



# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

DATE 2018 MAY 7 PM 1:17

Date Received: \_\_\_\_\_

Permit No.: B18001567

Building Address: 2061 Route 32  
 City: Sykesville State: MD Zip Code: 21784  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Tax Map: 15 Parcel: 135 Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: Vacant lot  
 Proposed Use: MSFD  
 Estimated Construction Cost: \$ 350K  
 Description of Work: 1 mil. sq. ft. MSFD with 2500 sq. ft. garage, finish basement MSFD

Occupant/Tenant Name: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Kevin C. Carls  
 Address: 2061 Route 32  
 City: Sykesville MD State: MD Zip Code: 21784  
 Phone: 301 252 1122 Fax: \_\_\_\_\_  
 Email: carlsk@comcast.net

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: Carls Construction  
 Contact Person: Kevin C. Carls  
 Address: 2061 Route 32  
 City: Sykesville State: MD Zip Code: 21784  
 License No.: 7714  
 Phone: 301 252 1122 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: Carls Construction  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: Sykesville State: MD Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<b>Depth</b>	<b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<b>➤ Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>68-18-18</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Kevin C. Carls Print Name: Kevin C. Carls  
 Email Address: carlsk@comcast.net Date: 5/7/18  
 Title/Company: \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>6/22/18</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 500
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>1278</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, November 19, 2019 9:24 AM  
**To:** 'Tony Fertitta'  
**Cc:** 'CUMBERLANDDEVCUSTOMHOMES@GMAIL.COM'  
**Subject:** B18001567\_2061 Route 32

Hi Tony:

The revised BP site plan for 2061 Route 32 did not show the new egress from basement. In addition, the OSDS plan must also be updated and show the basement egress meeting the 30 foot setback to the existing well.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)



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(COCA)

Name of Requestor: ~~2061 Rt. 32~~ Cumberland Development Customer  
Street Address: 3142 Sakers Bottom Rd.  
City, State, Zip: Westminster MD 21157  
Date: Oct. 31 2011

Amendment, Permit # B 18001567

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Dr  
Ellicott City, MD 21043

RECEIVED  
OCT 31 2011  
LICENSES & PERMITS  
DIVISION

Dear Ms. Whalen:

I am requesting to amend Permit # B 18001567 at  
2061 Rt. 32 Sykesville MD to

(Site Address)

Remove five place from plan and add area way  
egress from basement.

Enclosed: INV# 597222  
CK# 1865

✓ Fee: 25.00

8 Plot Plans

4 8 Sets of Construction Drawings

Other: \_\_\_\_\_

If there is anything we can do to assist you, please let me know.

Sincerely,

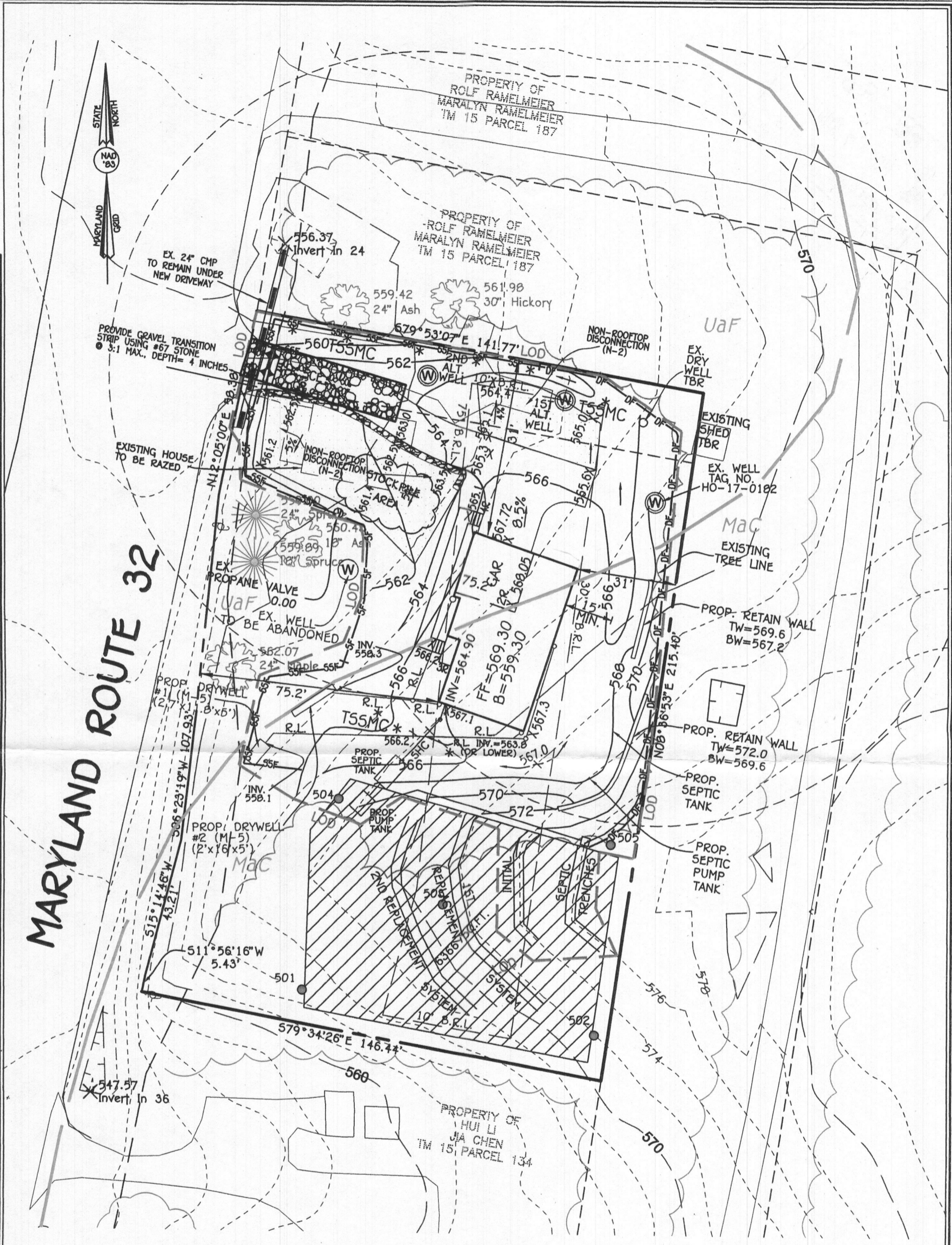
CC: PTZ  
Heather

Name: Curtis Cumberland

Title: Owner

Phone and/or Email: 301 252-1122 Cumberlanddevcusthome@gmail.com

MARYLAND ROUTE 32



**PLAN**

SCALE: 1"=30'

REVISED

Date: 11/6/19

Comments: B18001567

ADD AREAWAY / EGRESS FROM BSM47

PERMIT SITE PLAN

2061 ROUTE 32

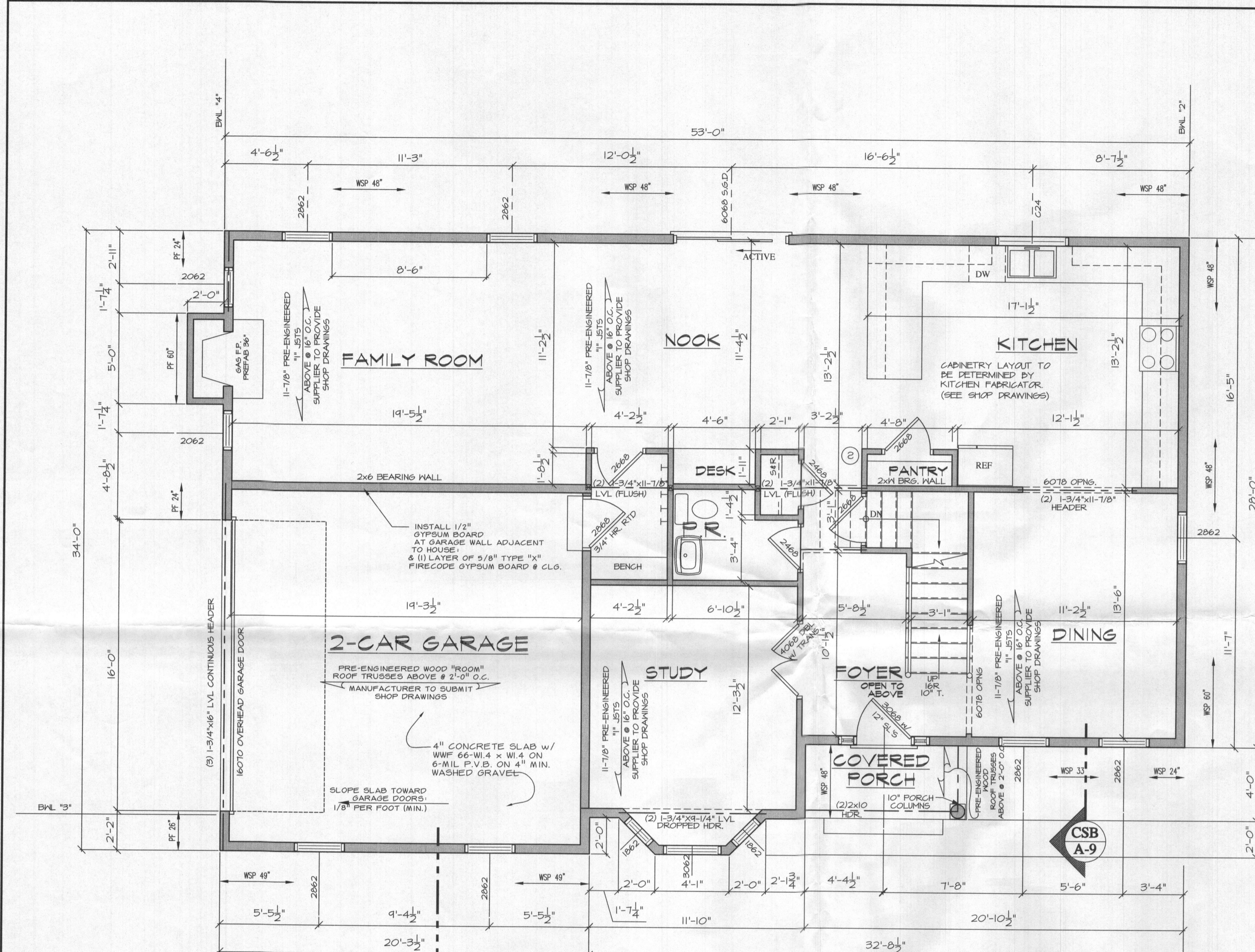
**WELL CERTIFICATION:**  
 THE EXISTING WELL, TAG NO. HO-17-0102, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE |  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 461 - 2955

**BUILDER**  
 CUMBERLAND CUSTOM HOMES  
 2983 DUVALL ROAD  
 WOODBINE, MARYLAND 21797

ZONED: RC-DEO  
 TAX MAP NO.: 15 PARCEL NO. 135 GRID NO.: 5  
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE 13, 2018





**LATERAL BRACING NOTES:**  
BRACING MEETS THE REQUIREMENTS OF 2009 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES.

7/16" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

BRACED PANELS "WSP # " INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE, THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE HOME, HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

BRACED PANEL "PF # " INDICATED A PORTAL FRAME & REQUIRE SPECIAL ATTACHMENT OF THE HEADER. SEE THE CS-PF PORTAL FRAME DETAIL.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL - INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG-TIE OR EQUAL.

**2x6 WALLS**

(SEE BRACE WALL DETAILS SHEET A-10)

REQUIRED BRACED WALLS PER TABLE R602.10.1.2(1)						
BRACED WALL LINE (BWL)	BWL SPACING		STORY	METHOD	TABLE REQUIRED	PROVIDED
	ACTUAL	TABLE				
1	32'-0"	40'	1 of 2	CS-WSP	10.5'	16.0'
2	53'-0"	60'	1 of 2	CS-WSP	15.5'	17.0'
3	34'-0"	40'	1 of 2	CS-WSP	10.5'	12.91'
4	53'-0"	60'	1 of 2	CS-WSP	15.5'	17.0'

(SEE BRACE WALL DETAILS SHEET A-10)

**FIRST FLOOR PLAN**

1271 SQ. FT.

SCALE: 1/4"=1'-0"

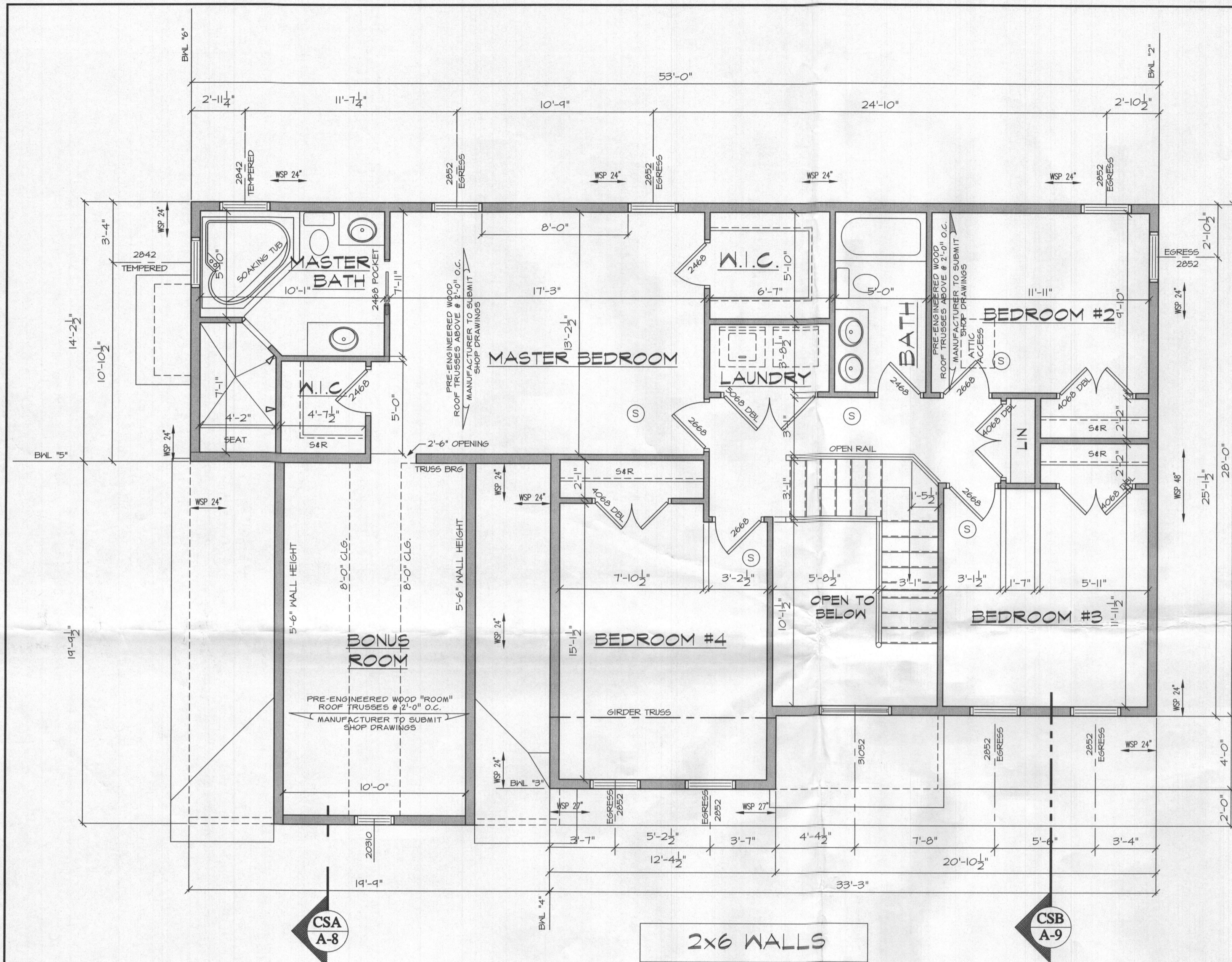
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SUBMITTALS		REMARKS
ISSUE	DATE	
DRW	4-11-18	PERMIT SET
DRW	4-12-18	REVISED PERMIT SET
DRW	4-18-18	ADDED FINISHED BASEMENT

**FIRST FLOOR PLAN**

CUMBERLAND DEVELOPMENT  
NEW SPEC. HOME FOR :  
LOT 2061 ROUTE 32  
HOWARD COUNTY, MD



**LATERAL BRACING NOTES:**  
BRACING MEETS THE REQUIREMENTS OF 2009 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES

$\frac{3}{16}$ " OSB OR  $\frac{1}{2}$ " PLYWOOD WOOD STRUCTURAL PANELS (WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

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**2x6 WALLS**

(SEE BRACE WALL DETAILS SHEET A-10)

REQUIRED BRACED WALLS PER TABLE R602.10.1.2(1)

BRACED WALL LINE (BWL)	BWL SPACING ACTUAL	TABLE	STORY	METHOD	TABLE REQUIRED	PROVIDED
1	14'-2 1/2"	20'	2 of 2	CS-WSP	3.0'	8.0'
2	53'-0"	60'	2 of 2	CS-WSP	8.0'	8.0'
3	34'-0"	40'	2 of 2	CS-WSP	5.5'	6.5'
4	33'-3"	40'	2 of 2	CS-WSP	5.5'	6.0'
5	19'-9-1/2"	20'	2 of 2	CS-WSP	3.0'	4.0'
6	19'-9"	20'	2 of 2	CS-WSP	3.0'	4.0'

**SECOND FLOOR PLAN**  
1359 SQ. FT. SCALE: 1/4"=1'-0"

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**SUBMITTALS**

ISSUE DATE	DRAWN BY	REMARKS
4-4-16	DKR	PERMIT SET
4-12-16	DKR	REVISED PERMIT SET
4-18-16	DKR	ADDED FINISHED BASEMENT

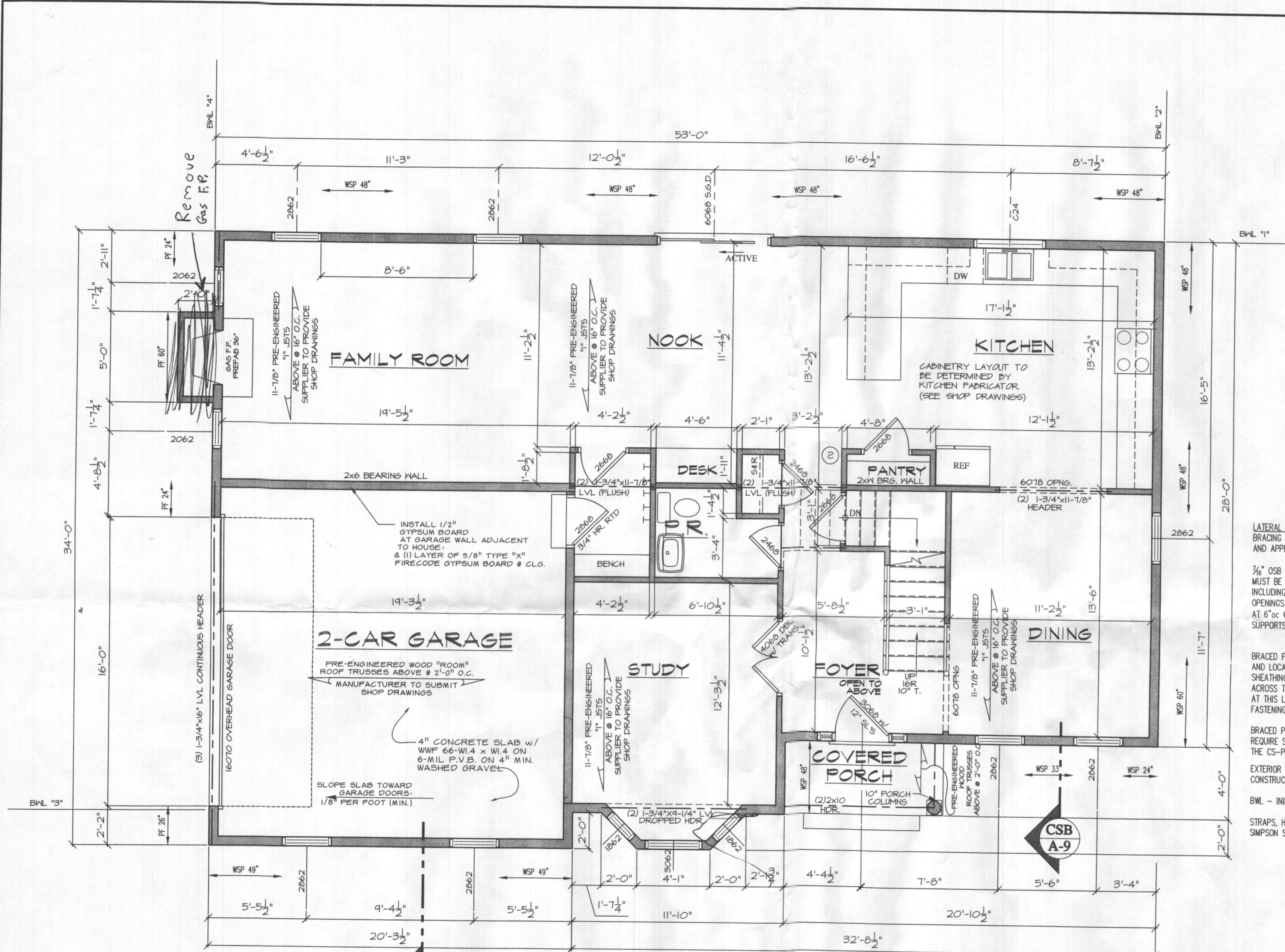
**SECOND FLOOR PLAN**

CUMBERLAND DEVELOPMENT  
NEW SPEC. HOME FOR :  
LOT 2061 ROUTE 32  
HOWARD COUNTY, MD

SHEET NO.  
**A-3**

PROJ. NO.: 1008-47





**LATERAL BRACING NOTES:**  
 BRACING MEETS THE REQUIREMENTS OF 2009 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES

3/8" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

BRACED PANELS "WSP #\"/>

**2x6 WALLS**

(SEE BRACE WALL DETAILS SHEET A-10)

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(SEE BRACE WALL DETAILS SHEET A-10)

**FIRST FLOOR PLAN**

1271 SQ. FT. SCALE: 1/4"=1'-0"

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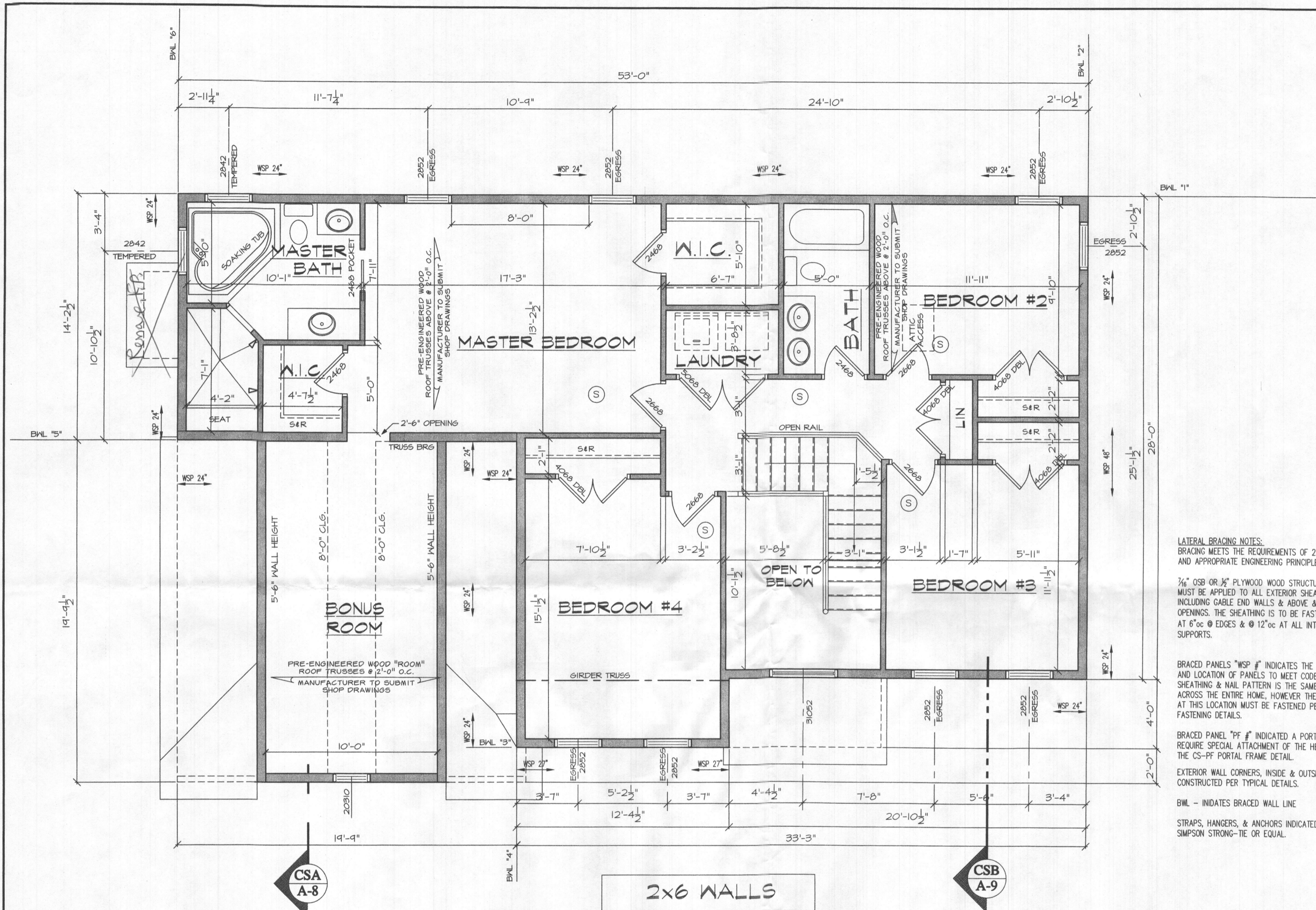
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**SUBMITTALS**

ISSUE DATE	DRWN BY	REMARKS
4-4-16	DNR	PERMIT SET
4-12-16	DNR	REVISED PERMIT SET
4-16-16	DNR	ADDED FINISHED BASEMENT

**FIRST FLOOR PLAN**

CUMBERLAND DEVELOPMENT  
 NEW SPEC. HOME FOR :  
 LOT 2061 ROUTE 32  
 HOWARD COUNTY, MD



**LATERAL BRACING NOTES:**  
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**2x6 WALLS**  
 (SEE BRACE WALL DETAILS SHEET A-10)

REQUIRED BRACED WALLS PER TABLE R602.10.1.2(1)

BRACED WALL LINE (BWL)	BWL SPACING	STORY	METHOD	TABLE REQUIRED	PROVIDED
	ACTUAL				
1	14' 2.5"	2 of 2	CS-WSP	3.0'	8.0'
2	53'-0"	2 of 2	CS-WSP	8.0'	8.0'
3	34'-0"	2 of 2	CS-WSP	5.5'	6.5'
4	33'-3"	2 of 2	CS-WSP	5.5'	6.0'
5	19'9"-1/2"	2 of 2	CS-WSP	3.0'	4.0'
6	19'-9"	2 of 2	CS-WSP	3.0'	4.0'

**SECOND FLOOR PLAN**  
 1359 SQ. FT. SCALE: 1/4"=1'-0"

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4-4-16	DWR	PERMIT SET
4-12-16	DWR	REVISED PERMIT SET
4-18-16	DWR	ADDED FINISHED BASEMENT

**SECOND FLOOR PLAN**

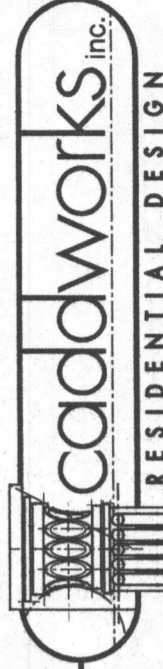
CUMBERLAND DEVELOPMENT  
 NEW SPEC. HOME FOR:  
 LOT 2061 ROUTE 32  
 HOWARD COUNTY, MD



TRUSS BEARING  
 WDW HEADER  
 7'-2"  
 2ND FLOOR DECK  
 U.O.J.  
 WDW HEADER  
 9'-1"  
 8'-0"  
 1ST FLOOR DECK  
 U.O.J.  
 8'-9 1/2"  
 BASEMENT SLAB

CONT. RIDGE VENT  
 FIBERGLASS / ASPHALT SHINGLES  
 2x6 WOOD FASCIA WRAPPED w/ ALUM.  
 1x8 WOOD FRIEZE BOARD WRAPPED w/ ALUM  
 VINYL SIDING  
 3-1/2" VINYL CORNER TRIM  
 FYPON OR EQUAL WINDOW HEAD  
 ASSUMED GRADE

**FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



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**SUBMITTALS**

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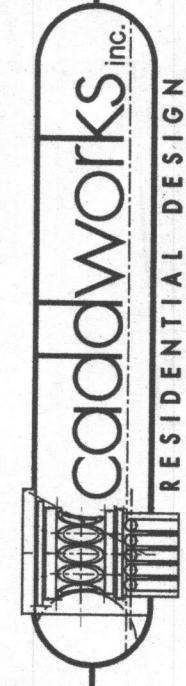
**FRONT ELEVATION**

CUMBERLAND DEVELOPMENT  
 NEW SPEC. HOME FOR :  
 LOT 2061 ROUTE 32  
 HOWARD COUNTY, MD

SHEET NO.  
**A-4**



**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



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**SUBMITTALS**

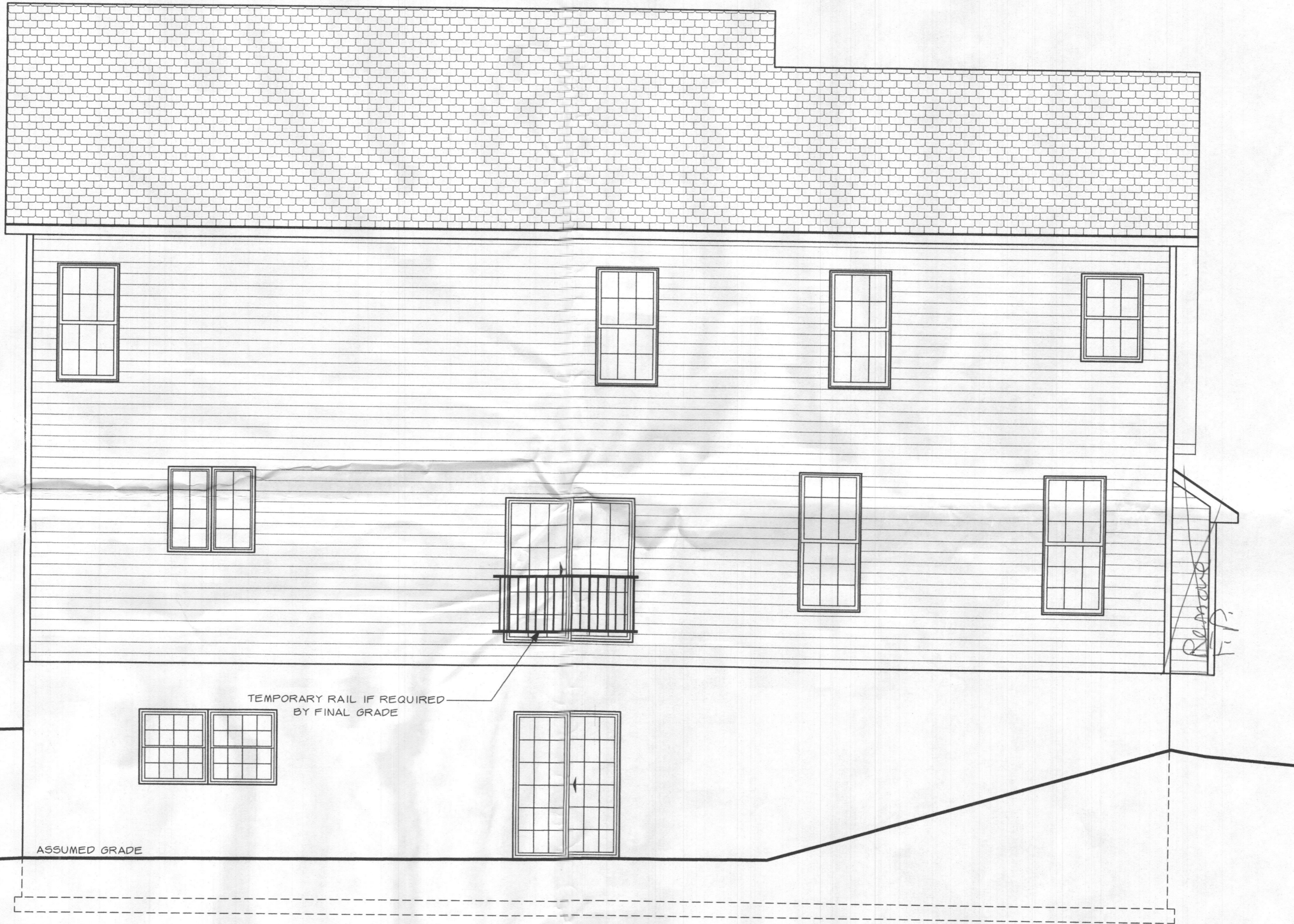
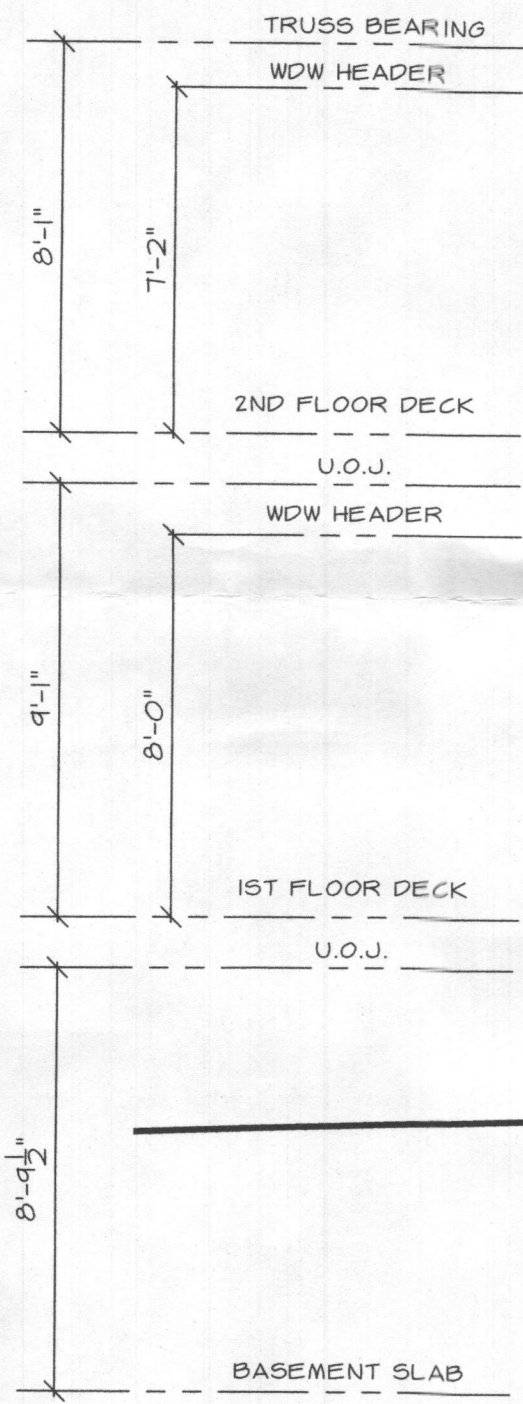
ISSUE DATE	DRAWN BY	REMARKS
4-4-16	DWR	PERMIT SET
4-12-16	DWR	REVISED PERMIT SET
4-18-16	DWR	ADDED FINISHED BASEMENT

**LEFT SIDE ELEVATION**

**CUMBERLAND DEVELOPMENT**  
**NEW SPEC. HOME FOR :**  
**LOT 2061 ROUTE 32**  
**HOWARD COUNTY, MD**

SHEET NO.  
**A-5**

PROJ. NO.: 1008-47



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

**caddworks inc.**  
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**SUBMITTALS**

ISSUE DATE	DRWN BY	REMARKS
4-4-08	DWR	PERMIT SET
4-12-08	DWR	REVISED PERMIT SET
4-16-08	DWR	ADDED FINISHED BASEMENT

**REAR ELEVATION**

CUMBERLAND DEVELOPMENT  
NEW SPEC. HOME FOR :  
LOT 2061 ROUTE 32  
HOWARD COUNTY, MD