



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DATE RECEIVED: 2020 JAN 27 AM 10:10  
Date Received: \_\_\_\_\_

Permit No.: B20000293

Building Address: 12117 Patuxent Ridge Road  
City: Marriottsville State: MD Zip Code: 21104  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Subdivision: \_\_\_\_\_  
Lot: \_\_\_\_\_ Tax Map: 0010 Parcel: 0072

Property Owner's Name: Mark + Martha Hynson  
Address: 12117 Patuxent Ridge Road  
City: Marriottsville State: MD Zip Code: 21104  
Phone: 410-442-5599 Fax: \_\_\_\_\_  
Email: hynsonmartha@gmail.com

Existing Use: SFD  
Proposed Use: Storage  
Estimated Construction Cost: \$ 39,000  
Description of Work: Construct a 30'x40' free standing pole building with concrete floor for storage use.

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Contractor Company: Lancaster Pole Buildings  
Contact Person: Chat Snyker  
Address: 138 Rocks Church Rd  
City: New Holland State: PA Zip Code: 17547  
License No.: 102158  
Phone: 717-572-3266 Fax: 717-354-7653  
Email: chat@lancasterpolebuildings.com

Engineer/Architect Company: Jim Kopenhaver  
Responsible Design Prof.: \_\_\_\_\_  
Address: 309 Logan Ave  
City: Windsor State: PA Zip Code: \_\_\_\_\_  
Phone: 412-794-9949 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>40' 30'</u>	
Area of construction (sq. ft.):	2 <sup>nd</sup> floor: <u>40' 14'</u>	
Use group:	Basement:	
	<input type="checkbox"/> Finished Basement	
	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input checked="" type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions: <u>40'x30'</u>	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: <u>see drawing</u>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: <u>see drawing</u>	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Martha Hynson  
Email Address: hynsonmartha@gmail.com  
Title/Company: \_\_\_\_\_

Print Name: Martha Hynson  
Date: 1-27-2020

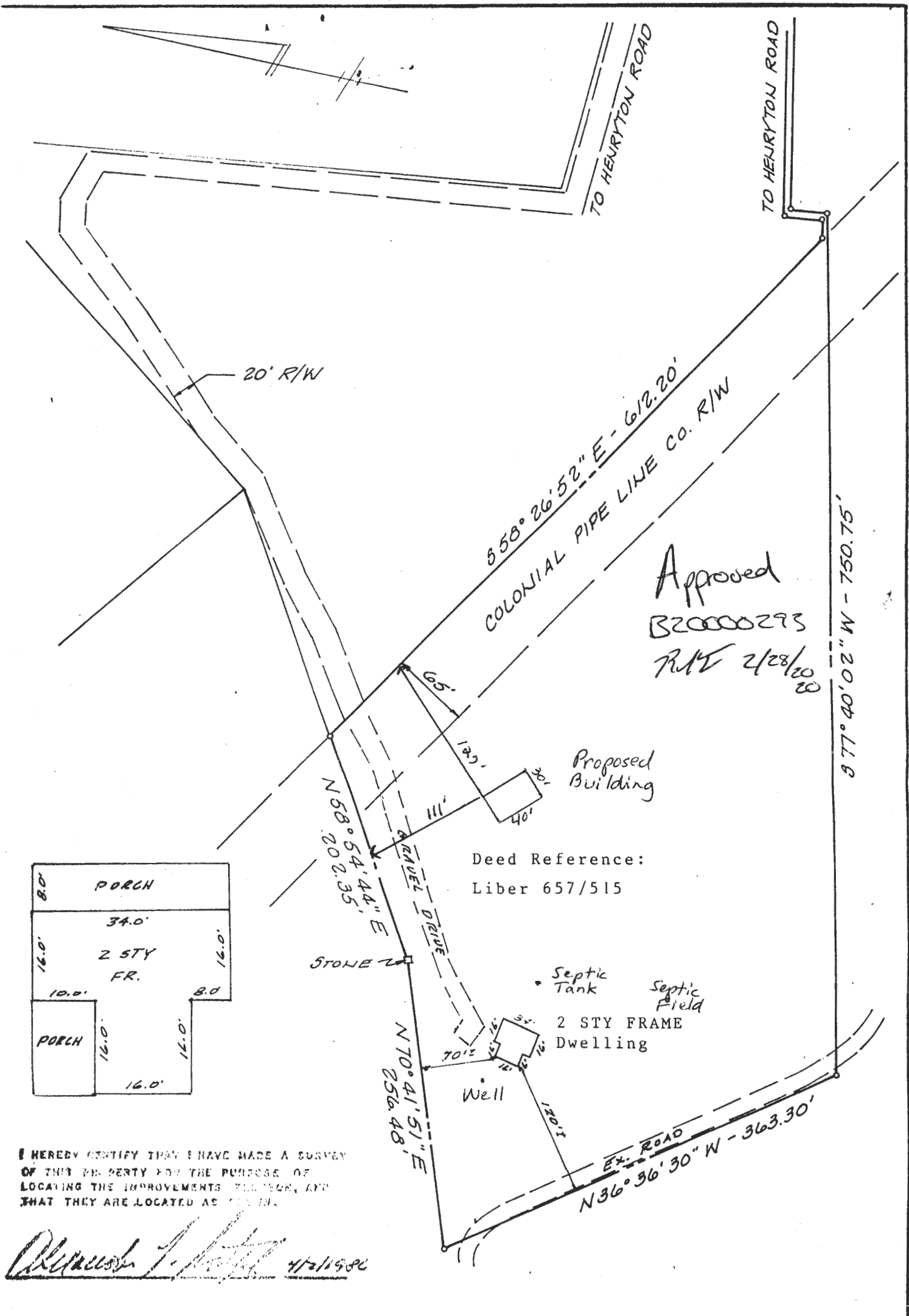
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>2/28/2020</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

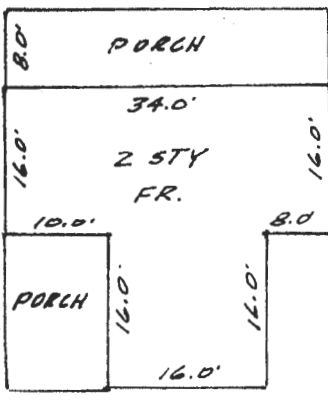
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$ <u>6967</u>
Check	#



Approved  
 B20000293  
 RME 2/28/80

Deed Reference:  
 Liber 657/515



I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THIS PROPERTY FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS THEREON, AND THAT THEY ARE LOCATED AS SHOWN.

*Alexander Peter Ratch* 4/2/1986



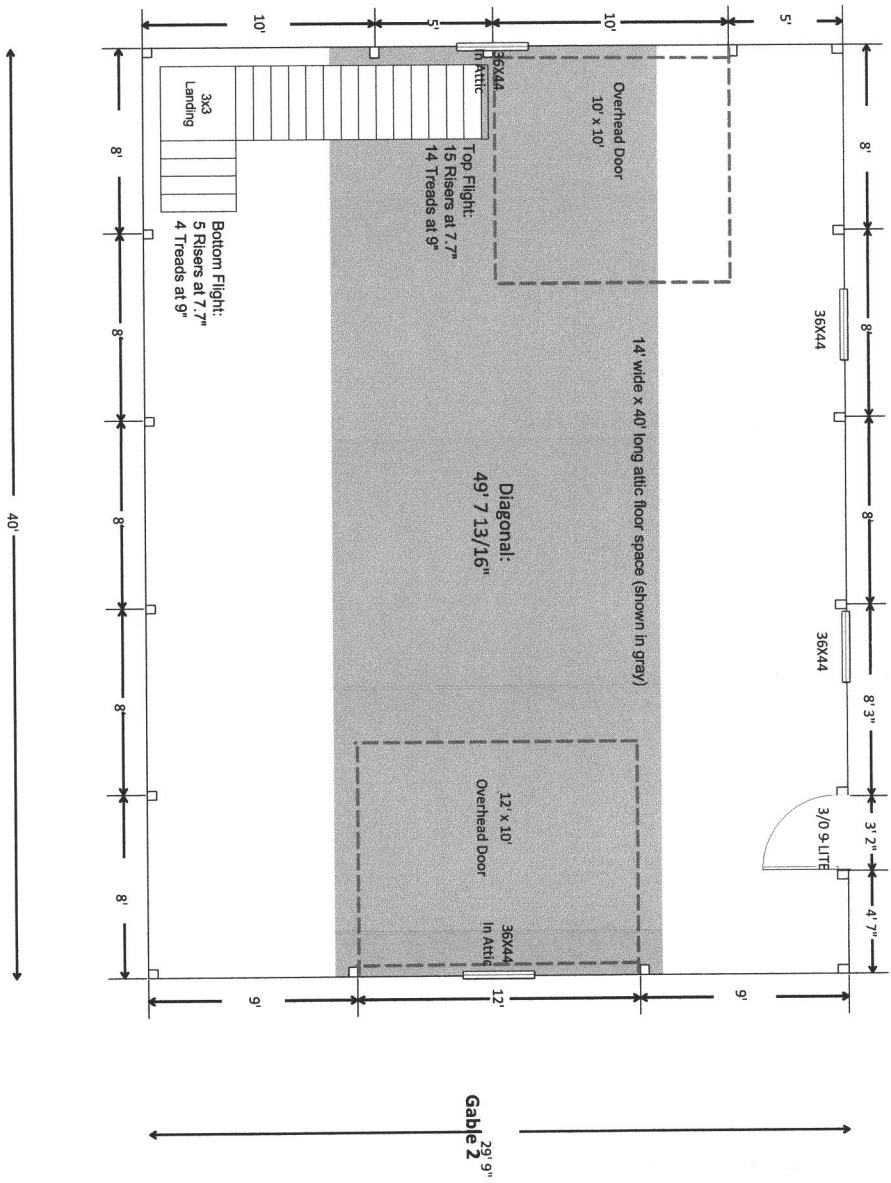
**apr associates, inc.**  
 surveyors - engineers

7427 HARFORD ROAD  
 BALTIMORE, MD. 21234  
 PHONE: 444-4312

LOCATION SURVEY  
 PROPERTY OF  
 MARK HYNSON & MARTHA SUSHKO  
 SYKESVILLE  
 THIRD ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1"=100' April 2, 1986

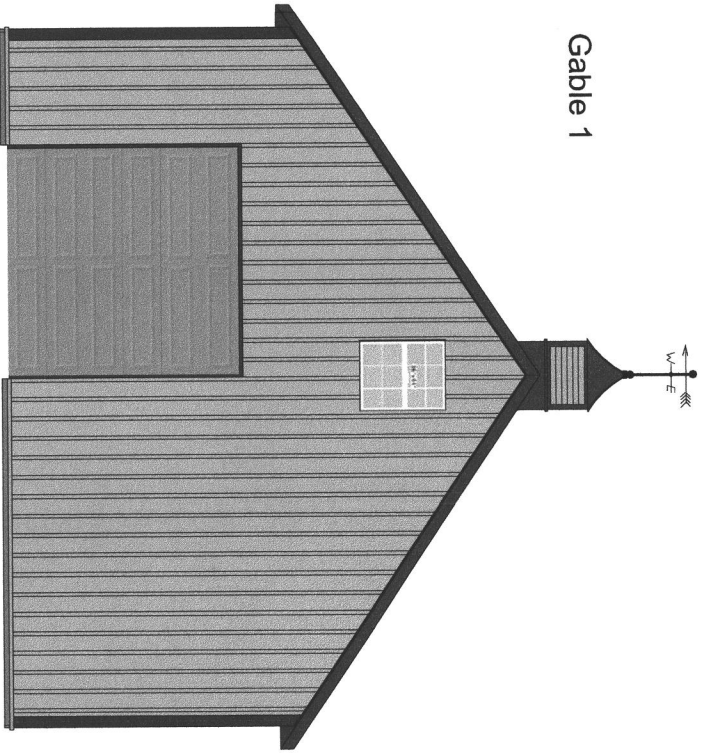
# Floor Plan / Post Layout

Dimensions:  
 30' wide x 40' long x  
 12' inside height  
 (above finished floor)

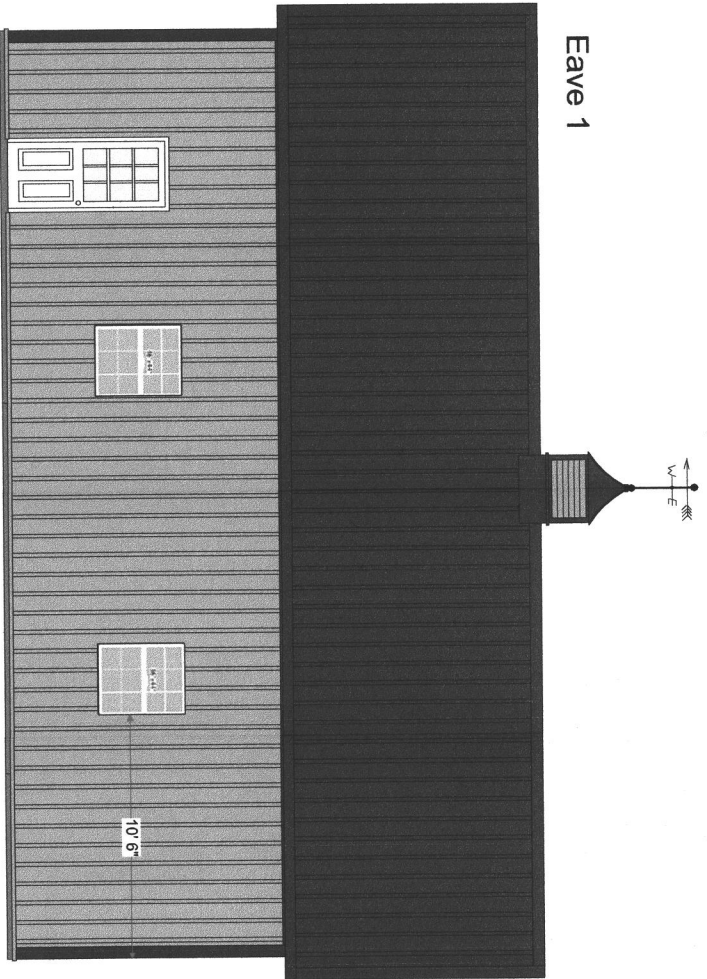


Mark Hynson  
 12117 Patapsco Ridge Rd.  
 Marriottsville MD 21104

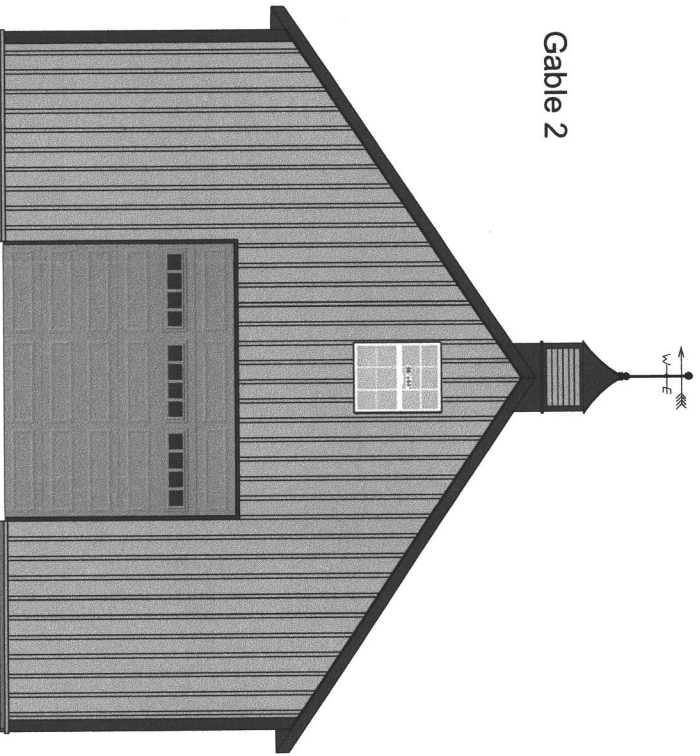
Gable 1



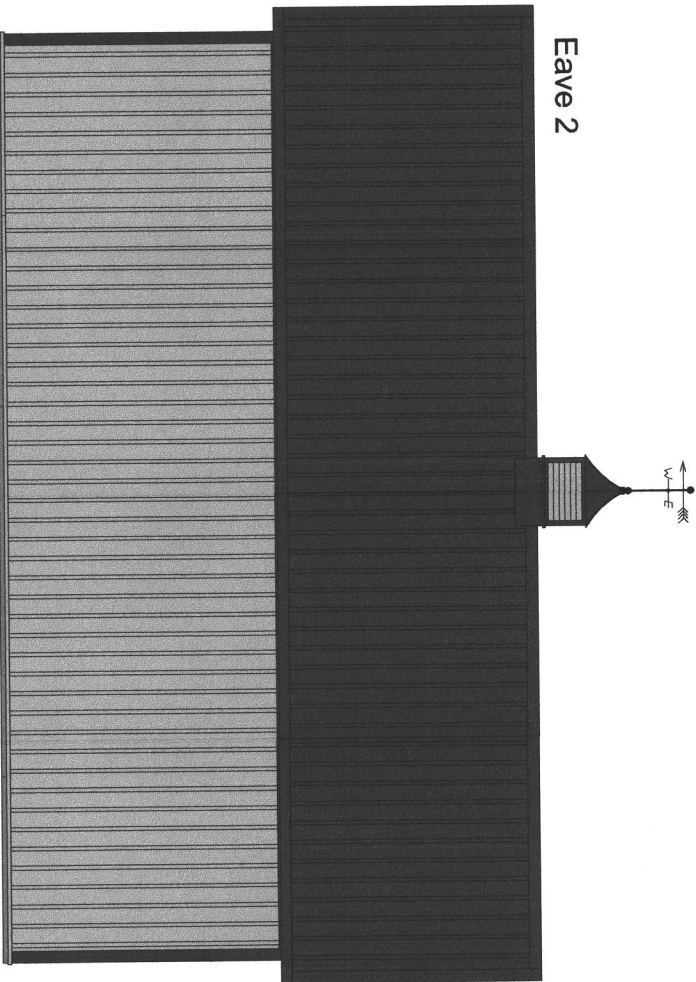
Eave 1



Gable 2



Eave 2



# Pole Building Cross Section (Not To Scale)

Mark Hynson  
12117 Patapasco Ridge Rd.  
Marriottsville MD 21104

14" Ridge Cap  
With  
Uni-vent

Roof Pitch:  
8  
12

2x4 SPF Purlins  
at 24" o/c

28 Ga. Painted  
40-year Metal Roof Panels  
Fastened w/ 1" Screws

1/2" Double - bubble  
Vapor barrier  
Under roofing

Truss Design and Bracing Per Engineer's Design  
(See Truss Print For Actual Specs)

Truss Spacing:  
2' o/c (per truss mfg)  
Top Chord Live Load:  
30 psf

Peak Height:  
23'  
Top of Finished  
Floor to Roof Peak

2x6 SPF  
Painted Metal  
Fascia Board  
Painted Metal  
Fascia Trim  
Vented  
Metal  
Soffit  
Trim

Truss Supports:  
(3) 2x10 MSR  
See Header  
Details for  
Attachment

28 Ga. Painted  
40-year Metal Siding Panels  
Fastened with 1" Screws

2x4 SPF Side-girts  
at 24" o/c

Dimensions:  
(Outside-to-outside  
of 2x4 Girts)

30 Feet Wide  
x  
40 Feet Long  
x  
12 Feet Inside Height  
(Top of Finished Floor to  
Top of Truss Supports)

Overhang  
Dimensions:  
(From Girt to Outside  
of Fascia Board)

Eave 1: 12"  
Eave 2: 12"  
Gable 1: 12"  
Gable 2: 12"

Posts: 3-ply 2x6 Glu-lam Posts  
Spacing: 8' o/c  
Eave Walls - 8' o/c  
Gable Walls - 10' o/c

Concrete Slab Thickness: N/A Starting at Bottom of Skirt Board

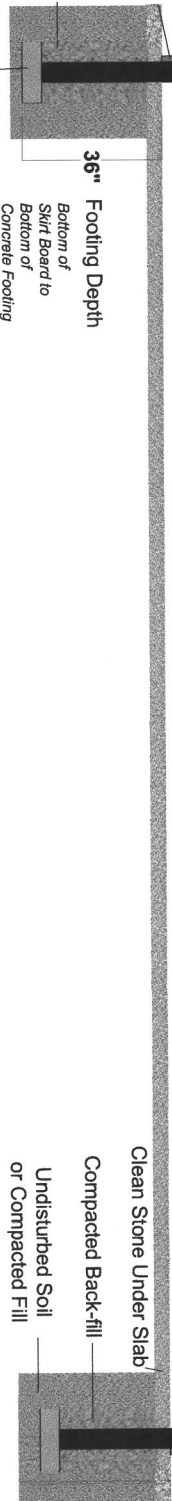
Base Angle Trim  
2x8 Treated  
Skirt Board

36" Footing Depth

Bottom of  
Skirt Board to  
Bottom of  
Concrete Footing

18" Diameter Hole  
5" Thick x 16" Diameter  
8000 psi Precast Disk

Clean Stone Under Slab  
Compacted Back-fill  
Undisturbed Soil  
or Compacted Fill



# TRUSS SUPPORT CONNECTION DETAILS

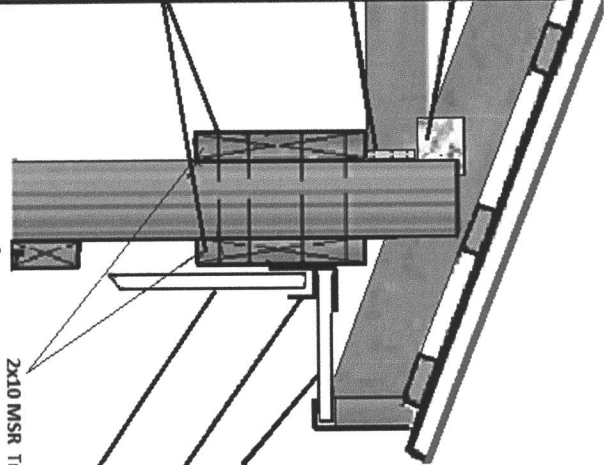
**Attaching Trusses at Post**  
 Engineered wooden roof truss attached to post or truss block w/ (8) 12D nails

Truss tied to support with the Simpson H2.5 hurricane ties fastened per mfg specifications

**Truss Supports**  
 8 ft span on eaves: Triple 2x10 MSR

(2) Truss supports (1) attached to each side of post.  
 If additional supports are required, optional locations are as follows:  
 a) notched into post along side of main support  
 b) stacked under main support and attached per schedule

All Supports are MSR



Install soffit panel into F/J trim  
 Nail into fascia board

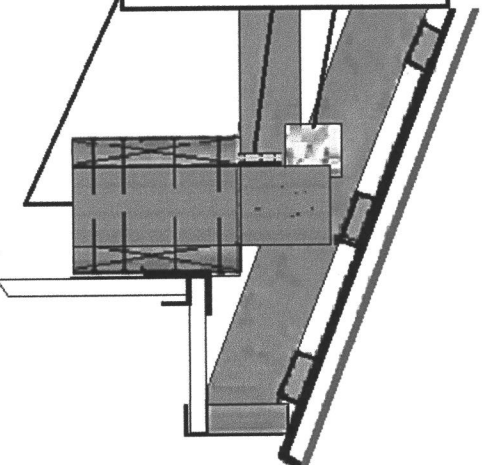
Install F/J Trim to Girder with roofing nails

Install wall panels, attach to girts with 1" screws

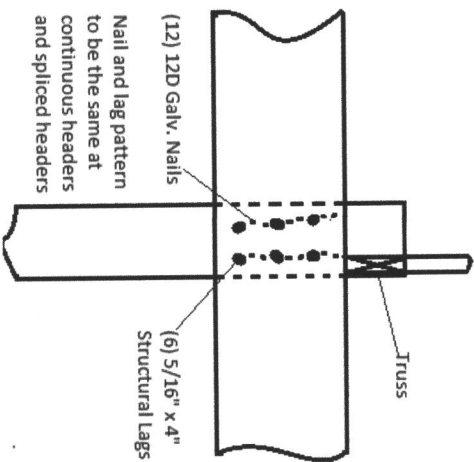
**Attaching Trusses at Truss Block**  
 Engineered wooden roof truss attached to post of truss block w/ (8) 12D nails

Truss tied to support with Simpson H2.5 hurricane ties fastened per mfg specifications

Truss connection block installed between supports with (8) 12D nails



**Truss Connection at Truss Block**



Nail and lag pattern to be the same at continuous headers and spliced headers

**Truss Support Fasteners**



**ALPINE** AN ITW COMPANY  
 13723 Riverport Drive  
 Suite 200  
 Maryland Heights, MO 63043

For more information see this job's general notes page and these web sites: ALPINE: www.alpine.com; TPI: www.tpi.com; SBCA: www.sbcaindstry.com; ICC: www.iccsafe.org

**IMPORTANT\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING**

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the joint details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions.

Alpine, a division of ITW Building Components Group Inc., shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses a seal on this drawing or cover page and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

**WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING**

The maximum horizontal reaction is #22#

01/17/2020

**Additional Notes**

Refer to General Notes for additional information

requirements:

scaled plate plot details for special positioning. Refer to (\*\*\*) 4 plate(s) require special positioning. Refer to (\*\*\*) 4 plate(s) require special positioning. Refer to (\*\*\*) 4 plate(s) require special positioning. Refer to (\*\*\*) 4 plate(s) require special positioning.

**Plating Notes**

BC: 400 lb Conc. Load at 15.00  
 BC: 80 lb Conc. Load at 8.00, 22.00  
 BC: From 8 pft at 30.00 to 8 pft at 30.88  
 BC: From 35 pft at 0.00 to 35 pft at 30.00  
 BC: From 8 pft at -0.88 to 8 pft at 0.00  
 BC: From 140 pft at 8.00 to 140 pft at 22.00  
 PLT: From 18 pft at 16.78 to 18 pft at 16.40  
 TC: From 21 pft at 16.78 to 21 pft at 22.00  
 TC: From 21 pft at 8.00 to 21 pft at 13.22  
 TC: From 108 pft at -0.88 to 108 pft at 30.88  
 (Lumber Dur.Fac.=1.15 / Plate Dur.Fac.=1.15)

**Special Loads**

Use equal spacing between rows and stagger nails in each row to avoid splitting.

Wbs : 1 Row @ 4" o.c.  
 Bot Chord: 1 Row @ 12.00" o.c.  
 Top Chord: 1 Row @ 10.25" o.c.  
 Nail Schedule: 0.128"x3.25", min. nails

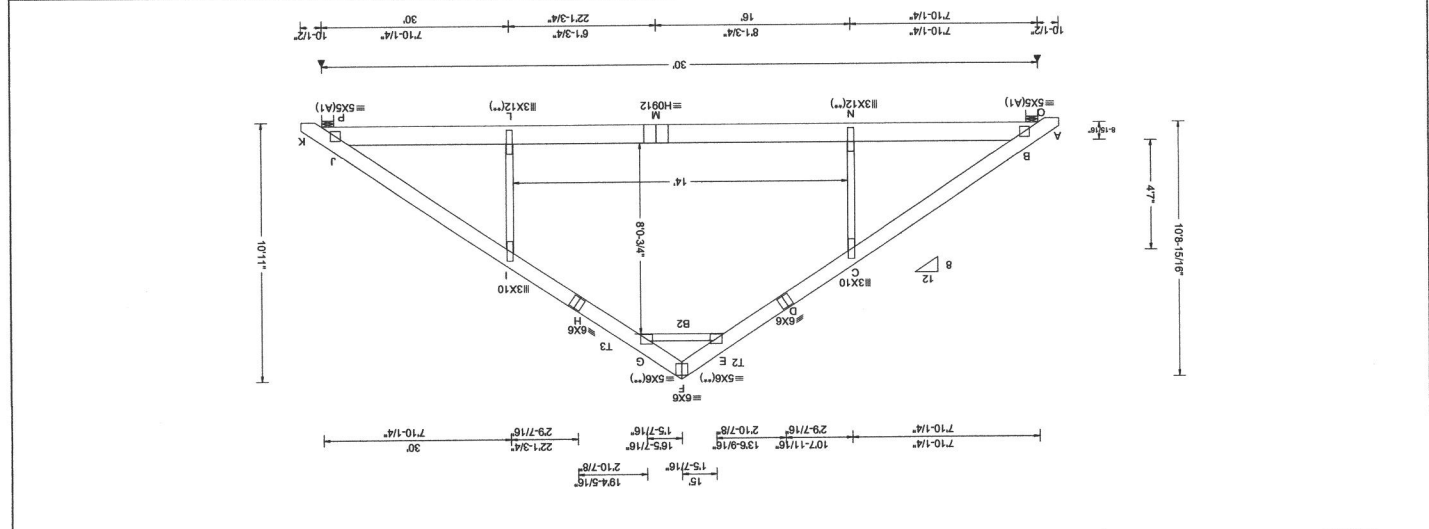
**Nailnote**

Wbs: 2x4 SPF 2100F-1, 8E;  
 T3 2x8 SP 2400F-2, 0E;  
 T2 2x8 SP SS Dense; T2,  
 Top Chord: 2x10 SP 2400F-2, 0E; B2 2x4 SPF #1#2;

**Lumber**

Top Chord: 2x8 SP SS Dense; T2,  
 T3 2x8 SP 2400F-2, 0E;  
 Wbs: 2x4 SPF 2100F-1, 8E;

Code / Misc Criteria	Wind Criteria	Wind Criteria
Snow Criteria (P <sub>s</sub> , P <sub>f</sub> in PSF) Pg: 30.0 Ct: 1.2 CAT: II P <sub>s</sub> : 25.2 Ce: 1.0 Lu: - Cs: 1.00 Snow Duration: 1.15	Wind Duration: 1.60 GCF: 0.18 C&D Dist: Any Lc: from endwall: Any MWFRS Parallel Dist: 0 to h/2 BCDL: 5.0 psf TCDL: 4.2 psf Mean Height: 15.46 ft EXP: C Kzt: NA Risk Category: II Enclosure: closed Speed: 115 mph Wind Std: ASCE 7-10	Spacing: 42.0" Load Duration: 1.15 Soft: 2.00 NCBCLL: 10.00 Des Ld: 47.00 BCDL: 10.00 BCLL: 0.00 TCDL: 7.00 TLL: 30.00 Loading Criteria (psf)



<b>2 Complete Trusses Required</b> Job Number: 21965 -Lancaster Pole/Hynson Truss Label: 30RGS/AT/230/8/12 Qty: 1 Pft: 2 FROM: 8358589 SEON: 8358589	Cst: R 6697 JRF: 1WRZ68970005 T317 Dwn: 017.20.0940.19097 CAT / SLS 01/17/2020
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PERMIT NUMBER:	320000293	
PROJECT NAME:	Hynson	
ADDRESS:	12117 Patapsco Ridge Rd	
COMMERCIAL _____	RESIDENTIAL <input checked="" type="checkbox"/> LOT # _____	NEW _____
ALTERATION _____	ADDITION <input checked="" type="checkbox"/> MISC _____	OTHER _____

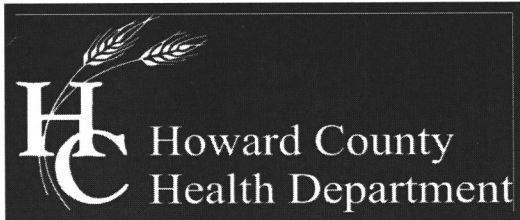
003 92 1117  
1722 1117 1117

## Real Property Data Search ( w1)

Search Result for HOWARD COUNTY

<a href="#">View Map</a>	<a href="#">View GroundRent Redemption</a>	<a href="#">View GroundRent Registration</a>							
<b>Special Tax Recapture:</b> None									
<b>Account Identifier:</b> District - 03 Account Number - 297063									
Owner Information									
<b>Owner Name:</b>	HYNSON MARK A HYNSON MARTHA W	<b>Use:</b> RESIDENTIAL <b>Principal Residence:</b> YES							
<b>Mailing Address:</b>	12117 PATAPSCO RIDGE RD MARRIOTTSVILLE MD 21104	<b>Deed Reference:</b> /01467/ 00017							
Location & Structure Information									
<b>Premises Address:</b>	12117 PATAPSCO RIDGE RD MARRIOTTSVILLE 21104-0000	<b>Legal Description:</b> PAR 1 5.417 ACRES 12117 PATAPSCO RIDGE RD MARRIOTTSVILLE							
<b>Map:</b>	<b>Grid:</b>	<b>Parcel:</b>	<b>Neighborhood:</b>	<b>Subdivision:</b>	<b>Section:</b>	<b>Block:</b>	<b>Lot:</b>	<b>Assessment Year:</b>	<b>Plat No:</b>
0010	0001	0072	3010102.14	0002			PAR 1	2019	Plat Ref:
<b>Town:</b> None									
<b>Primary Structure Built</b>	<b>Above Grade Living Area</b>	<b>Finished Basement Area</b>	<b>Property Land Area</b>	<b>County Use</b>					
1986	2,265 SF		5.4170 AC						
<b>Stories</b>	<b>Basement</b>	<b>Type</b>	<b>Exterior</b>	<b>Quality</b>	<b>Full/Half Bath</b>	<b>Garage</b>	<b>Last Notice of Major Improvements</b>		
2	YES	STANDARD UNIT	FRAME/	4	1 full/ 1 half				
Value Information									
		<b>Base Value</b>	<b>Value</b>	<b>Phase-in Assessments</b>					
			As of	As of	As of				
			01/01/2019	07/01/2019	07/01/2020				
<b>Land:</b>		216,600	243,100						
<b>Improvements</b>		269,300	226,000						
<b>Total:</b>		485,900	469,100	469,100	469,100				
<b>Preferential Land:</b>		0			0				
Transfer Information									
<b>Seller:</b> HYNSON MARK A	<b>Date:</b> 05/05/1986		<b>Price:</b> \$86,000						
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /01467/ 00017		<b>Deed2:</b>						
<b>Seller:</b> SUSHKO WOLODYMYR C & WF	<b>Date:</b> 02/20/1985		<b>Price:</b> \$0						
<b>Type:</b> ARMS LENGTH MULTIPLE	<b>Deed1:</b> /01327/ 00135		<b>Deed2:</b>						
<b>Seller:</b>	<b>Date:</b>		<b>Price:</b>						
<b>Type:</b>	<b>Deed1:</b>		<b>Deed2:</b>						
Exemption Information									
<b>Partial Exempt Assessments:</b>	<b>Class</b>			07/01/2019			07/01/2020		
<b>County:</b>	000			0.00					
<b>State:</b>	000			0.00					
<b>Municipal:</b>	000			0.00 0.00			0.00 0.00		
<b>Special Tax Recapture:</b> None									
Homestead Application Information									
<b>Homestead Application Status:</b> Approved 10/04/2011									
Homeowners' Tax Credit Application Information									
<b>Homeowners' Tax Credit Application Status:</b> No Application <b>Date:</b>									

1. This screen allows you to search the Real Property database and display property records.
2. Click [here](#) for a glossary of terms.
3. Deleted accounts can only be selected by Property Account Identifier.



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

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### MEMORANDUM

TO: [hynsonmartha@gmail.com](mailto:hynsonmartha@gmail.com)  
Mark & Martha Hynson  
12117 Patapsco Ridge Rd.  
Marriottsville, MD 21104

FROM: Robert Freemon *RIF*  
Well & Septic Program

DATE: 2/18/2020

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After review of 12117 Patapsco Ridge Rd. in conjunction with Building Permit B20000293 here are my comments. The following is required prior to building permit approval:

- Percolation Certification Plan

**Percolation Certification Plan:** A percolation certification plan is a plan signed by the Health Dept. designating a sewage disposal area on the property. Before a perc cert can be created perc testing is required. Prior to testing the Health Dept. must receive a filled-out perc testing application, the perc permit fee of \$506 (payable to the Director of Finance) and a perc test plan. The fee for the perc permit covers the testing, plan review and certification. Homeowners will need to hire a septic contractor or a friend with a backhoe to dig holes 12-16ft deep. As for the test plan, homeowners will typically hire a civil/septic engineer who has worked with us before. Once the Health Dept. has received all three (application, fee, test plan) and we approve of the test plan we will schedule a date for perc testing. Based on the test results the engineer will finalize the perc cert and submit it to the Health Dept. for review and signature.

## **Freemon, Robert**

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**From:** Freemon, Robert  
**Sent:** Tuesday, February 18, 2020 2:57 PM  
**To:** hynsonmartha@gmail.com  
**Cc:** chet@lancasterpolebuildings.com  
**Subject:** 12117 Patapsco Ridge Rd.  
**Attachments:** 12117 Patapsco Ridge Rd..pdf; ENGINEERS Surveyors REV 6-28-02.pdf; SEPTIC CONTRACTORS\_updated 8-14-18.pdf; Perc-Site Plan REQ.PDF; Well & Septic SETBACKS.PDF

Hi,

I have reviewed building permit B20000293 for 12117 Patapsco Ridge Rd. and attached are my comments. In addition I have a couple questions. Will there be any living space, plumbing and/or electricity installed with this pole barn? Also it seems I cannot locate any records for this property. Do you have any records concerning the well or the septic system for the property? If you have any questions don't hesitate to ask.

As a side note you may be able to ask for a waiver to the attached requirement however I need to visit the site and gather additional information before confirming a waiver request may be written.

**Robert "Spencer" Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Bureau of Environmental Health**  
**Well and Septic Program**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**Website: <https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**