

PERMIT NUMBER: B

20003233

DATE ACCEPTED:

RECEIVED

SEP 04 2020



**RESIDENTIAL BUILDING PERMIT APPLICATION**

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
 www.howardcountymd.gov

LICENSES & PERMITS  
 DIVISION

**BUILDING SITE ADDRESS REQUIRED**

Street Address: 8440 Church Lane Unit: \_\_\_\_\_  
 City: Ellicott City State: MD Zip Code: 21043  
 Subdivision/Village/Complex Name: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Lot: \_\_\_\_\_ Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grading Permit #: \_\_\_\_\_

**DESCRIPTION OF WORK REQUIRED**

Existing Use: Residential Proposed Use: Residential Estimated Cost: \$ 80,000  
 Trade Work to Be Completed (Separate Permits Required):  Mechanical (HVACR)  Electrical  Plumbing  None  
Attached Garage & Front Porch  
40' x 16'6" 9' x 32'6"

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): Brad Brown Primary Residence:  Yes  No  
 Owner's Street Address: 8440 Church Lane  
 City: Ellicott City State: MD Zip Code: 21043  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: Bearducci Contracting Contact Name: Chris Bearducci  
 Street Address: 1508 Abell Dr.  
 City: Westminster State: MD Zip Code: 21157  
 Phone: 473-797-9409 Email: cfucc@bearducci.com

**CONTRACTOR INFORMATION REQUIRED**

Business Name: Bearducci Contracting  
 Licensee's Name: Chris Bearducci License #: 99528  
 Street Address: 1508 Abell Dr.  
 City: Westminster State: MD Zip Code: 21157  
 Phone: 473-797-9409 Email: cfucc@bearducci.com

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name: GBL Custom Home Design Name: Greg Little  
 Street Address: P.O. Box 237  
 City: Frederick State: MD Zip Code: 21048  
 Phone: 410-833-8320 Email: \_\_\_\_\_

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure:  SF Dwelling  SF Townhouse  SF Duplex  Mobile Home  Multi-Family Dwelling (MF\*) Condo:  Yes  No  
 Utilities:  Electric  Gas Water Supply:  Public  Private (Well) Sewage Disposal:  Public  Private (Septic)  
 Heating System:  Electric  Natural Gas  Propane  Other: \_\_\_\_\_ Roadside Tree Project:  No  Yes: #  
 Sprinkler System:  NFPA 13  NFPA 13R  NFPA 13D  None Fire Alarm System:  Yes  No  Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options:  
 # of Bedrooms (SF): 3 # of efficiency units (MF\*): \_\_\_\_\_ # of 1 BR (MF\*): \_\_\_\_\_ # of 2 BR (MF\*): \_\_\_\_\_ # of 3 BR (MF\*): \_\_\_\_\_  
 # Rooms: \_\_\_\_\_ # Full Baths: 2 # Half Baths: \_\_\_\_\_ # Fireplaces: \_\_\_\_\_  
 Garage/Carport Info:  Attached Garage  Detached Garage  Integral Garage  Carport  None  
 Basement/Foundation Info:  Slab on Grade  Post & Pier  Unfinished Basement  Finished Basement:  Full or  Partial  
 1<sup>st</sup> Fl Width: \_\_\_\_\_ 1<sup>st</sup> Fl Depth: \_\_\_\_\_ 2<sup>nd</sup> Fl Width: \_\_\_\_\_ 2<sup>nd</sup> Fl Depth: \_\_\_\_\_ Bsmt Width: \_\_\_\_\_ Bsmt Depth: \_\_\_\_\_  
 Energy Method:  Prescriptive  Performance  UA Alternative  ERI Gross Area: \_\_\_\_\_ sq ft Occupiable Area: \_\_\_\_\_ sq ft

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 9/14/20

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:  
 PR \_\_\_\_\_  DPZ \_\_\_\_\_  DED \_\_\_\_\_  Health [Signature]  SHA \_\_\_\_\_  CID \_\_\_\_\_  
 SUBMITTAL FEES: \_\_\_\_\_ PAYMENT: \_\_\_\_\_ ACCEPTED BY: \_\_\_\_\_



# THE BREEN RESIDENCE

## 8440 CHURCH LANE RD.

### ELLCOTT CITY, MD 21043

ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

#### GENERAL STRUCTURAL NOTES

##### 1. GENERAL

A. ALL CONSTRUCTION SHALL CONFORM WITH THE PROVISIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

B. DESIGN LIVE LOADS:  
 ROOF ..... 40 PSF  
 FLOORS ..... 40 PSF  
 SLEEPING AREAS ..... 30 PSF

##### 2. FOUNDATIONS

A. FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE. THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISHED GRADE. CONTRACTOR TO VERIFY THE ALLOWABLE SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

##### 3. CAST IN PLACE CONCRETE

A. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING A.C.I. AND A.S.T.M. DOCUMENTS:

ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS  
 ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE

B. ALL CONCRETE, EXCEPT AS NOTED, SHALL BE (FC=3,000 PSI) STONE AGGREGATE CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.

C. SLABS ON GROUND SHALL BE 4" THICK CONCRETE REINFORCED WITH 6"x6" #11.4X#11.4 WWF OVER 6 MIL POLYETHYLENE VAPOR BARRIER AND 4" WASHED GRAVEL UNLESS OTHERWISE NOTED.

##### 4. MASONRY

A. ALL MASONRY CONSTRUCTION AND MATERIALS USED THEREIN (CONCRETE MASONRY, CLAY MASONRY, MORTAR, GROUT AND STEEL REINFORCEMENT) SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-12/ASCE 5-12/TMS 402-12) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1-12/ASCE 6-12/TMS 602-12) IN ALL RESPECTS.

B. MASONRY BEARING WALLS SHALL CONSIST OF STANDARD HOLLOW UNITS CONFORMING TO ASTM C 90 UNLESS OTHERWISE NOTED, WHERE SOLID UNITS ARE REQUIRED, PROVIDE UNITS CONFORMING TO ASTM C 145.

C. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS FOR PROPORTIONS, MIXING, STRENGTH AND APPLICATION FOR PORTLAND CEMENT/LIME TYPE "S" MORTAR AS DESCRIBED IN ACI 530-12.

D. ALL GROUT FILL IN MASONRY WALLS SHALL CONFORM TO ASTM C 476. SLUMP RANGE 8-11". PLACE GROUT IN 5'-0" MAXIMUM POUR HEIGHTS AND CONSOLIDATE BY MECHANICAL VIBRATION.

E. PROVIDE 8" DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST OR SLAB BEARING LINES. PROVIDE 16" HIGH X 16" LONG 100% SOLID MASONRY BELOW ALL LINTELS AND BEAMS UNLESS NOTED OTHERWISE.

F. ALL MASONRY WALLS SHALL BE REINFORCED WITH NO. 9 GASS TYPE GALVANIZED DUR-O-WALL SPACED VERTICALLY AT 16" O.C. UNO. LAP ALL DUR-O-WALL 6" MINIMUM. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS.

G. LOOSE LINTELS FOR MASONRY WALLS SHALL BE FOR EACH 4" WIDTH OF MASONRY ONE STEEL ANGLE AS FOLLOWS:

0'-0" TO 3'-0" 3-1/2" X 3-1/2" X 5/16"  
 3'-1" TO 5'-0" 4" X 3-1/2" X 3/16"  
 5'-1" TO 6'-6" 5" X 3-1/2" X 3/8"  
 6'-7" TO 8'-0" 6" X 3-1/2" X 3/8"

ALL ANGLES SHALL HAVE THEIR SHORT LEG OUTSTANDING AND 6" MINIMUM BEARING.

##### 5. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36 (LATEST LOCAL APPROVED). ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERRECTED IN ACCORDANCE WITH THE AISC MANUAL, AISC SPECIFICATION AND AISC CODE OF STANDARD PRACTICE.

B. ALL WELDED CONNECTIONS SHALL BE DONE WITH E70XX ELECTRODES. SHOP AND FIELD WELDS SHALL BE MADE BY APPROVED CERTIFIED WELDERS AND SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.

##### 6. WOOD

A. STRUCTURAL SOLID WOOD RAFTERS, JOISTS, BEAMS AND STUDS SHALL BE HEM FIR #2 OR SPRUCE PINE FIR #2 SURFACED DRY AT A MAXIMUM OF 14% MOISTURE CONTENT. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE #2. ALL FABRICATION, ERECTION, OTHER PROCEDURES, AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

B. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1) AND COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-91) AS PUBLISHED BY THE TRUSS PLATE INSTITUTE AND IN ACCORDANCE WITH THE 1991 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

C. WOOD TRUSSES AND ENGINEERED FLOOR JOISTS ARE TO BE DESIGNED BY THE SUPPLIER. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT FOR REVIEW. ALL TRUSSES AND JOISTS SHALL BE DESIGNED TO LIMIT THE BEARING STRESS TO 425 psi WHEN MEMBERS BEAR ON STUD WALLS. PROVIDE MEMBERS OF ADEQUATE WIDTH OR METAL CONNECTIONS TO LIMIT STRESSES TO THE SPECIFIED VALUE.

D. ALL LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc=2600psi, Fv=285psi, E=1,900,000psi, Fc=2510psi(PARALLEL), Fc=1750psi(PERPENDICULAR).

E. ALL DOUBLE MEMBERS SHALL BE NAILED TOGETHER WITH 2 ROWS OF 16d NAILS SPACED AT 12" O.C. ALL TRIPLE MEMBERS SHALL BE NAILED TOGETHER WITH 3 ROWS OF 16d NAILS SPACED AT 12" O.C. NAILED FROM EACH SIDE.

F. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN.

G. ALL NAILS ARE TO BE COMMON WIRE NAILS. NAILINGS OF ALL FRAMING SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS BUT IN NO CASE SHALL BE LESS THAN THE RECOMMENDED NAILING SCHEDULE CONTAINED IN THE 2000 INTERNATIONAL RESIDENTIAL CODE. ALL MULTIPLE STUD POSTS ARE TO BE NAILED TOGETHER WITH 12d NAILS @ 6" O.C. STAGGERED.

H. PROVIDE BRIDGING SPACED AT 48" O.C. IN FIRST TWO JOIST, RAFTER OR TRUSS SPACES WHEN FRAMING IS PARALLEL TO EXTERIOR WALL. NAIL SHEATHING (FLOOR, CEILING OR ROOF) TO BRIDGING AND NAIL BRIDGING TO EXTERIOR WALL PLATE. PROVIDE ONE ROW OF BRIDGING BETWEEN ALL FLOOR AND ROOF JOISTS FOR EACH 8'-0" OF SPAN. PROVIDE SOLID BLOCKING OR A CONTINUOUS RIM JOIST AT THE BEARING OF JOISTS, RAFTERS OR TRUSSES ON WOOD PLATES.

I. PROVIDE THE FOLLOWING JAMB STUDS AT ALL BEARING WALL OPENINGS UNLESS NOTED OTHERWISE:  
 0-3' OPENING 1 JACK STUD, 1 KING STUD  
 3'-1" - 6'-0" OPENING 2 JACK STUDS, 1 KING STUD  
 6'-1" - 8'-0" OPENING 2 JACK STUDS, 2 KING STUDS

PROVIDE DOUBLE STUDS AT ALL CORNERS AND BENEATH ALL GIRDER TRUSSES AND WOOD BEAMS UNLESS NOTED OTHERWISE ON PLANS. WOOD BEAMS, GIRDER TRUSSES AND HEADERS SHALL BEAR THE FULL DEPTH OF POSTS AND JACK STUDS.

J. ALL POSTS (MULTIPLE STUDS OR SOLID POST) SUPPORTING BEAMS, WALL HEADERS OR GIRDER TRUSSES, SHALL BE BLOCKED SOLID FOR THE FULL LENGTH AND WIDTH OF POSTS AT ALL INTERSECTIONS WITH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO TOP OF FOUNDATION WALLS OR BEAMS. POSTS SHOWN ON UPPER LEVELS FLOORS SHALL ALSO BE INSTALLED ON THE LOWER LEVELS IN LINE WITH THE POST ABOVE DOWN TO FOUNDATION WALLS OR BEAMS.

K. ALL FLUSH JOIST TO BEAM OR BEAM TO BEAM CONNECTIONS SHALL BE MADE WITH JOIST OR BEAM HANGERS TO SUPPORT THE LOAD CAPACITY INDICATED ON THE PLANS OR THE FULL CAPACITY OF THE JOIST OR BEAM. HANGERS SHALL BE PROVIDED BY SIMPSON STRONG-TIE OR USP LUMBER CONNECTORS. THE SUPPLIER SHALL DESIGN ALL HANGERS FOR THE CAPACITY STATED. INSTALL ALL HANGERS IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS. FILL ALL NAIL OR BOLT HOLES USING THE SPECIFIED NAILS AND BOLTS ONLY.

GENERAL NOTES:	
ALL EXTERIOR WALLS TO BE 2x6 @16" O/C W/ DBL TOP PLATE AND 1/2" EXTERIOR SHEATHING UNO. EXTERIOR WALLS DIMENSIONED TO FACE OF SHEATHING & DO NOT INCLUDE BRICK VENEER & MAY DIFFER FROM FOUNDATION DIMENSIONS	
ALL INTERIOR BEARING PARTITIONS TO BE 2x4 @16" O/C W/ DOUBLE TOP PLATE UNO.	
ALL INTERIOR NON-BEARING PARTITIONS TO BE 2x4 @16" O/C W/ SINGLE TOP PLATE UNO.	
ALL WINDOW ROUGH OPENING HEIGHTS TO BE SET AT 6"-8" ABOVE SLAB	
ALL STRUCTURAL OPENINGS TO RECEIVE MINIMUM (2) 2x10 HEADERS W/ 1/2" OSB FLITCH W/ (1) JACK STUD AT EACH END UNLESS NOTED OTHERWISE	
REFER TO FRAMING SUPPLIERS LAYOUT FOR BRACING DETAILS AND FRAMING INSTALLATION REQUIREMENTS.	
FRAMING SUPPLIER'S SHOP DRAWINGS SUPERSEDE FRAMING LAYOUT HEREIN SUGGESTED.	
PROVIDE SOLID BLOCKING AT ALL POINT LOADS CONTINUED TO FOUNDATION.	
PROVIDE ADEQUATE CLEARANCE AT PLUMBING STACKS AS REQUIRED.	

TABLE R501.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)

USE	LIVE LOAD
UNINHABITABLE ATTICS W/O STORAGE, d	10
UNINHABITABLE ATTICS W/ LIMITED STORAGE, d, g	20
HABITABLE ATTICS & ATTICS SERVED W/ FIXED STAIRS	30
BALCONIES (EXTERIOR) & DECKS, e	40
FIRE ESCAPES	40
GUARDRAILS & HANDRAILS, d	200h
GUARDRAIL INFILL COMPONENTS, f	50h
PASSENGER VEHICLE GARAGES, a	50a
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40G

For S1: 1 pound per square foot = 0.0479 kPa, 1 square inch = 6.45 mm<sup>2</sup>, 1 pound = 4.45 N.

- Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- Uninhabitable attics without storage are those where the maximum clear height between joists and rafters is less than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches high by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.
- Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.
- A single concentrated load applied in any direction at any point along the top.
- See Section R502.2.2 for decks attached to exterior walls.
- Guard in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirements.
- Uninhabitable attics with limited storage are those where the maximum clear height between joists and rafters is 42 inches or greater, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:
  - The attic area is accessible from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is a minimum of 30 inches.
  - The slopes of the joists or truss bottom chords are no greater than 2 inches vertical to 12 units horizontal.
  - Required insulation depth is less than the joist or truss bottom chord member depth. The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 lb/ft<sup>2</sup>. If blocking used in handrail assemblies and guards shall be designed with a safety factor of 4.
  - The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.

**DESCRIPTION OF WORK:**  
 UNCONDITIONED, 1 STORY, BRICK & WOOD FRAMED ATTACHED GARAGE ADDITION W/ RAFTER FRAMED ROOF SYSTEM. POURED CONCRETE FOUNDATION & SLAB ON GRADE. TOTALING 650 SQUARE FEET.  
 ENERGY METHOD: NA  
 FOUNDATION DIMENSIONS: 25'-4" X 26'-8"  
 FIRST FLOOR DIMENSIONS: 25' X 26'

DRAWING INDEX	
PAGE #	PAGE DESCRIPTION
1	COVER SHEET
2	ELEVATIONS
3	FOUNDATION & FLOOR PLAN
4	WALL BRACING PLAN & SECTION
5	WALL BRACING DETAILS
6	SITE PLAN

HATCH LEGEND:	
	NEW FOUNDATION WALL
	NEW FRAME WALL
	VINYL SIDING
	BRICK VENEER (PLAN VIEW)
	30 YR ARCHITECTURAL SHINGLES
	BRICK VENEER

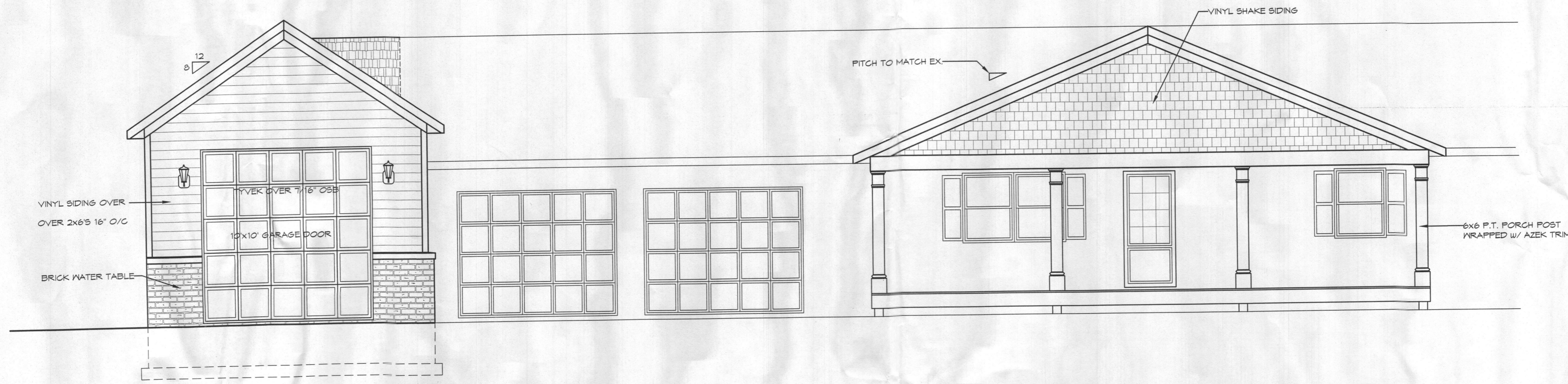
SQUARE FOOTAGE	
CONDITIONED=	0 SQ. FT.
GARAGE=	640 SQ. FT.
FRONT PORCH=	293 SQ. FT.

THE BREEN RESIDENCE

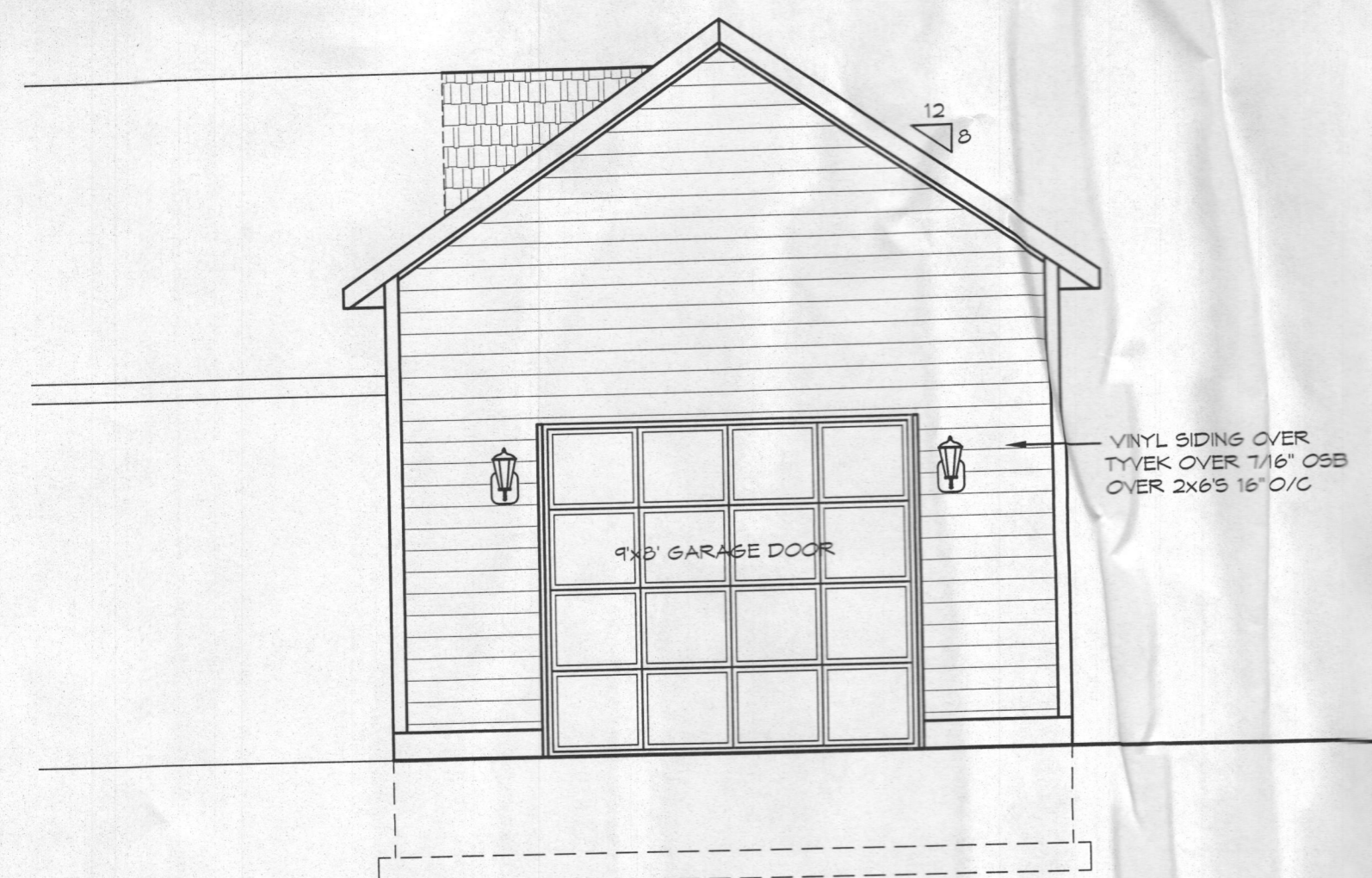
FILE: BREEN ADDITION

SCALE: 1/4" = 1'-0"  
 DATE: 07/2020  
 SHEET NO.: 1

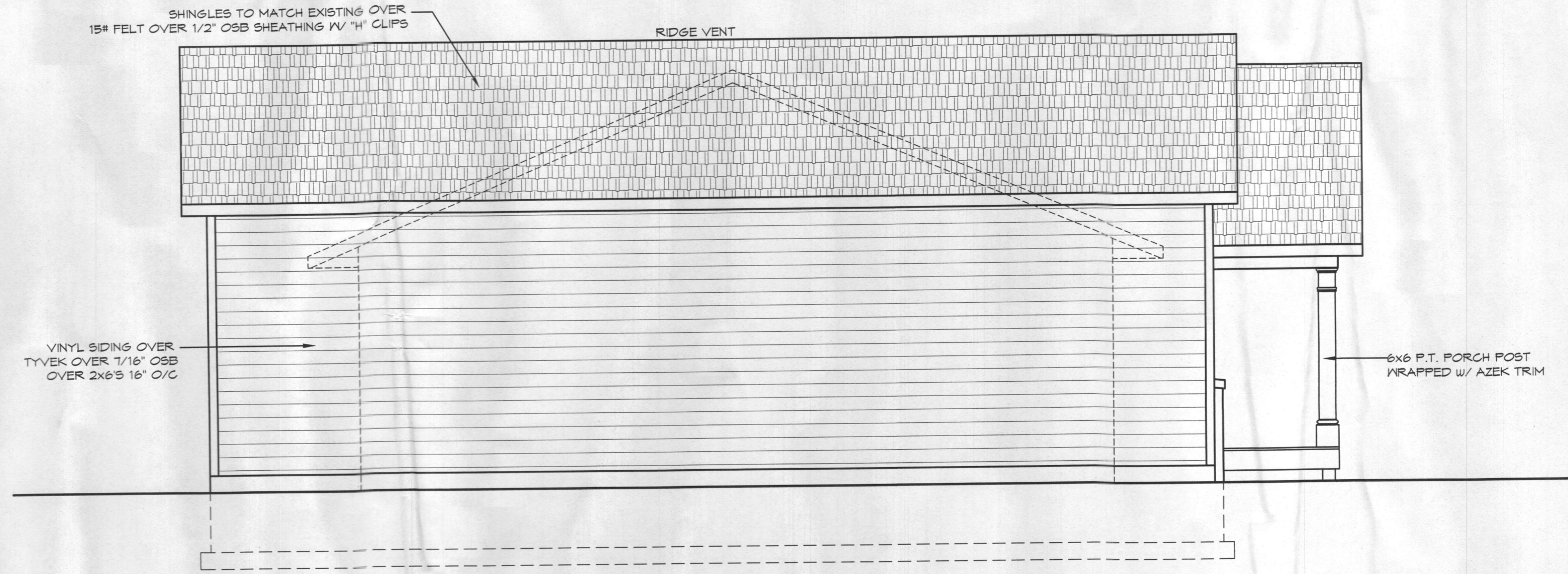
GBL CUSTOM HOME DESIGN INC.  
 PO BOX 237 FINKSBURG, MD 21048  
 PHONE 410-833-8320



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**THE BREEN RESIDENCE**

FILE: BREEN ADDITION

SCALE: 1/4" = 1'-0"

DATE: 07/2020

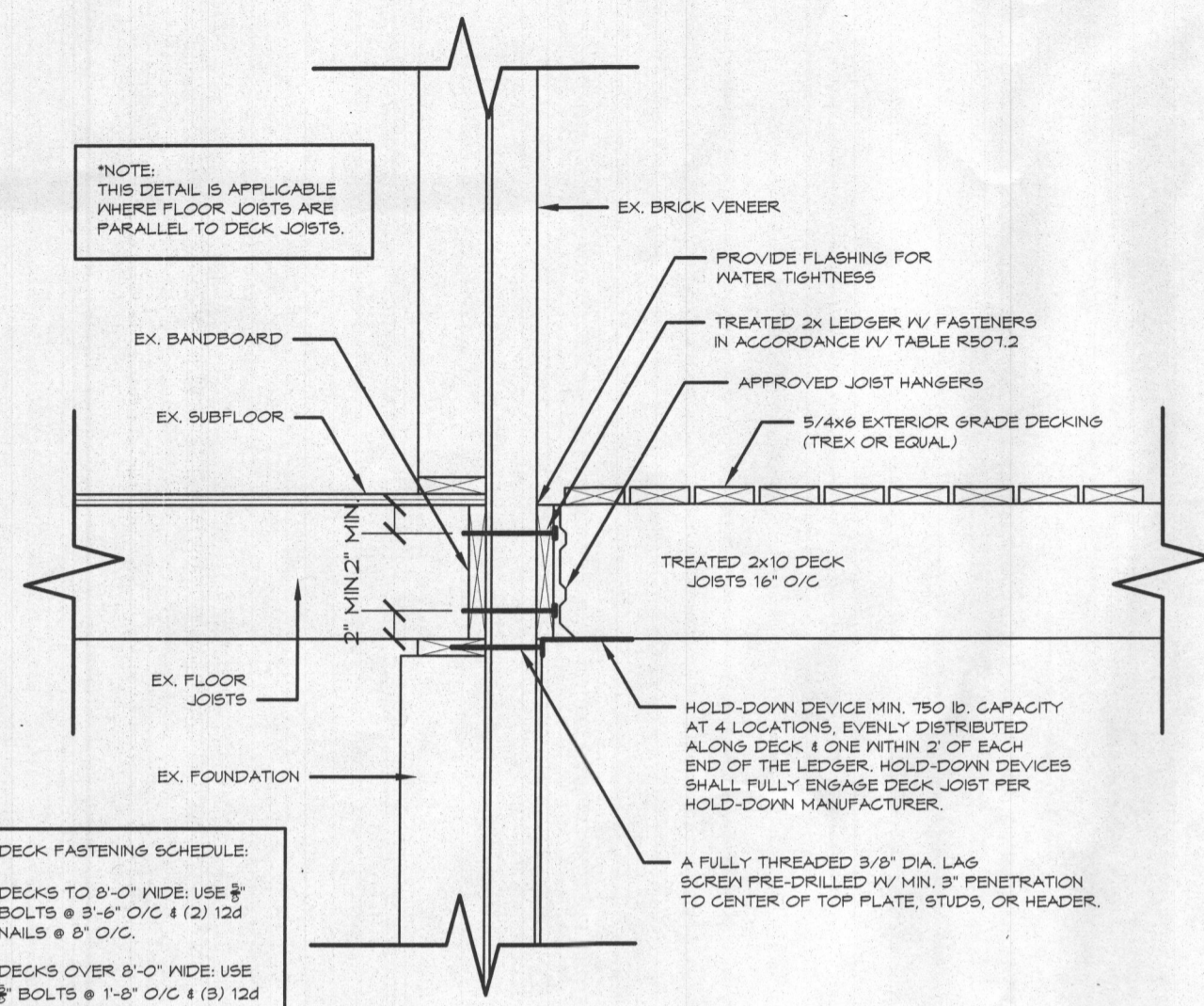
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**GBL CUSTOM HOME  
DESIGN INC.**

PO BOX 237 FINNSBURG, MD 21048

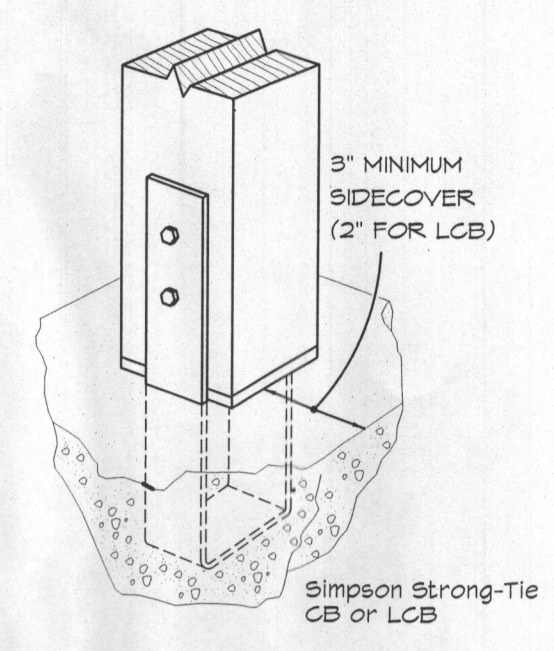
PHONE: 410-833-8320



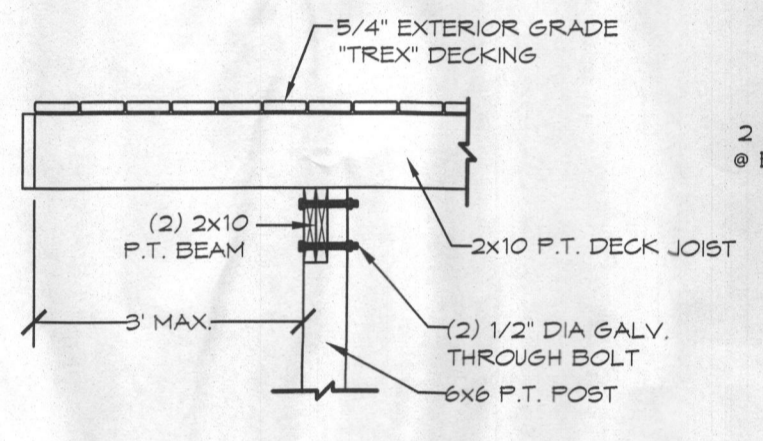


**DECK ATTACHMENT FOR LATERAL LOADS**  
FIGURE 507.2.3(2)  
SCALE: 1/4\"/>

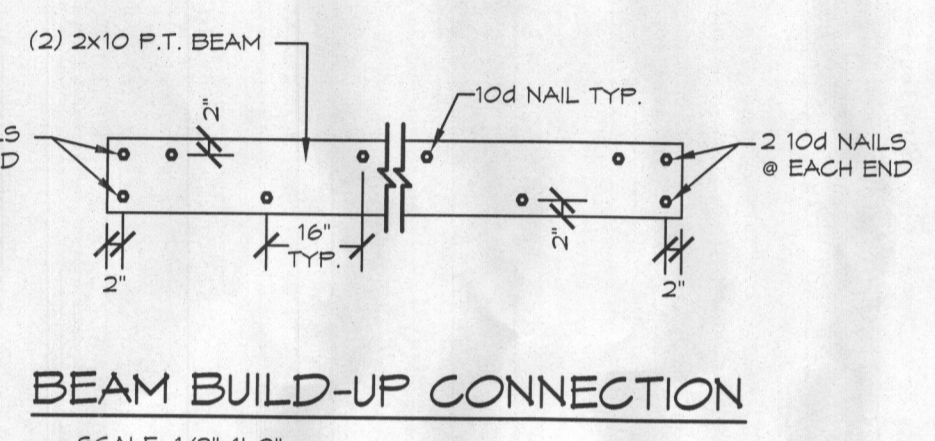
HOLD DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THAN FOUR LOCATIONS PER DECK, AND EACH DEVICE SHALL HAVE AN ALLOWABLE STRESS DESIGN CAPACITY OF NOT LESS THAN 750 POUNDS. (PER FIG. 507.2.4)



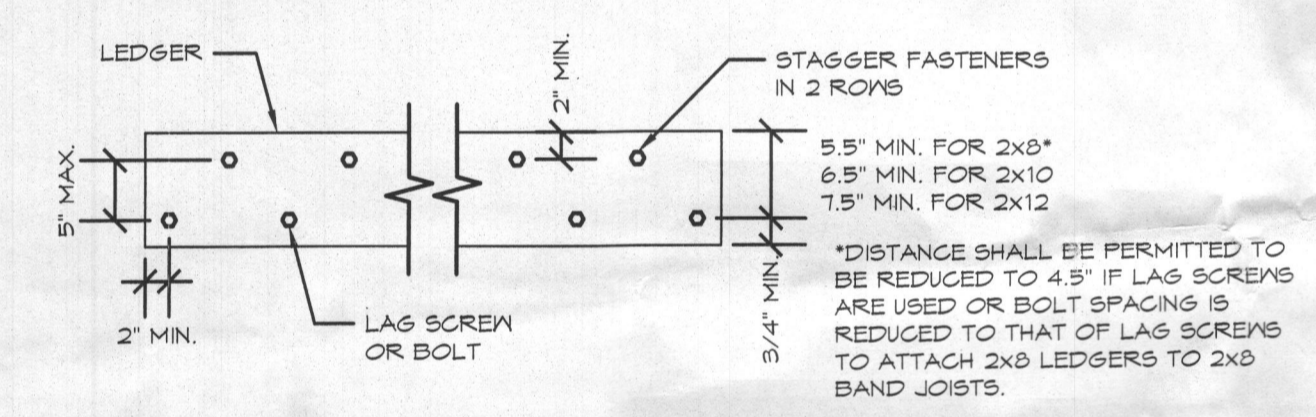
**POST TO FOOTER CONNECTION DETAIL**  
NOT TO SCALE



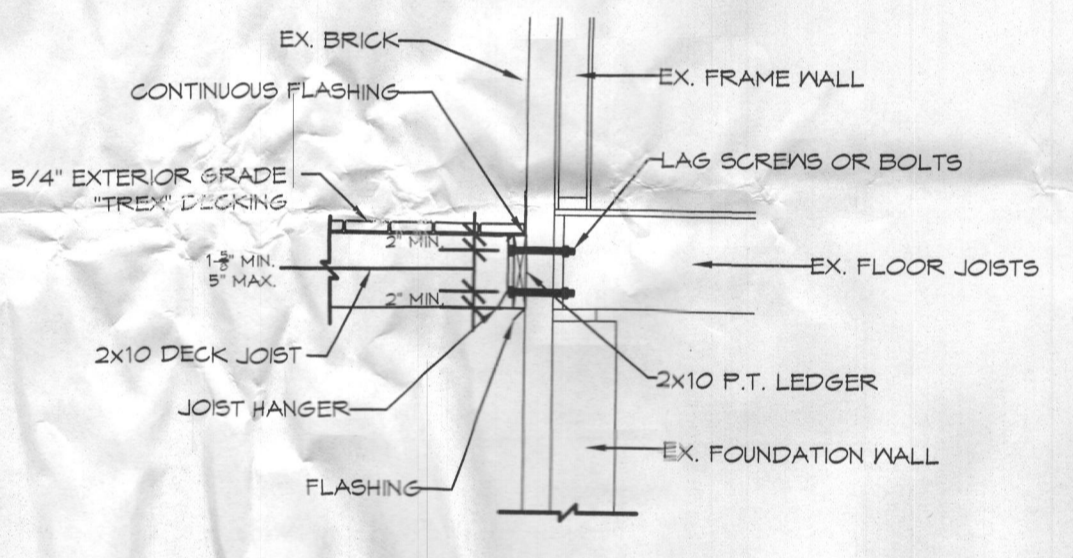
**BEAM TO POST CONNECTION**  
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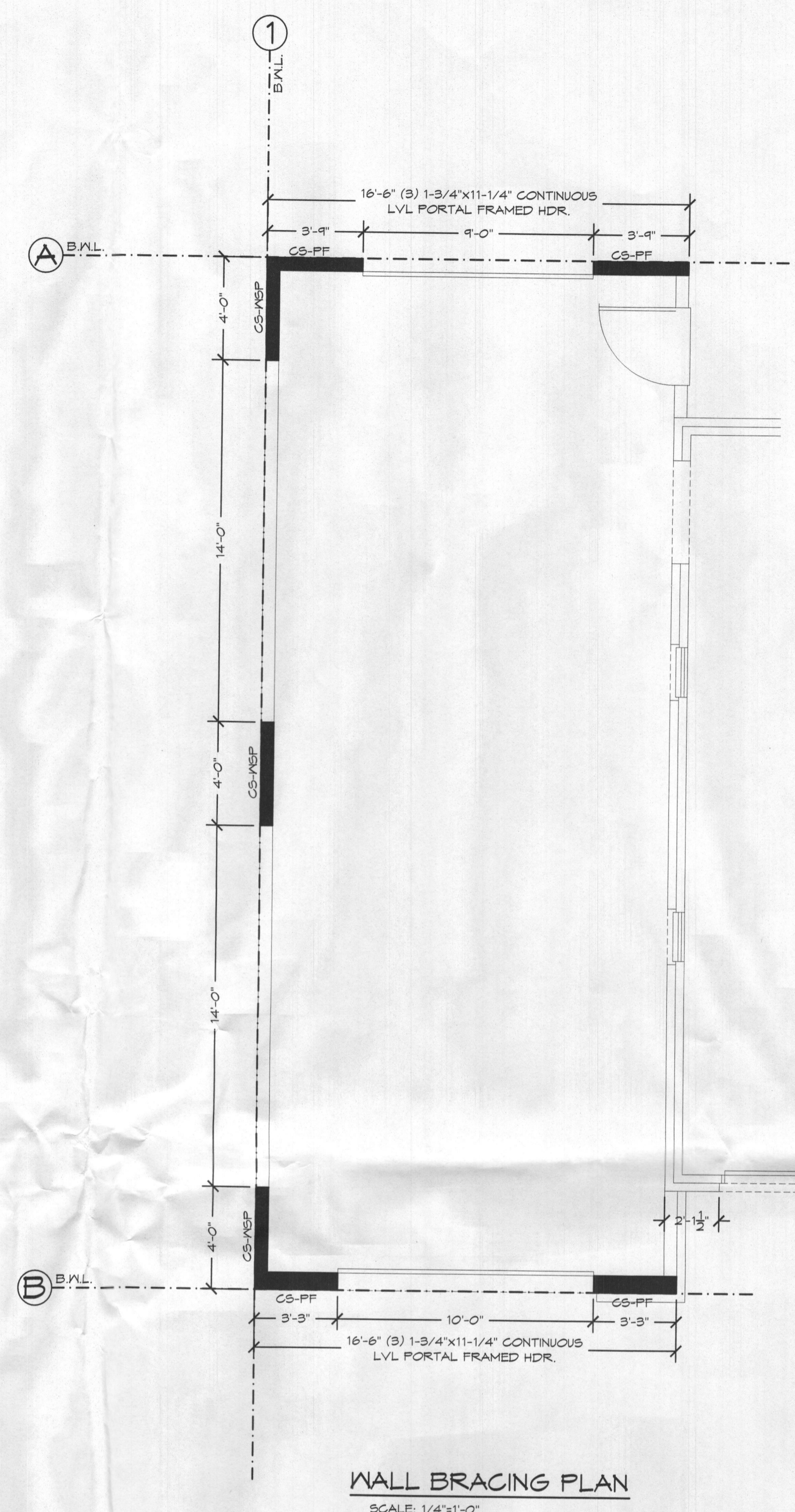
**BEAM BUILD-UP CONNECTION**  
SCALE: 1/2\"/>



**PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS**  
FIGURE R507.2.1(1)  
SCALE: 3/4\"/>



**LEDGER CONNECTION**  
SCALE: 1/2\"/>



**WALL BRACING PLAN**  
SCALE: 1/4\"/>

LVL FASTENING SCHEDULE					
Maximum uniform Load Applied to Either or Both Outside Pieces (Pounds per linear foot)					
Pieces in Member	16d NAILS	1/2\"/>			
2	505	760	505	1015	500
3	380	570	380	760	375
4	Not Permitted	340	675	330	665

2 PLY		1 3/4\"/>	
2A Connection	3B Connection	4C Connection	4E Connection

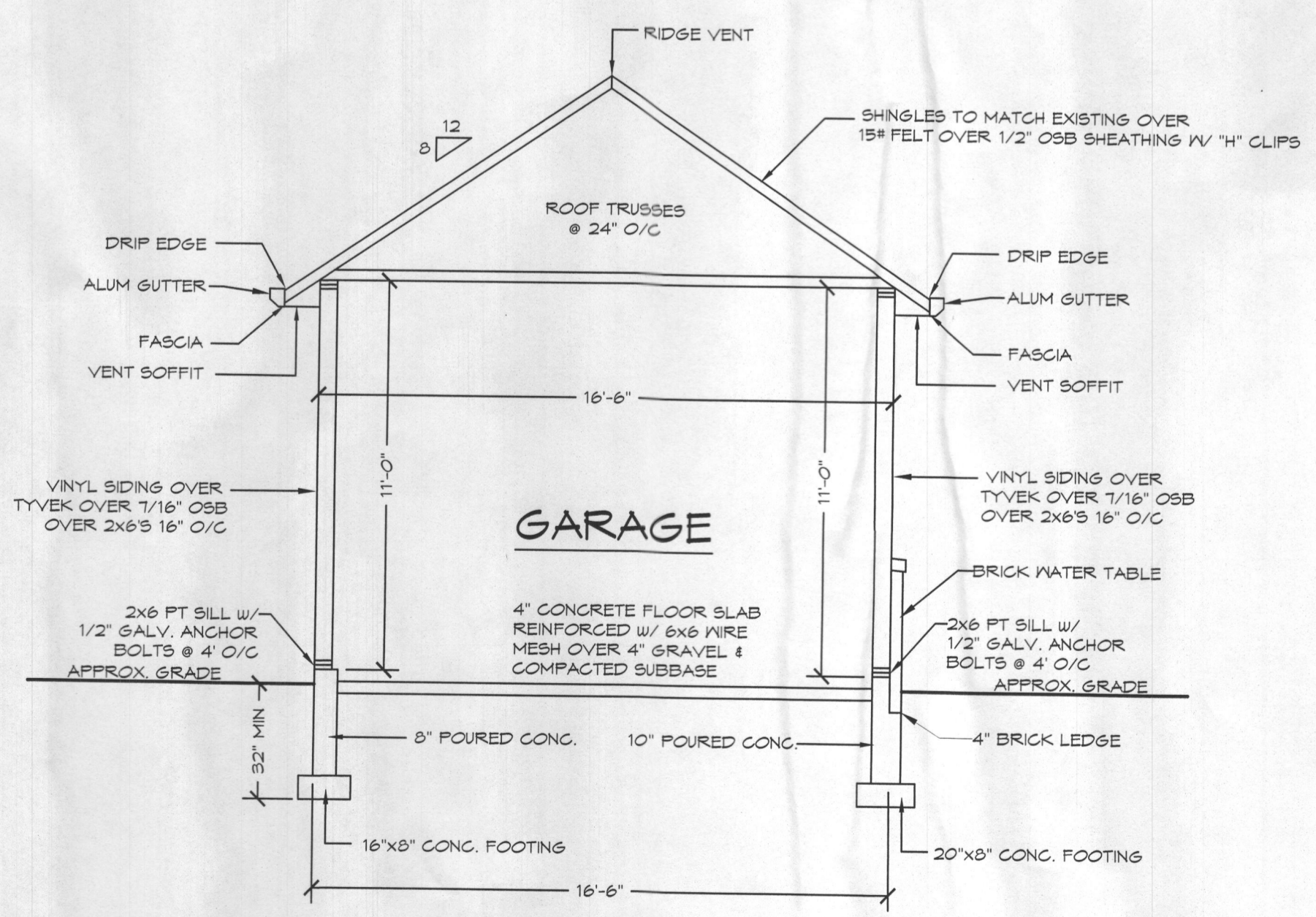
1 3/4\"/>	
2 PLY	3 PLY
2A Connection	3C Connection

3 1/2\"/>	
D (Bolts) & F (Screws)	TWO ROWS 12\"/>

A (Nails) & F (Screws)		B (Nails)		C (Bolts) & E (Screws)	
TWO ROWS 12\"/>		THREE ROWS 12\"/>		TWO ROWS 24 IN. O.C. STAGGERED	



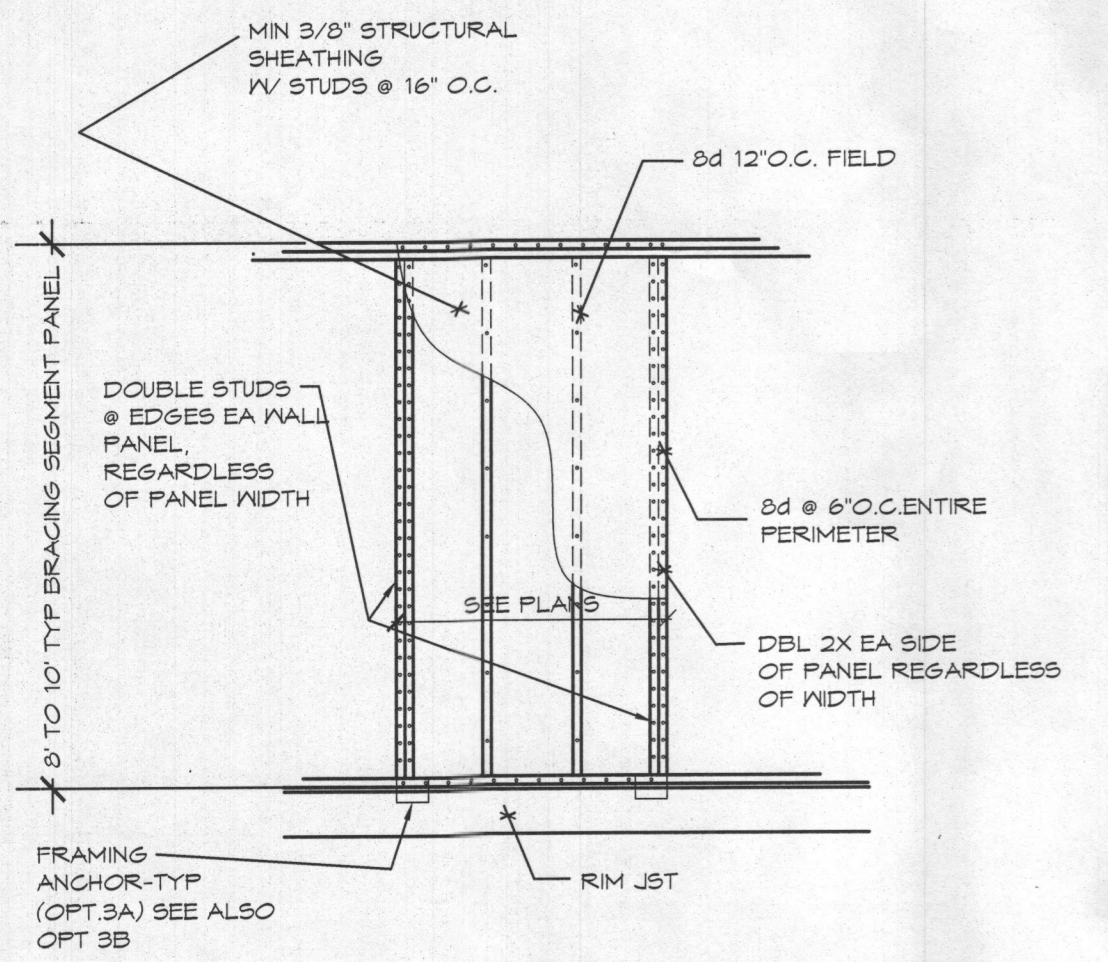
**SECTION A**  
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**THE BREEN RESIDENCE**

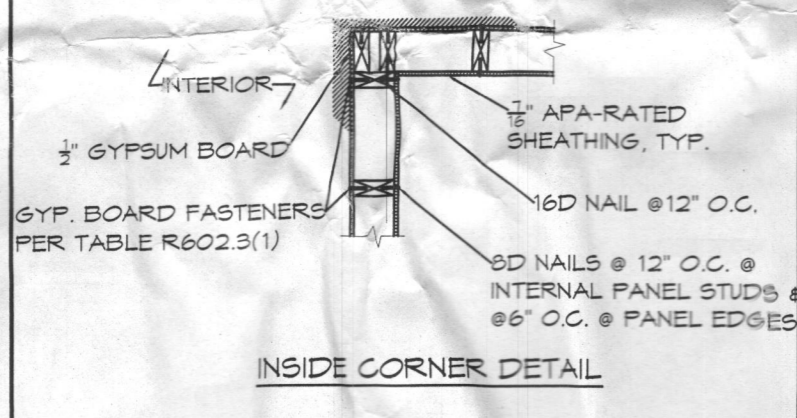
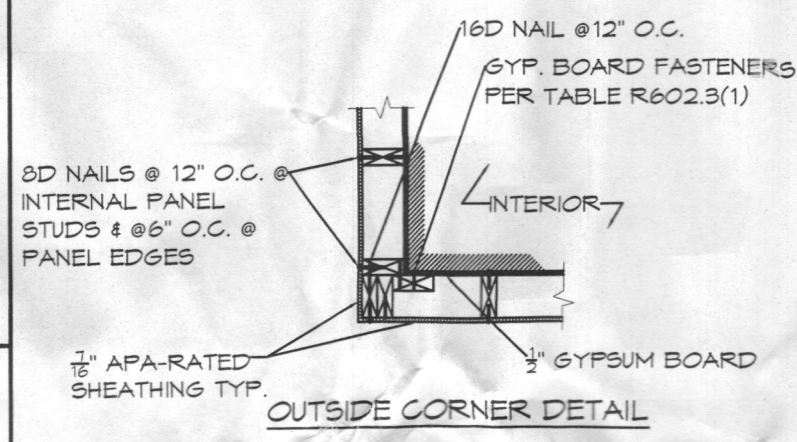
FILE BREEN ADDITION

SCALE: 1/4\"/>

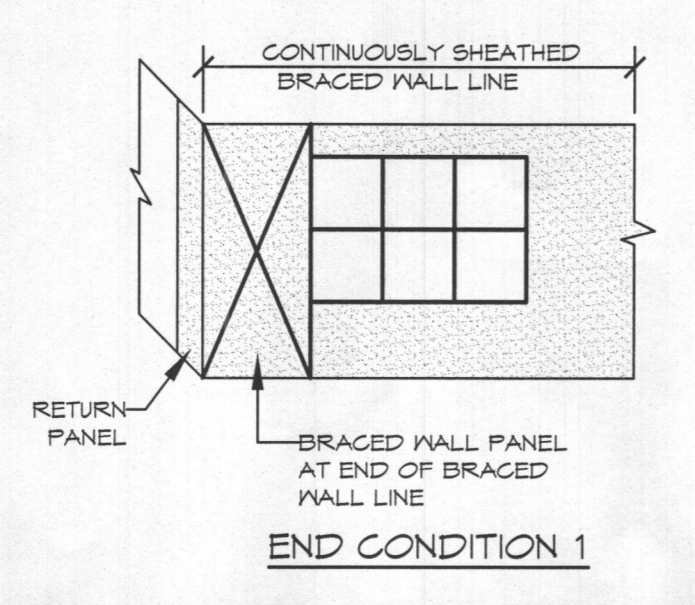
**G.B.L. CUSTOM HOME DESIGN INC.**  
PO BOX 237 FINNSBURG, MD 21048  
PHONE 410-833-8320



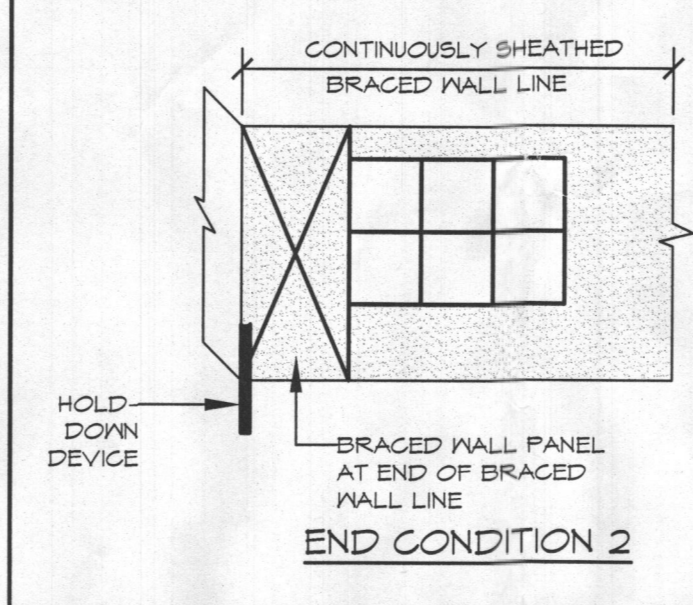
**1 BRACED PANEL CONSTRUCTION**  
**RAISED WOOD FLOOR OR 2ND FLOOR**  
 SCALE: NOT TO SCALE



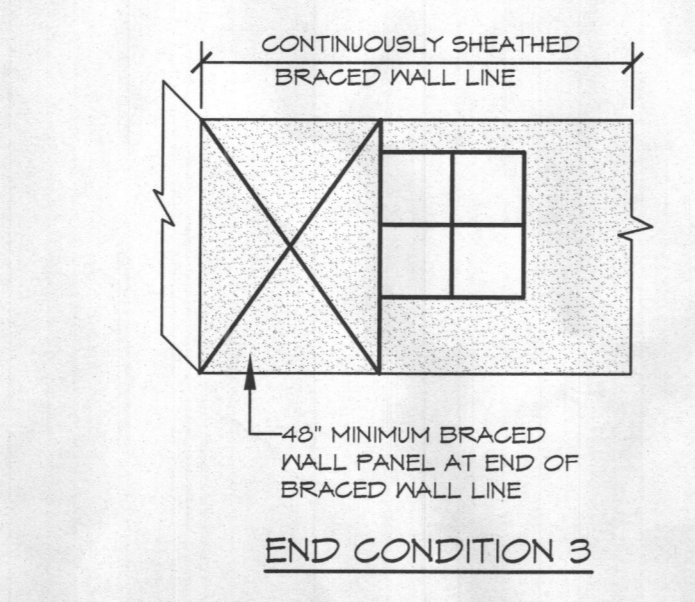
**TYP. CORNER FRAMING**  
**DETAIL W/ FASTENERS**  
 NOT TO SCALE



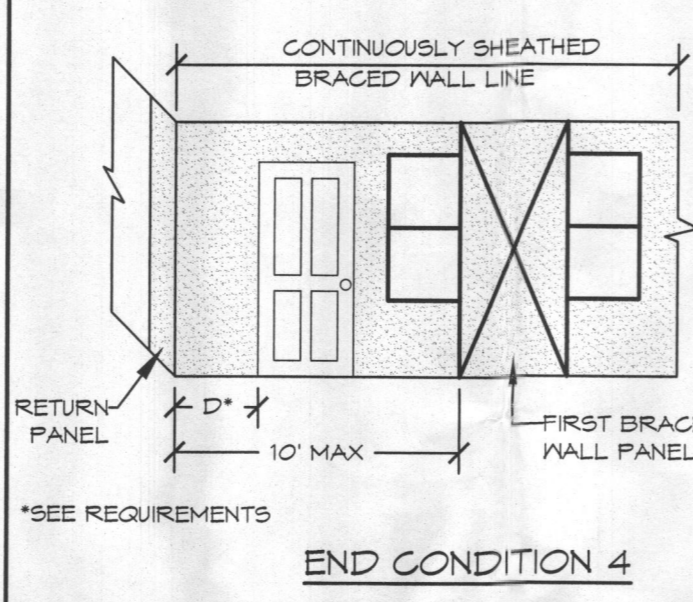
**END CONDITION 1**



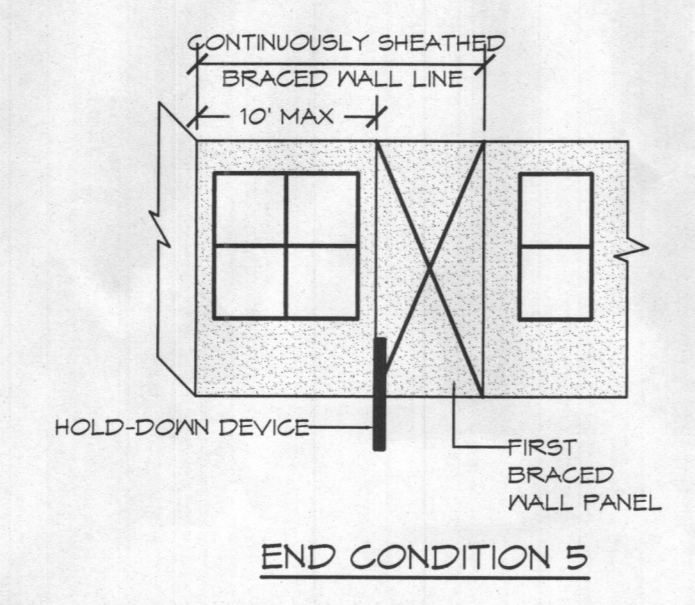
**END CONDITION 2**



**END CONDITION 3**



**END CONDITION 4**

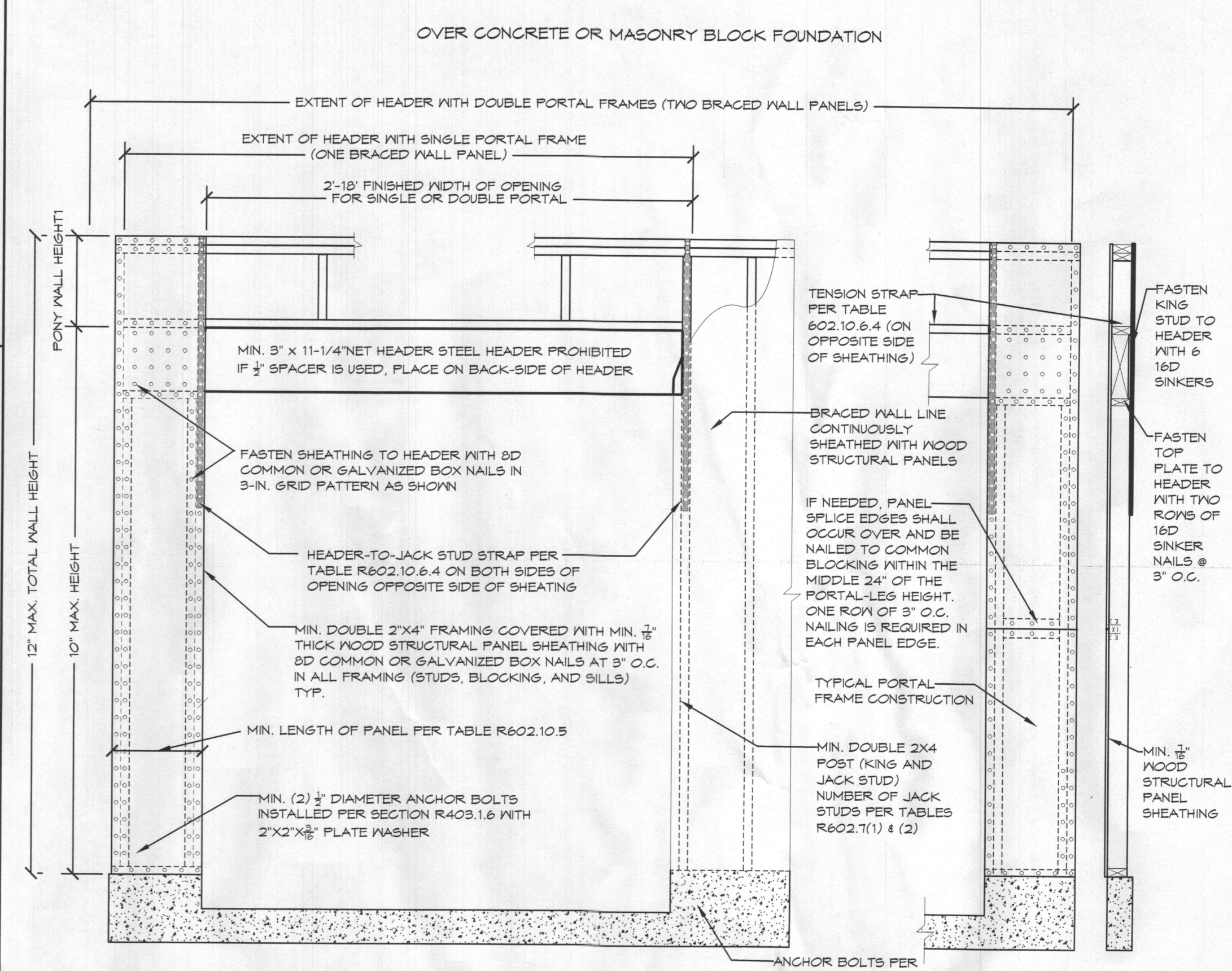


**END CONDITION 5**

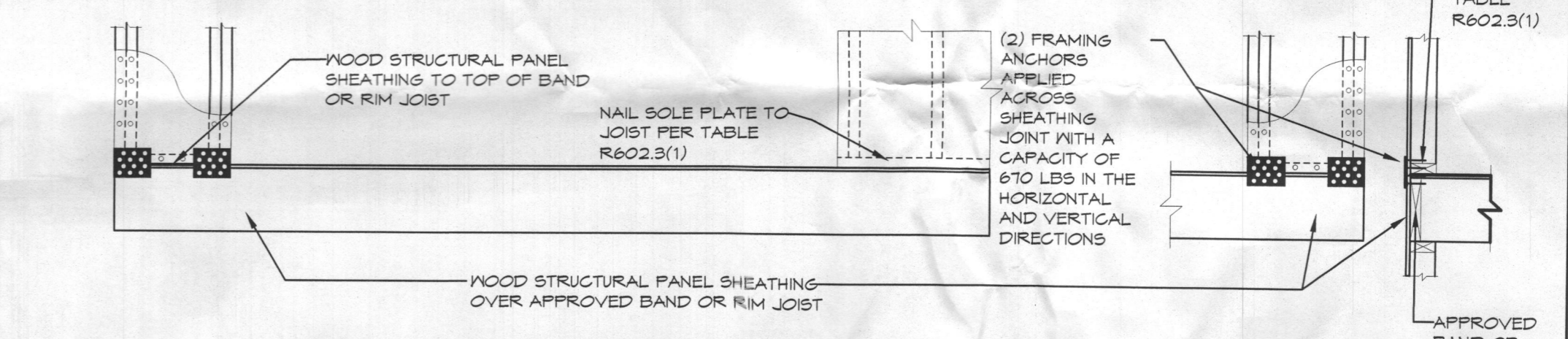
**REQUIREMENTS**

RETURN PANEL: 24\"/>

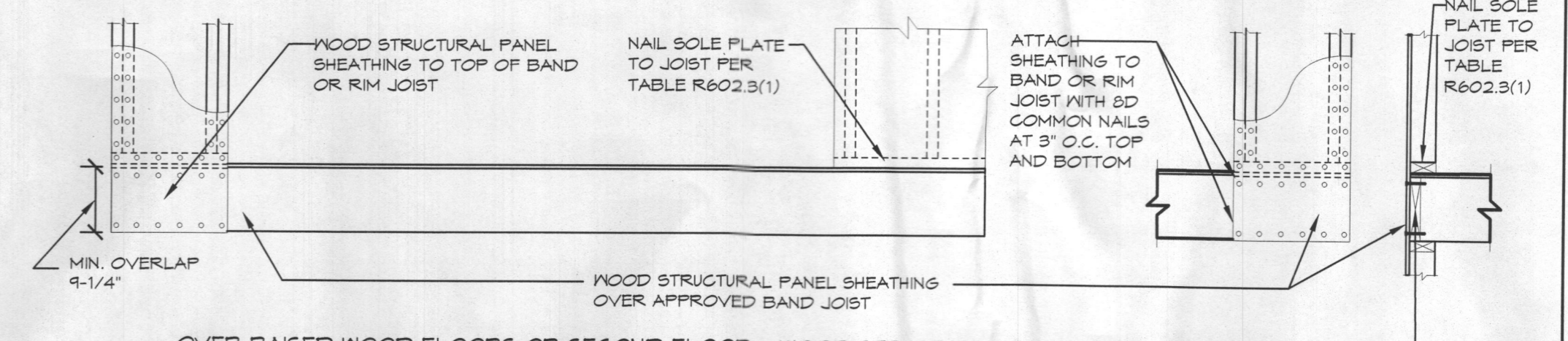
**CORNER CONDITIONS**  
 NOT TO SCALE



**CS-PF OVER CONCRETE OR MASONRY FOUNDATION**  
 NOT TO SCALE

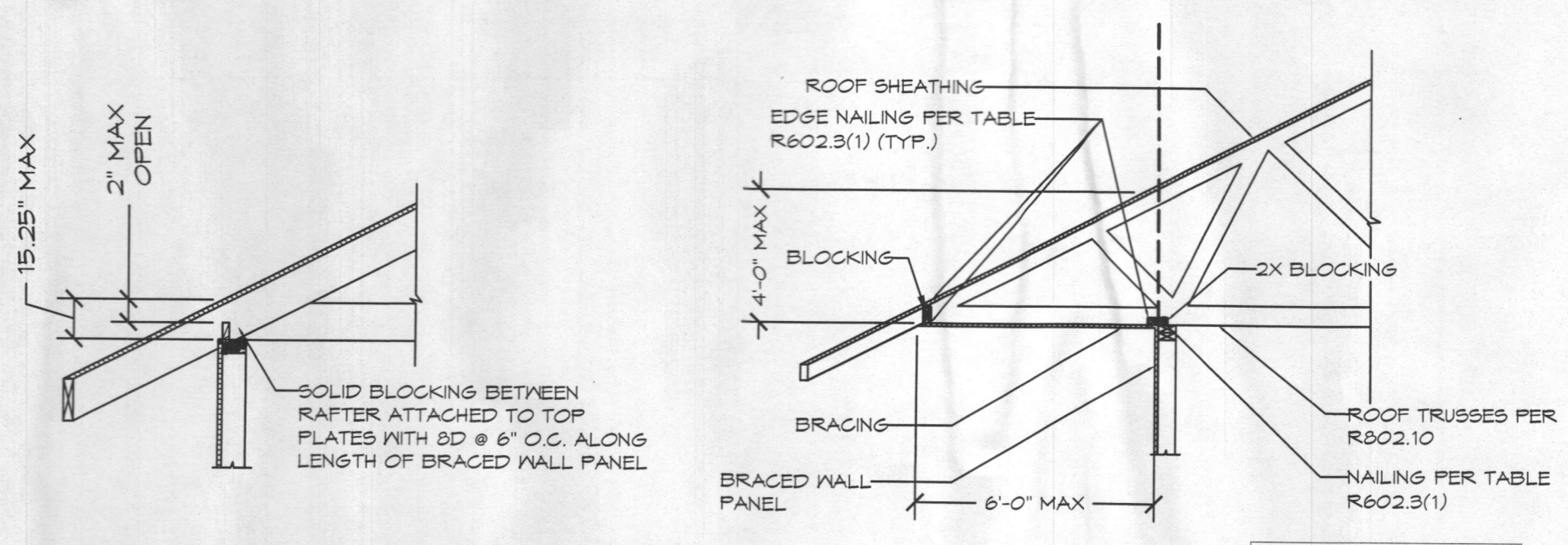


**OVER RAISED WOOD FLOORS OR SECOND FLOOR - FRAMING ANCHOR OPTION**  
 (WHERE PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST)

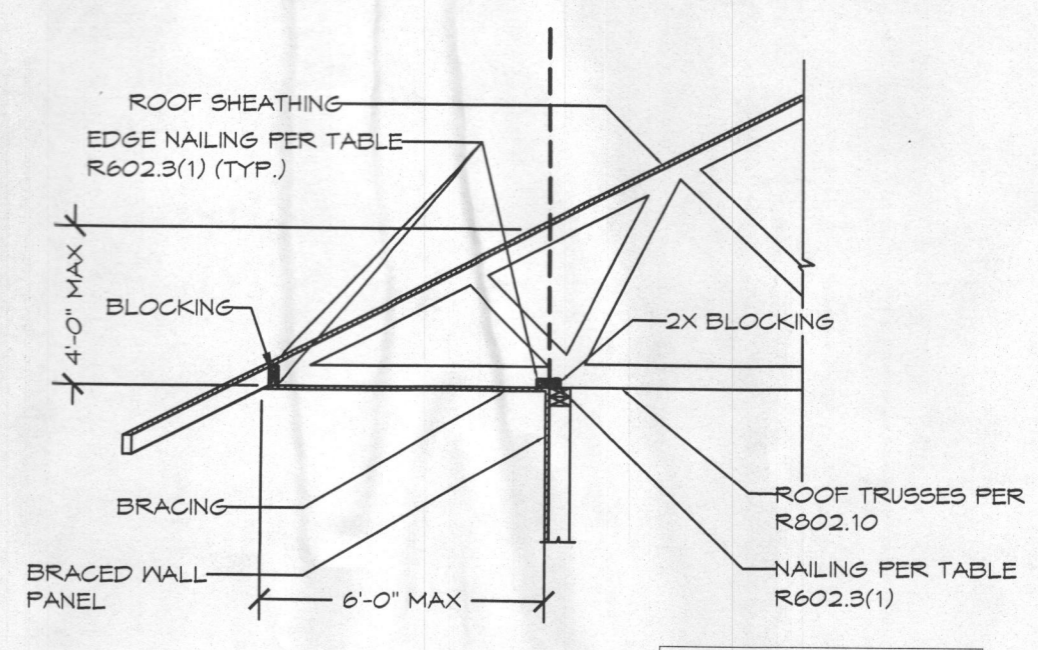


**OVER RAISED WOOD FLOORS OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION**  
 (WHERE PORTAL SHEATHING LAPS OVER BAND OR RIM JOIST)

**CS-PF OVER WOOD FLOOR**  
 NOT TO SCALE



**FIGURE R602.10.8.2(1)**  
**BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS**



**FIGURE R602.10.8.2(2)**  
**BRACED WALL PANEL CONNECTION OPTION TO PERPENDICULAR RAFTERS OR ROOF TRUSSES**

**ROOF CONNECTIONS**  
 NOT TO SCALE

**THE BREEN RESIDENCE**