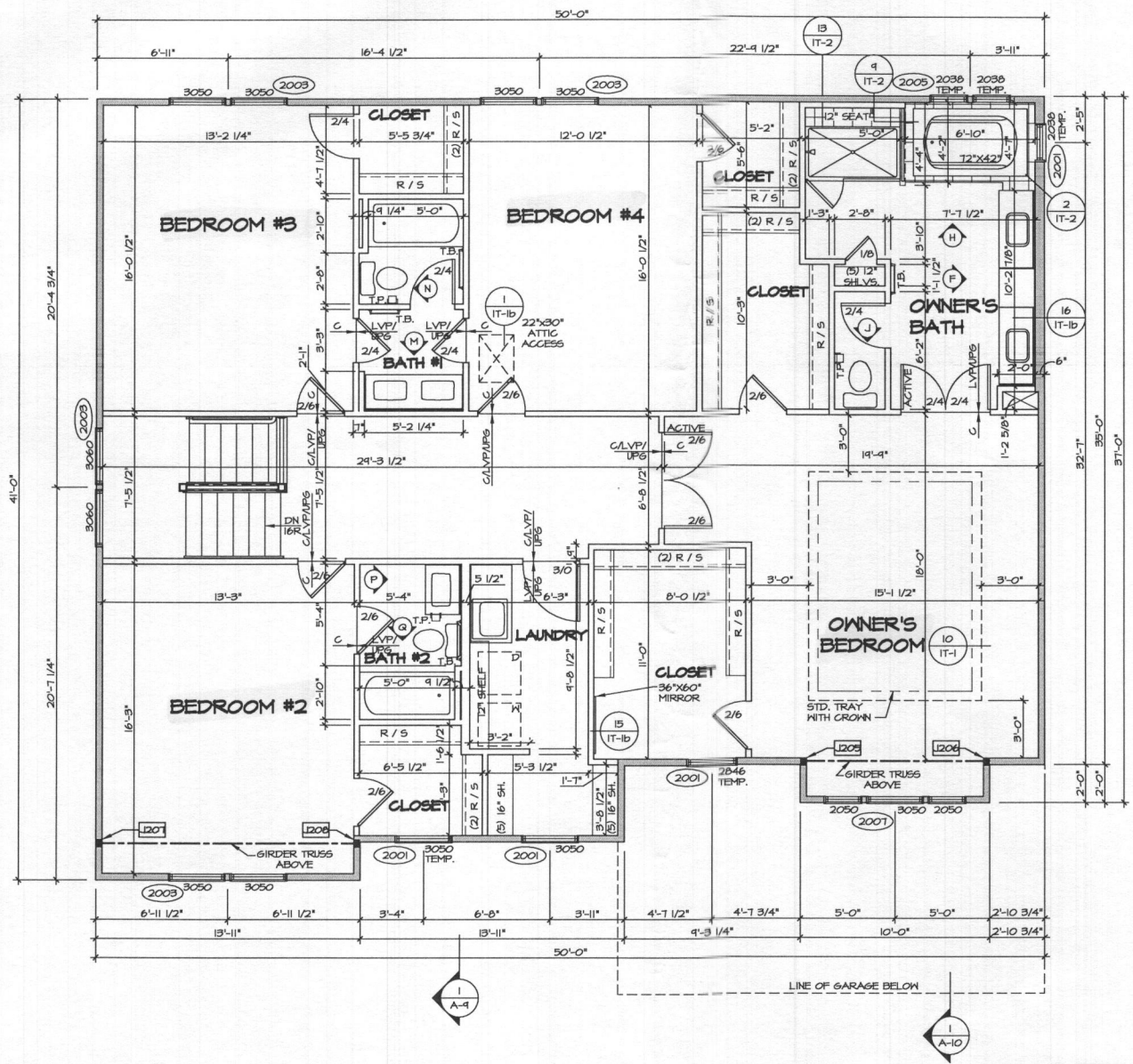
SET NO. 14000

DIV.-COMM-L0T-UNIT: MDE-1W-005
COMM-L0T: MALKER MEADOWS - 0005
STREET ADDRESS: 1021 HIGH STEPPER TRAIL
CITY: SYKESVILLE
STATE: MD
ZIP: 21154

APT. NO. 1092
ZIP 21154

NVR
NVR, Inc.
5285 Washview Drive, Suite 100
Frederick, MD 21703

03/25/20 - 8:37 am



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL GASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

- AT GARAGE:**
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - ⊗ INDICATES BEARINGS FROM POINT-LOAD ABOVE
 - ⊥ JACKS
 - ⊙ BEAM/HEADER
 - ⊞ PAD FOOTING
 - ◇ STEEL COLUMN
 - ⊠ PORTAL FRAME
 - ⊞ JOIST/TRUSS
 - LVL
 - ⊗ ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J205	JACK - (3) 2X4 SFF STUD GRADE	ELL	2008	
J206	JACK - (3) 2X4 SFF STUD GRADE	ELL	2008	
J207	JACK - (3) 2X4 SFF#1	ELL	2008	EXTEND THRU TOP PLATE
J208	JACK - (3) 2X4 SFF#1	ELL	2008	EXTEND THRU TOP PLATE

*4 Bedrooms
'OK' req*

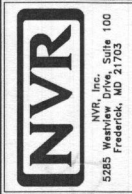
DIV-COMM-LOT-UNIT
MDE-1W-005

COMM-LOT
MALKER MEADOWS - 0005

STREET ADDRESS
1021 HIGH STEPPER TRAIL

CITY STATE MD
BYKESVILLE MD

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NVR, Inc. Suite 100
5285 Walkway Dr
Frederick, MD 21703

SET NO. 14000
VERSION 01

DRAWN BY C.A.P.

DATE: OPTION

MODEL
LONGWOOD
DRAWING TITLE
SECOND FLOOR PLAN

SHEET NO.
A-8

OPTION DESCRIPTION
26

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition - The process of preparing the soils to sustain adequate vegetative stabilization. Purpose - To provide a suitable soil medium for vegetative growth. Conditions Where Practice Applies - Where vegetative stabilization is to be established.

- A. Soil Preparation
1. Temporary Stabilization
a. Subsoil preparation equipment such as disc harrows or chisel plows or ripper mounted on a tractor or crawler tractor...
2. Permanent Stabilization
a. A soil test is required for any area...
b. Soil pH between 6.0 and 7.0...
c. Soil contains less than 100 parts per million (ppm) of soluble salts...
3. Topsoiling
a. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation...
b. Topsoil depth is to be 2 to 4 inches...
4. Soil Amendments (Fertilizer and Lime Specifications)
a. Soil tests must be performed to determine the exact ratios and application rates...
b. Fertilizers must be uniform in composition...
5. Sod Installation
a. Sod must be installed in a straight line...
b. Sod must be laid in a straight line with subsequent rows placed parallel to it...
6. Mulch Application
a. Mulch must be applied between the fall and spring seeding dates...
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood chips processed into a uniform fibrous physical state.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition - The application of seed and mulch to establish vegetative cover. Purpose - To protect disturbed soils from erosion during and at the end of construction. Conditions Where Practice Applies - To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

- A. Seeding
1. Specifications
a. Seed must meet the requirements of the Maryland State Seed Law...
b. Seed must be available upon request to the inspector to verify type of seed...
2. Application
a. Broadcast Seeding
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1...
ii. Apply seed in two directions, perpendicular to each other...
b. Drill or Outdragger Seeding
i. Mechanized seeders that apply and cover seed with soil...
ii. Outdragger seeders are required to bury the seed to a depth of at least 1/4 inch...
3. Hydroseeding
a. Apply seed uniformly with hydroseeder...
b. If fertilizer is being applied at the time of seeding...
4. Lines
a. Use only approved chemical lime (up to 3 tons per acre) or approved fertilizer...
5. Anchoring
a. Form mulch anchoring immediately following application of mulch to minimize loss by wind or water...
b. This may be done by one of the following methods...
6. Application
a. Apply mulch to all seeded areas immediately after seeding...
b. What straw mulch is used, spread it on to achieve a uniform distribution...
7. Anchoring
a. Form mulch anchoring immediately following application of mulch to minimize loss by wind or water...
b. This may be done by one of the following methods...
8. Application
a. Apply mulch to all seeded areas immediately after seeding...
b. What straw mulch is used, spread it on to achieve a uniform distribution...
9. Anchoring
a. Form mulch anchoring immediately following application of mulch to minimize loss by wind or water...
b. This may be done by one of the following methods...

B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

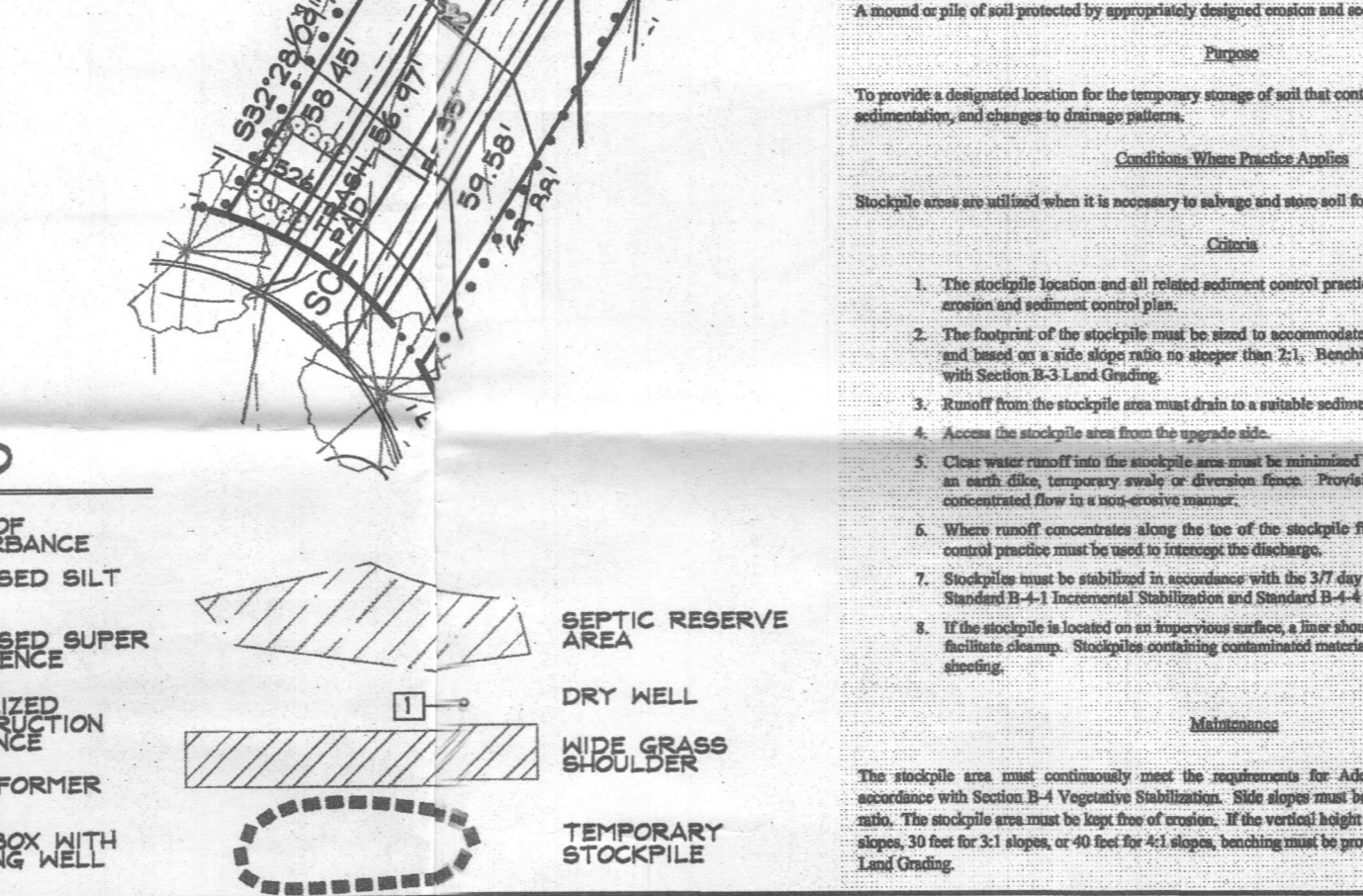
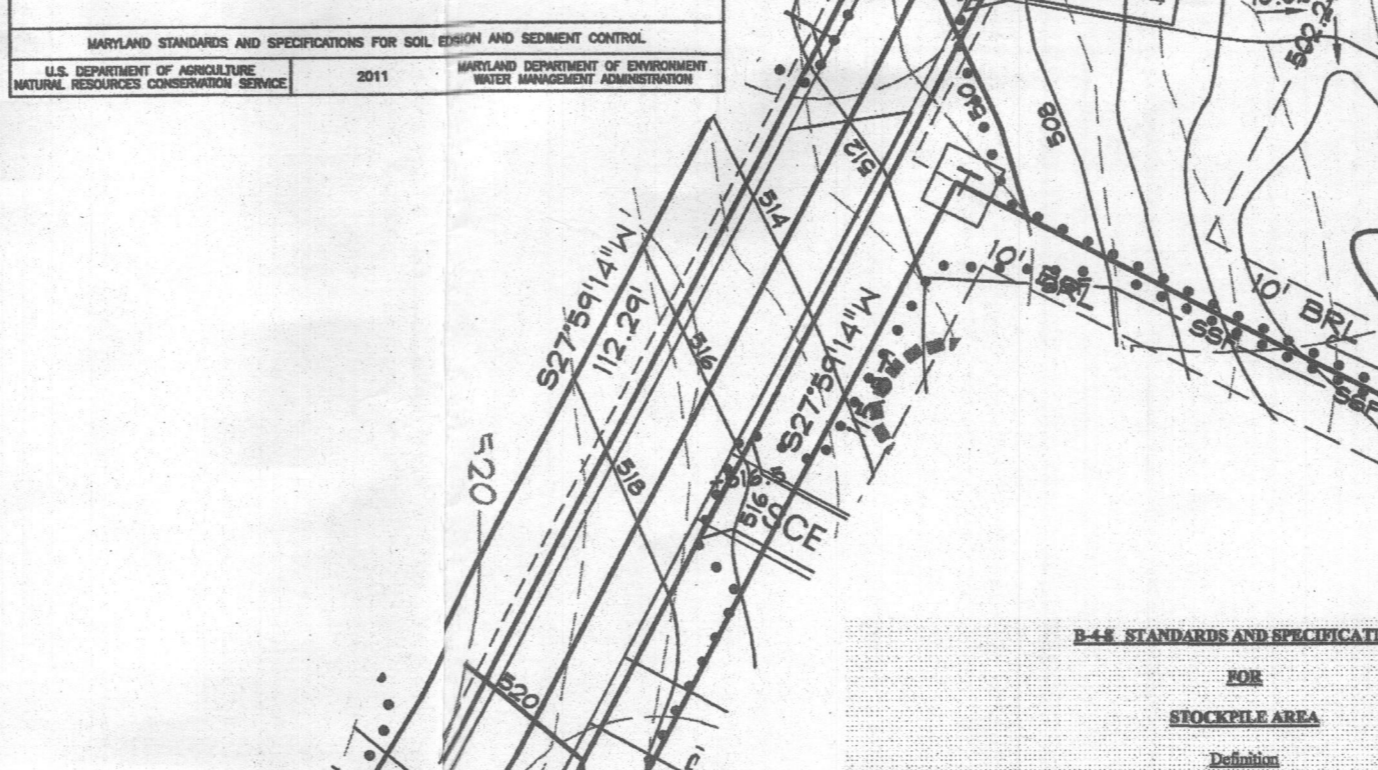
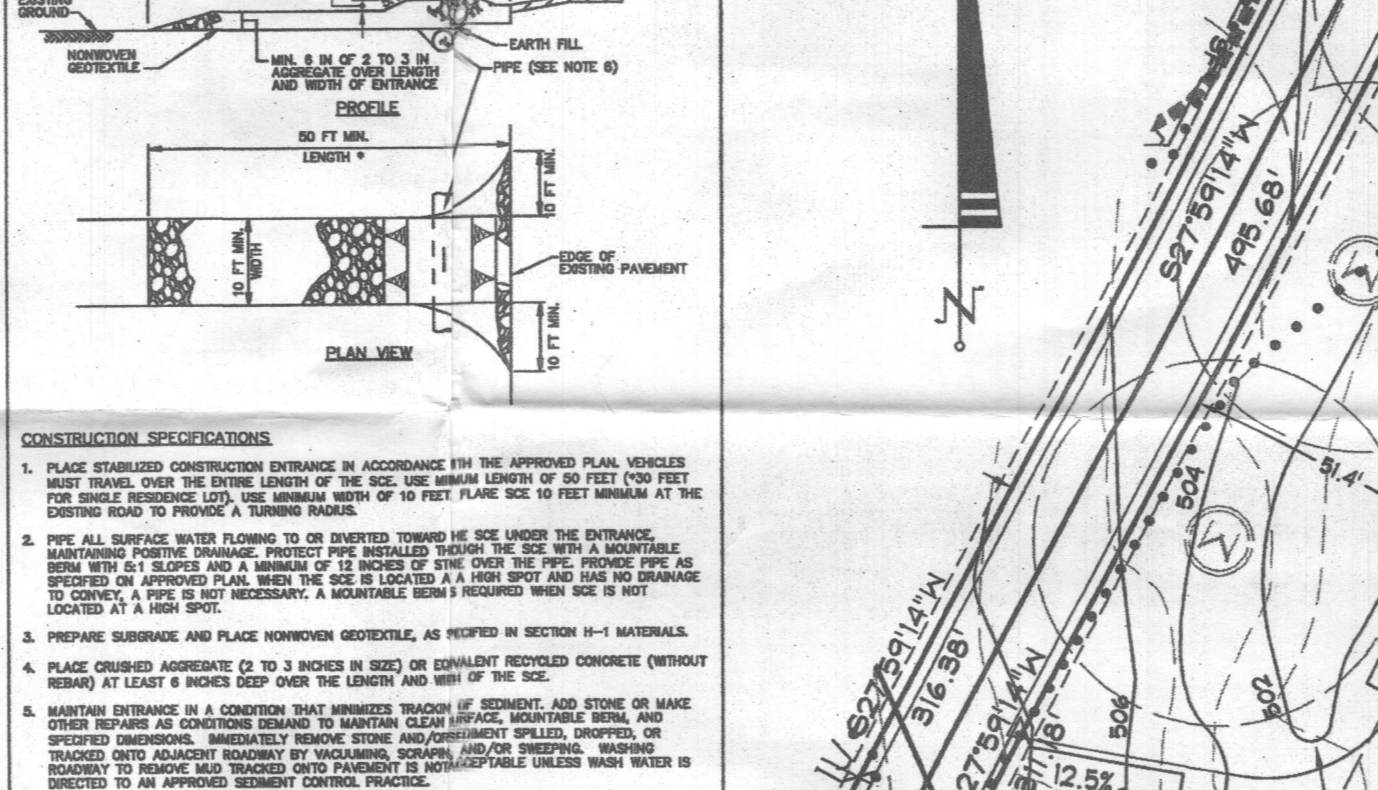
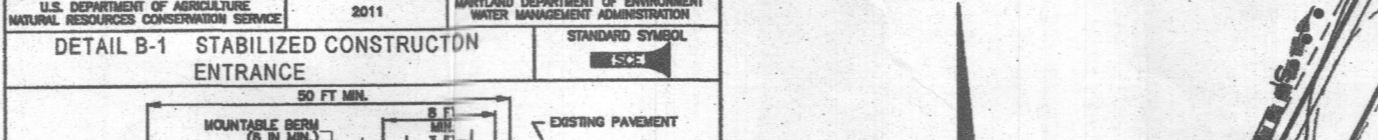
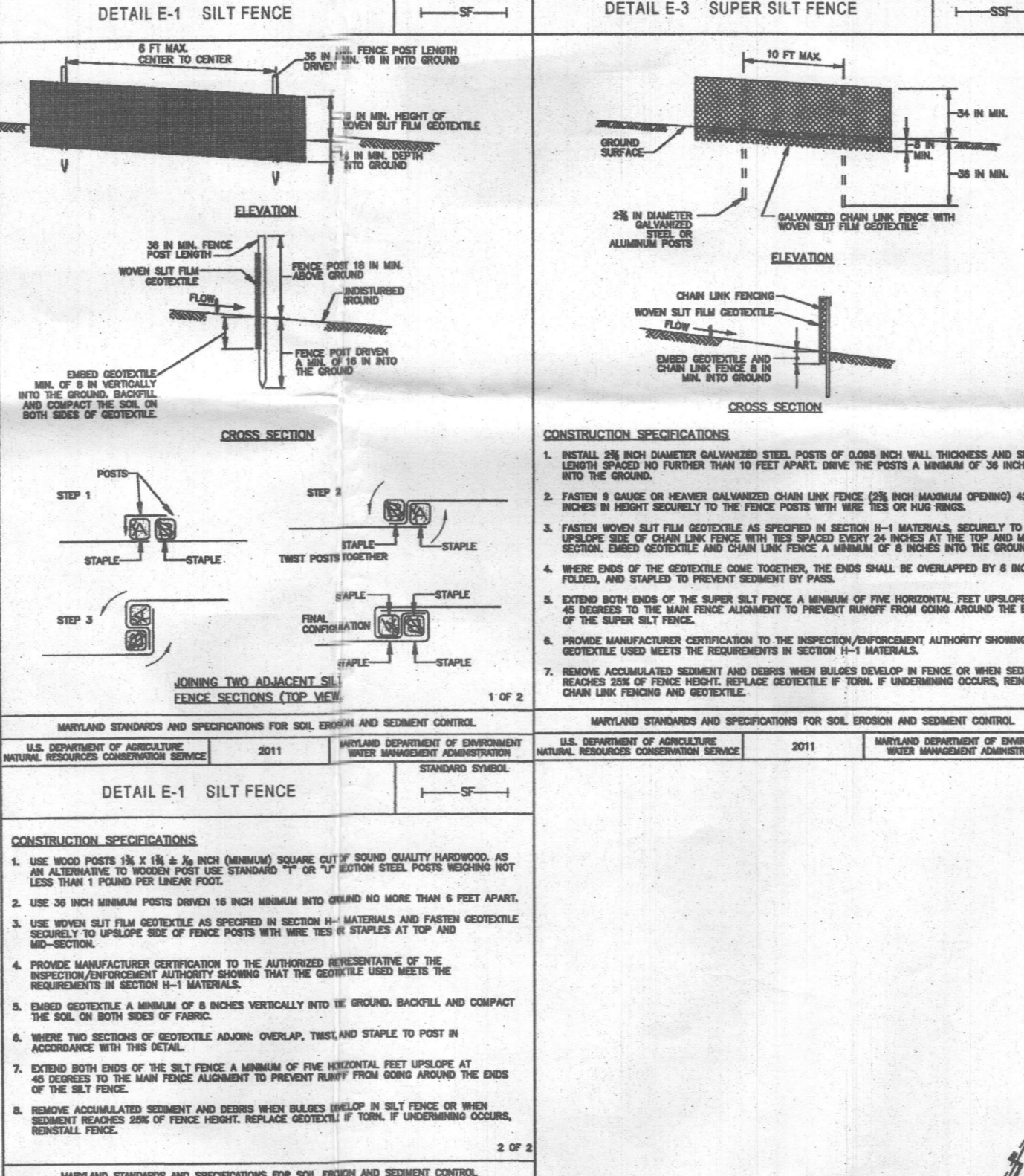
Definition - To stabilize disturbed soils with permanent vegetation. Purpose - To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils. Conditions Where Practice Applies - Exposed soils where ground cover is needed for 6 months or more.

- A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone...
b. Additional planting specifications for appropriate sites such as shorelines, stream banks, or dunes...
c. Apply fertilizer and lime as prescribed on the plan...
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites...
b. Areas where turfgrass is not desired include stream banks, dunes, and other areas...
3. Ceded Times of Seeding for Turf Grass Mixtures
a. Hardness Zones: 1b, 5a
b. Hardness Zones: 1c, 5b
c. Hardness Zones: 1d, 5c
4. Turfgrass Installation
a. Turfgrass must be installed in a straight line...
b. Sod must be laid in a straight line with subsequent rows placed parallel to it...
5. Sod Installation
a. Sod must be installed in a straight line...
b. Sod must be laid in a straight line with subsequent rows placed parallel to it...
6. Water the sod immediately following rolling and tamping...
7. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours...
8. In the absence of adequate rainfall, water daily during the first week or as often and as frequently as necessary to maintain moist soil to a depth of 4 inches...
9. After the first week, no watering is required as necessary to maintain adequate moisture content...
10. Do not mow until the sod is firmly rooted...
11. If the sod is not firmly rooted, mow at a height of at least 3 inches unless otherwise specified.

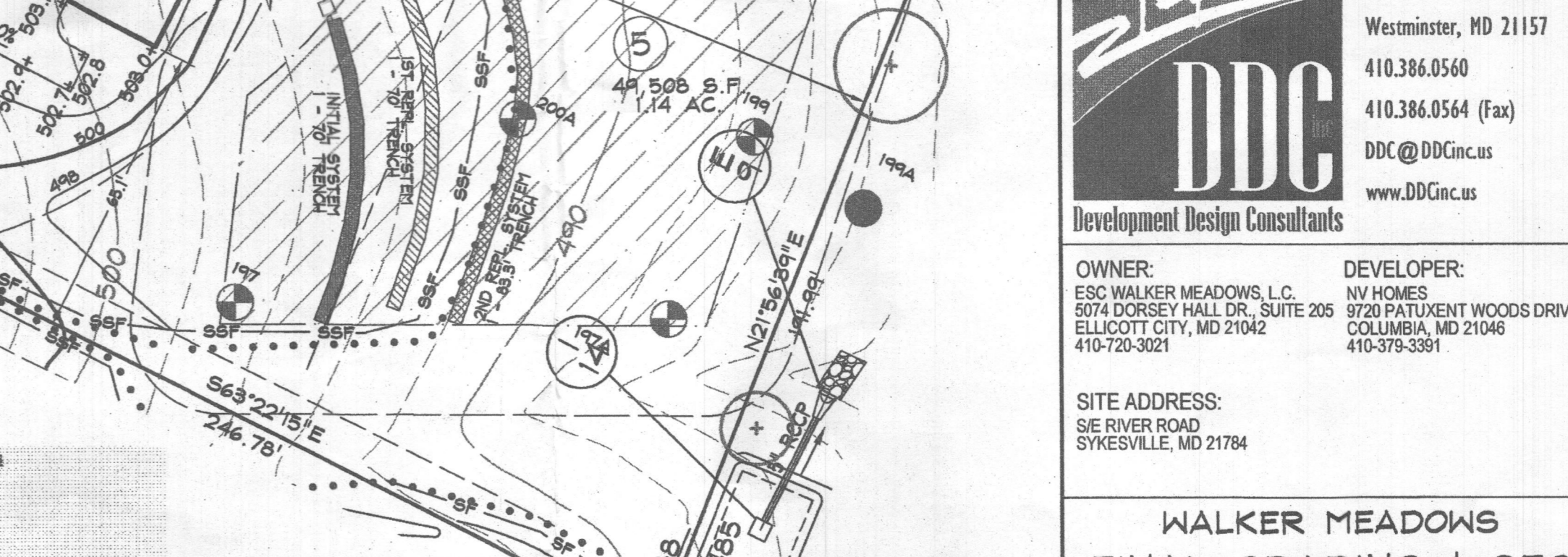
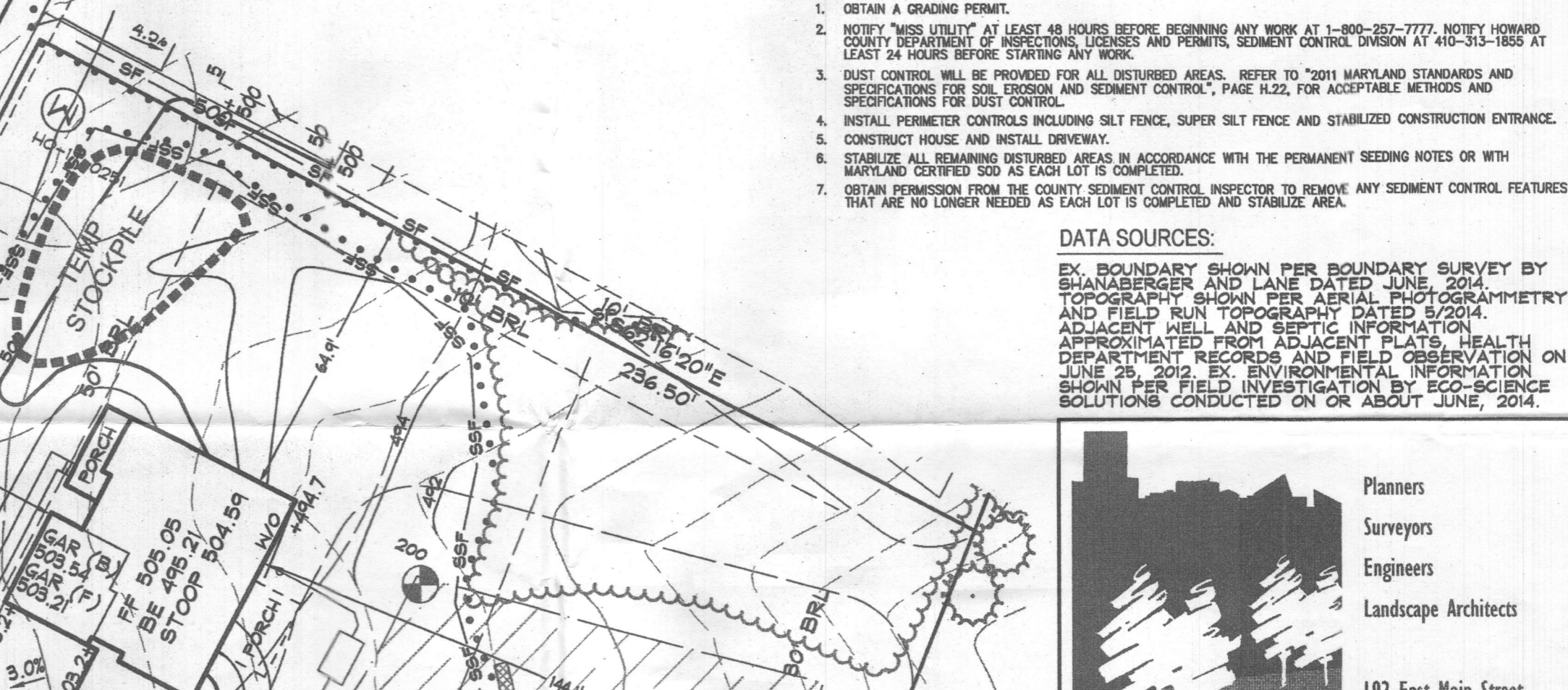
B-4-5 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

Definition - To stabilize disturbed soils with vegetation for up to 6 months. Purpose - To use fast growing vegetation that provides cover on disturbed soils. Conditions Where Practice Applies - Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization procedures are required.

- 1. Select one or more of the species or seed mixtures listed in Table B.3 for the appropriate Plant Hardness Zone...
2. For sites having soil tests performed, use and show the recommended rates by the testing agency...
3. When stabilization is required outside of a seeding season, apply seed at an amount which is twice as much alone as prescribed in Section B-4-5 and maintain until the next seeding season.



SEDIMENT CONTROL NOTES
1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS...
2. PRIOR TO THE START OF EARTH DISTURBANCE...
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE...
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED...
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE...
6. SITE ANALYSIS: TOTAL AREA OF SITE 1.14 ACRES, AREA DISTURBED 0.64 ACRES, AREA TO BE VEGETATIVELY STABILIZED 0.10 ACRES, TOTAL CUT 0.84 ACRES, TOTAL FILL 100E CUBIC YDS.



WALKER MEADOWS FINAL GRADING & SEC LOT 5. Includes contact information for DDC Development Design Consultants, site address, and professional engineer details for William R. Demario.

