

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8.13.2019
To: Robert Bricker
(Person's Name and Division)
From: GLW (410) 800-1820
(Your Name, Company Name and Telephone Number)
Subject: Project name Graither's chance
Project site address 5047 Graither's chance Drive
Permit # B 19002544 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Plot (be specific).
- Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other show septic tank location

Contact Person Information: (Required)

Kristy Pierce Telephone No: 410 800 1820
Please Print Name E-Mail Address: kpierce@glw.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]

Revision



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8/6/19

Permit No.: B19002544

Building Address: 5047 Gaithers Chance Dr.
 City: Dayton State: MD Zip Code: 21036
 Suite/Apt. #: _____ SDP/WP/BA #: GP-20-002
 Census Tract: _____ Subdivision: Gaithers Chance
 Section: _____ Area: _____ Lot: 14
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family house
 Estimated Construction Cost: \$ 250,000
 Description of Work: New 2 story "Resorts Park II" BLV 'K', with 2 car garage, morning rm, 4' EXT to family rm, sitting area w/ covered porch, finished lower level (rec rm + bath rm)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim @ Decatur building services . com

Contractor Company: NV Homes
 Contact Person: Crist. Cagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: CCagle @ NVR Inc . com

Engineer/Architect Company: _____
 Responsible Design Prof: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

RECEIVED
AUG 6 3 2019
LICENSING & PERMITS

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>64 x 60</u>
Area of construction (sq. ft.):	2 nd floor: <u>64 x 60</u>
Use group:	Basement: <u>64 x 60</u>
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim @ Decatur building services . com
 Email Address
AGENT NV Homes
 Title/Company

Jim Kerwin
 Print Name
8/6/2019
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

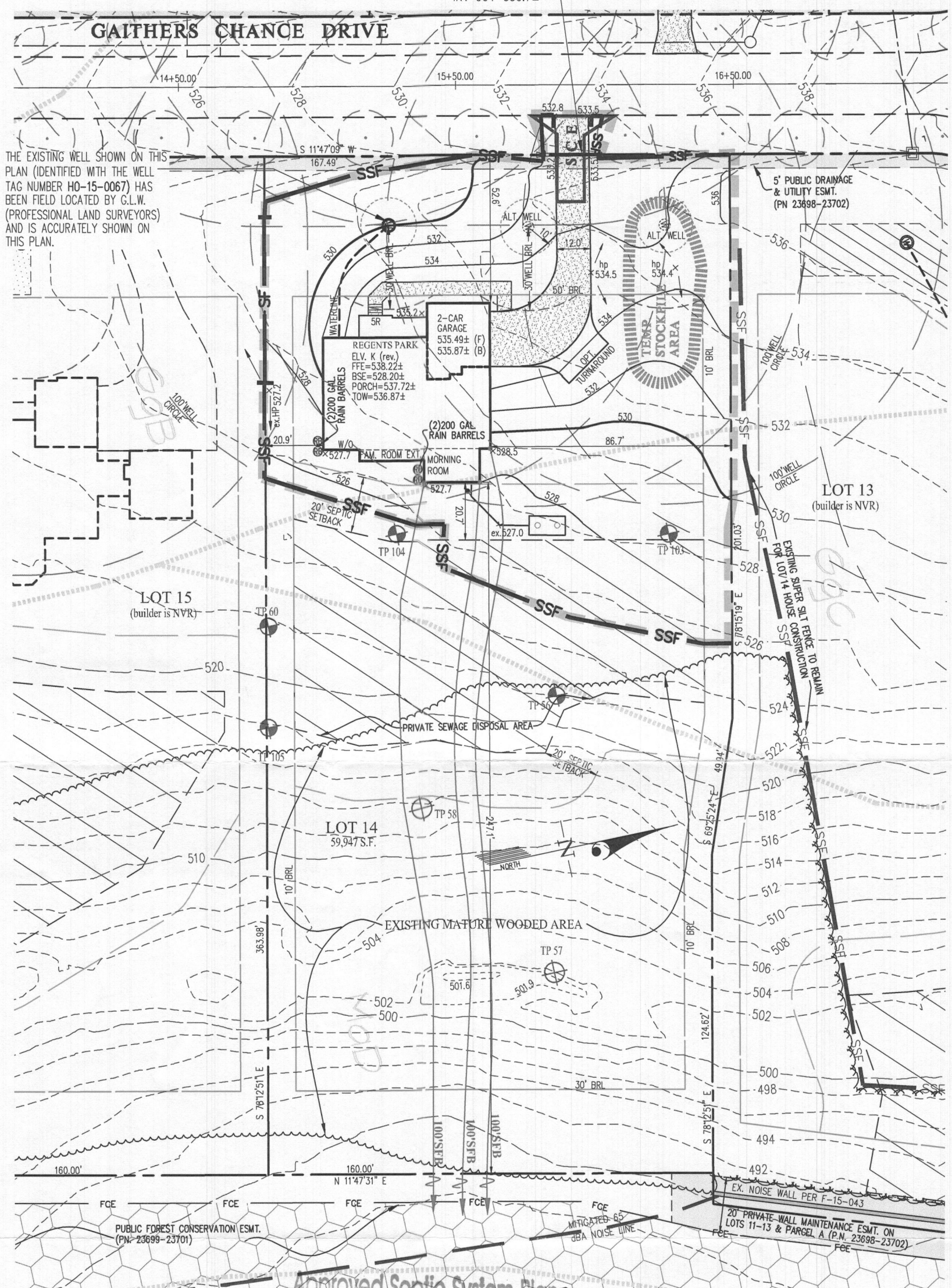
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
<input type="checkbox"/> Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>271413</u>

12" D/W CULVERT, 20 L.F.
 (per Ho.Co. Det. R-6.06)
 INV IN= 531.7±
 INV OUT=530.7±



THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-15-0067) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

5' PUBLIC DRAINAGE & UTILITY ESMT. (PN 23698-23702)

LOT 15
(builder is NVR)

LOT 13
(builder is NVR)

LOT 14
59,947 S.F.

EXISTING MATURE WOODED AREA

PUBLIC FOREST CONSERVATION ESMT. (PN-23699-23701)

20' PRIVATE WALL MAINTENANCE ESMT. ON LOTS 11-13 & PARCEL A (P.N. 23698-23702)

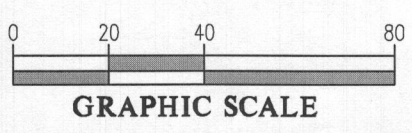
Approved Septic System Plan

Howard County Health Department

4 Bedrooms in Upper level
 & Bath in Partially Finished Basement

R. Bailey
 Signature 8/16/2019

REVISED
 Date: 8/13/19
 Comments: B19002544
 SEPTIC TANK LOCATION SHOWN



NOTE:
 1. THE FRONT DOOR FOR LOT 14 FACES WEST.

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR :	GAITHER'S CHANCE LOT 14 (5047 GAITHERS CHANCE DR.) Plat No. 23698-23702	G. L. W. No.	13070
	DRN.	NVR INC. 9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956		TAX MAP/GRID	28-8,9,14&15
	CHK.			DATE	JULY 2019
				SCALE	1"=40'
L:\CADD\DRAWINGS\13070\PLANS BY GLW\LOT PLANS\LOT 14\18065_GC_PLOT PLAN LOT 14.dwg				SHEET	1 OF 1

5047 Gaithers chance Drive
Lot 14

REGENT'S PARK II

Health Dept.
B19002544

HEALTH DEPT



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT								CRAWL SPACE								ATTACHED GARAGE / ROOMS								STANDARD DETAILS	
	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "E"	ELEV. "K"	ELEV. "L"	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "E"	ELEV. "K"	ELEV. "L"	BEDROOM FIRST FLOOR	LIBRARY	MORNING ROOM	CONSERVATORY/SUITE FIRST FLR	SITTING AREA / ALT. OWNERS	BEDROOM #5	BONUS ROOM/ BONUS BEDROOM	4'-0" EXTENSION TO FAMILY ROOM		
SPEC SHEET	2								2																	D-1
FRONT ELEVATIONS - SIDING		3	5	6						3	5	6														D-2
FRONT ELEVATIONS - PARTIAL STONE			6	4	11		13				6	4	11		13											D-4
FRONT ELEVATIONS - BRICK		4	7	10						4	7	10														D-5
FRONT ELEVATIONS - STONE AND BRICK						12	14.1	14.2						12	14.1	14.2										D-5a
SIDE ELEVATIONS		15	16	17	18	20	21	22	23	24	25	26	27	28	29	30										D-6
REAR ELEVATIONS		26	27	28	29	30	31	32	33	34	35	36	37	38	39	40										D-7
FOUNDATION	37	37	37	37	37	37	37	37	37	37	37	37	37	37	37	37										D-8c
FOUNDATION HOLD DOWN LAYOUT	42																							41	D-11	
PLUMBING GROUND WORKS	43	43	44	44	44	44	44	44	44	44	44	44	44	44	44	44									D-12b	
BASEMENT PLAN	47																								D-12c	
FIRST FLOOR PLAN	49	49	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	51	52				48	D-13	
SECOND FLOOR PLAN	54	54	55	55	55	55	55	55	55	55	55	55	55	55	55	55								56	D-14	
BUILDING SECTION AT FOYER	54																							61	D-15	
BUILDING SECTION AT GARAGE	63																							62	D-16	
STAIR PLAN - STANDARD	65.1, 65.2, 68																								D-16a	
STAIR PLAN - UPGRADE	66.1, 66.2, 67.1, 67.2, 67.3																								D-17	
STAIR PLAN - UPGRADE	69, 70.1, 70.2																								D-17a	
KITCHEN PLANS - CABINET HOOD B	71																								D-19	
KITCHEN PLANS - CABINET HOOD C	72																								D-20	
KITCHEN PLANS - GOURMET	73																								D-21	
INTERIOR DETAILS	78																								D-22	
INTERIOR DETAILS - FIREPLACE	80, 81																								D-21	
INTERIOR DETAILS - TRIMMED OPENINGS	82.1, 82.2																								D-24	
INTERIOR DETAILS - BATH ELEVATIONS	83																								D-30	
EXTERIOR DETAILS	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98								91	90	D-31	
BASEMENT ELECTRICAL	92																								D-34	
FIRST FLOOR ELECTRICAL	93	94	94	94	94	94	94	94	94	94	94	94	94	94	94	94	94	94	95	96				97	D-35	
SECOND FLOOR ELECTRICAL	98	99	99	99	99	99	99	99	99	99	99	99	99	99	99	99									D-36	
FIRST FLOOR JOIST LAYOUT	103			105	105	105	105	105	105	105	105	105	105	105	105	105									D-37	
SECOND FLOOR JOIST LAYOUT	107			109	109	109	109	109	109	109	109	109	109	109	109	109									D-38b	
ROOF FRAMING		111	113	115	117	119	121	122.2																	D-40	
ROOF FRAMING - ALTERNATE OWNER'S SUITE		112	114	116	118	120	122.1	122.3																	D-40b	
TRUSS BRACING	128, 129, 130, 131, 132, 133, 134																								D-44	
BRACED WALL PANEL DETAIL	135																								D-45	
BASEMENT HVAC LAYOUT	137.1, 137.2, 138																									
CRAWL FLOOR HVAC LAYOUT																										
FIRST FLOOR HVAC LAYOUT	140.1, 140.2																									
FIRST FLOOR HVAC LAYOUT																										
SECOND FLOOR HVAC LAYOUT	142.1, 142.2																									

BASE SQUARE FOOTAGE		
FIRST FLOOR	GROSS SQ. FT.	2111
SECOND FLOOR	GROSS SQ. FT.	1844
HOUSE TOTAL	GROSS SQ. FT.	3955

ELEVATIONS SQ. FT.		
ELEVATION "B"	GROSS SQ. FT.	+0
ELEVATION "C"	GROSS SQ. FT.	+6
ELEVATION "D"	GROSS SQ. FT.	+8.4
ELEVATION "E"	GROSS SQ. FT.	+11.8
ELEVATION "K"	GROSS SQ. FT.	+0
ELEVATION "L"	GROSS SQ. FT.	+6

ADDITIONAL SQ. FT.		
MORNING ROOM		
W/ NO SECOND FLOOR	GROSS SQ. FT.	+240
W/ SITTING AREA	GROSS SQ. FT.	+384
W/ ALT. OWNER'S SUITE	GROSS SQ. FT.	+452
4' EXTENSION		
W/ NO BONUS RM. / BDRM.	GROSS SQ. FT.	+104
BONUS RM. / BEDROOM		
W/ NO EXTENSION	GROSS SQ. FT.	+326
W/ 4' EXTENSION	GROSS SQ. FT.	+420
CONSERVATORY / IN-LAW'S SUITE		
W/ 4-BEDROOM	GROSS SQ. FT.	+352
W/ 5-BEDROOM	GROSS SQ. FT.	+704

MAXIMUM FINISHED SQ. FT.		
HOUSE TOTAL	GROSS SQ. FT.	5743
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

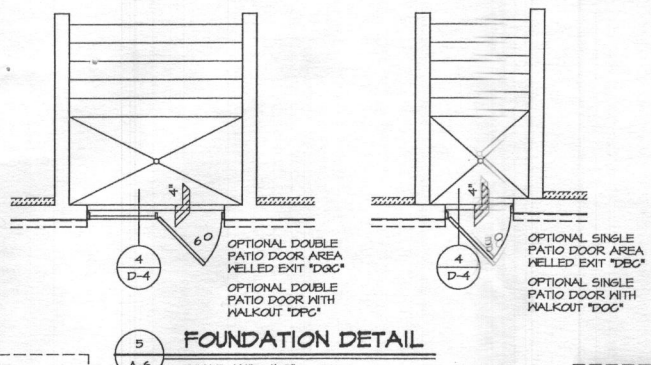
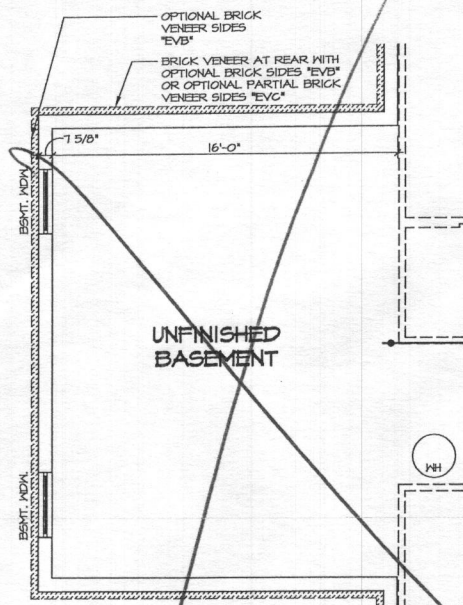
FINISHED BASEMENT SQ. FT.		
RECREATION ROOM	GROSS SQ. FT.	1110
W/ MORNING ROOM	GROSS SQ. FT.	+240
W/ 4' EXTENSION	GROSS SQ. FT.	+44
W/ MOR RM & 4' EXTEN	GROSS SQ. FT.	+334
HOME OFFICE	GROSS SQ. FT.	248
EXERCISE RM. ("A", "B", "K")	GROSS SQ. FT.	218
EXERCISE RM. ("C", "L")	GROSS SQ. FT.	238
EXERCISE RM. ("D")	GROSS SQ. FT.	248
EXERCISE RM. ("E")	GROSS SQ. FT.	244
MEDIA RM. ("A", "B", "D", "K")	GROSS SQ. FT.	402
MEDIA RM. ("C", "L")	GROSS SQ. FT.	430
MEDIA RM. ("E")	GROSS SQ. FT.	433
BASEMENT BATH	GROSS SQ. FT.	57

UNFINISHED SQ. FT.		
TWO CAR GARAGE (W/ "A")	GROSS SQ. FT.	584
THREE CAR GARAGE (W/ "A")	GROSS SQ. FT.	824

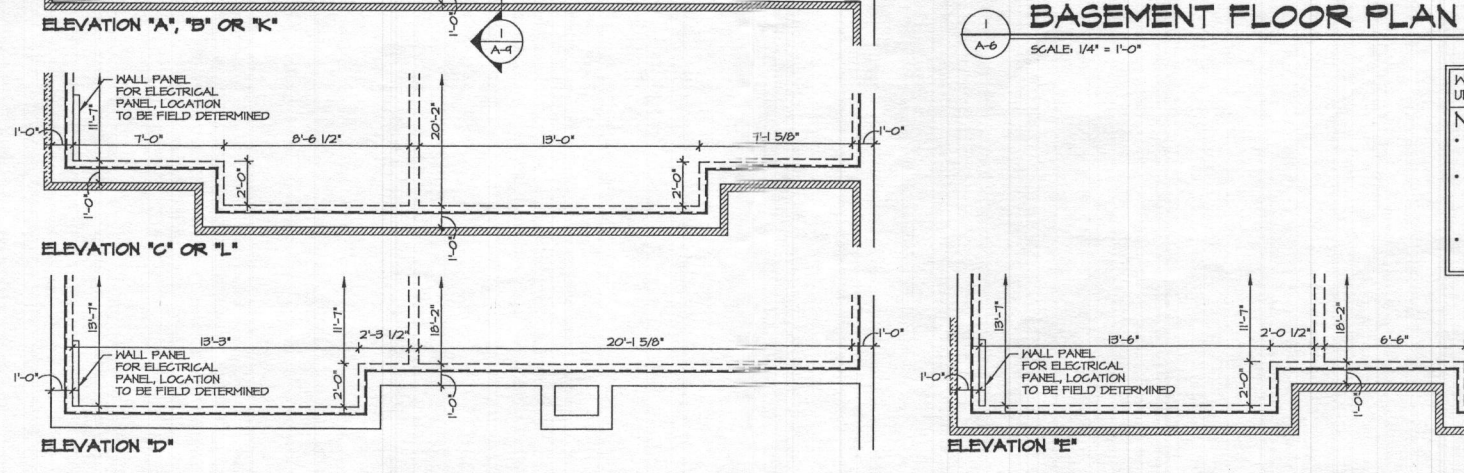
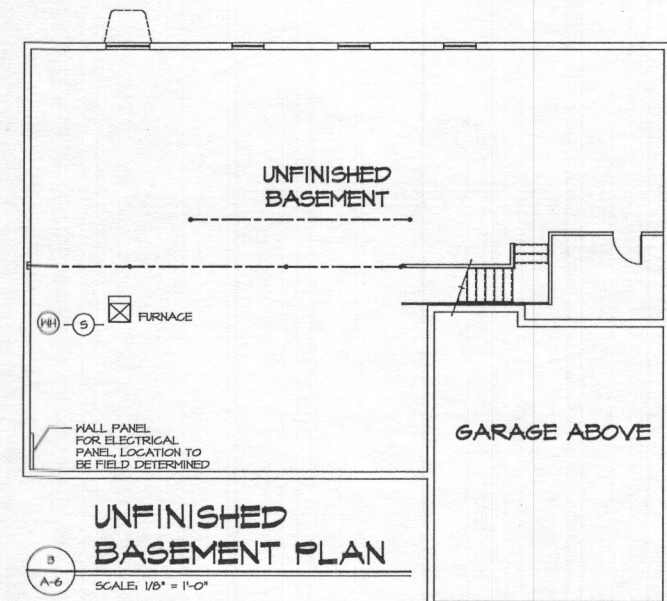
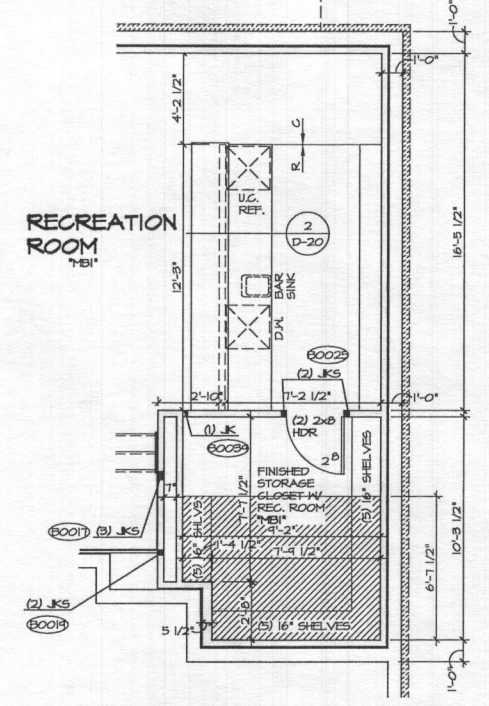
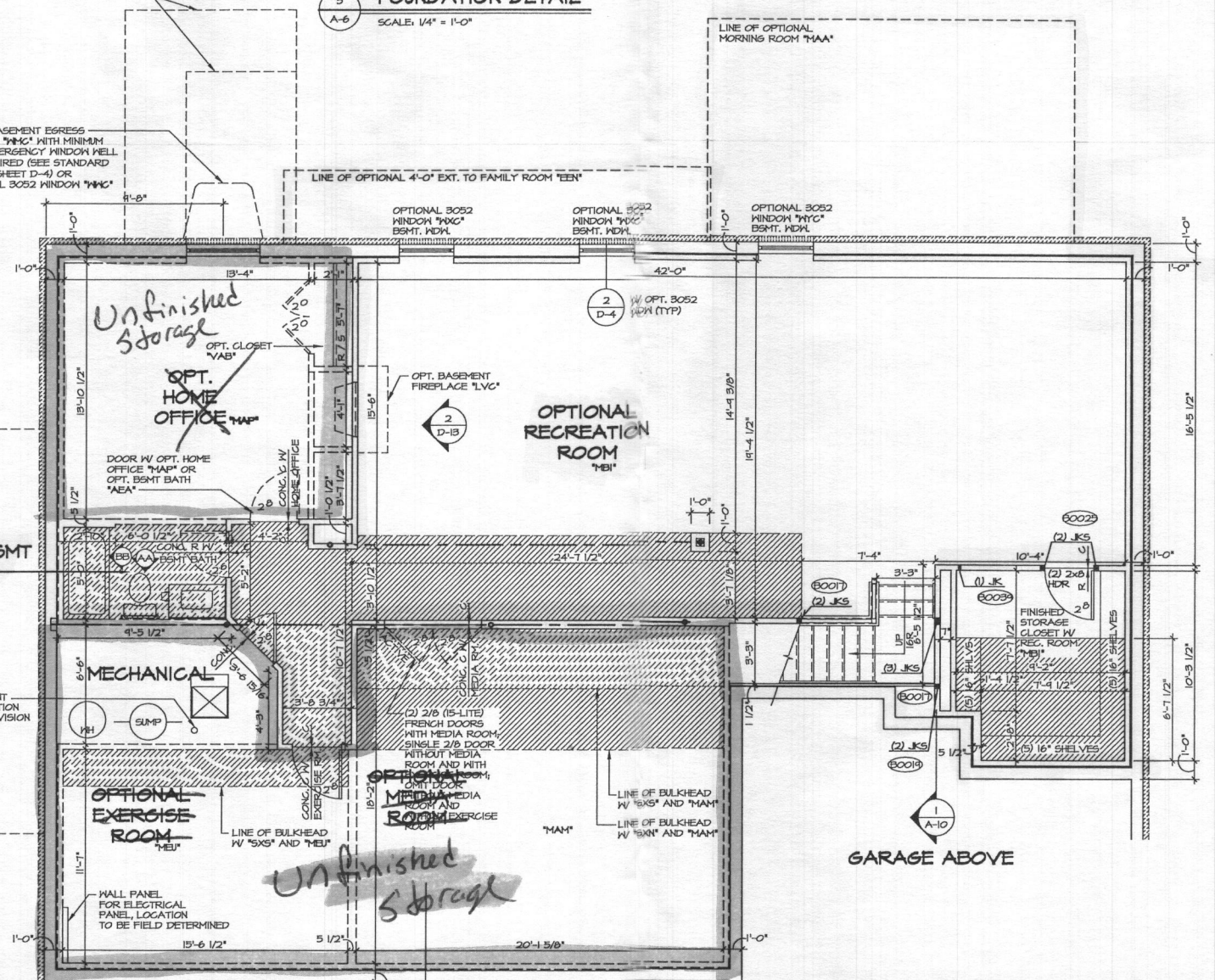
FOOTPRINT		
BASE HOUSE:		
WIDTH:	60'-0"	
DEPTH:	52'-0"	
MAXIMUM:		
WIDTH:	76'-8"	
DEPTH:	76'-8"	

SET - VERSION	10200-01	CS-1
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J:\DWG\NVA\DETACHED\REGENTS PARK II\10200_01\CS1.dwg 10/23/17 - 2:58 PM



2 BASEMENT FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
CONSERVATORY "MCO" / FIRST FLOOR SUITE "MSR"



WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" X 8'-0" CEILING SPACE ABOVE MECHANICAL AREA)
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

NOTES:

- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS.
- ALL CASING OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
- HASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

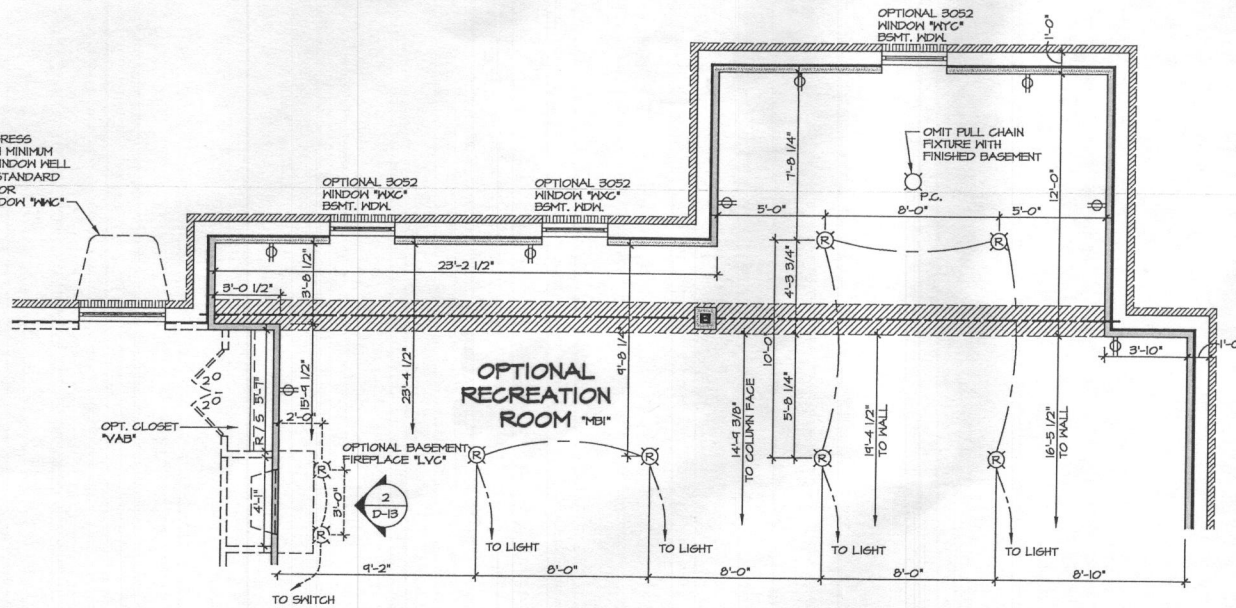
REV. NO.	DATE	REMARKS
0	2/24/15	CL5 - ADDED NOTE FOR %CI OPTION (PAR ID 3187)
1	4/22/15	NET - RELOCATED THE NET BAR (PAR ID 32442)
2	4/22/15	NET - ADDED REVISION AND "K" LINE
3	9/24/15	BSM - TYPAS 055004 - REVISED "M" DOOR LOCATION FOR TRIM
4	10/20/15	BSM - MECHANICAL DOOR STD. CLARIFIED MEDIA ROOM DOOR NOTE (PAR 3639)
5	10/20/15	BSM - TYPAS 055004 - REVISED WALLS / PANELS TO MATCH FOR UNFINISHED STAIR
6	5/01/16	BSM - ADDED SQUARE BOUL VANTILES (PAR 4880)
7	1/17/16	CEL - ADDED NOTE TO TOP OF OPT. DOOR
8	1/16/16	BSM - ADDED BUILT DOWN CEILING IN STORAGE CLOSET FOR INVAZ PAS 30266

MODEL: REGENT'S PARK II
DRAWING TITLE: BASEMENT FLOOR PLAN
OPTION DESCRIPTION: 47

DATE: 9/14/15
DRAWN BY: JEA
SCALE: 1/4" = 1'-0"

REGENT'S PARK II
BASEMENT FLOOR PLAN
OPTION DESCRIPTION: 47

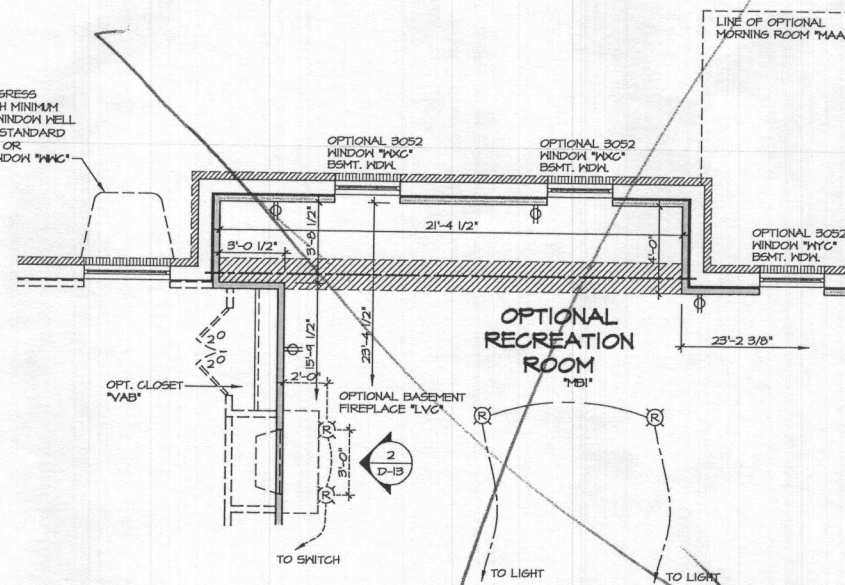
4040 BASEMENT EGRESS WINDOW "MWC" WITH MINIMUM 9'-0" EMERGENCY WINDOW WELL AS REQUIRED (SEE STANDARD DETAIL SHEET D-4) OR OPTIONAL 3052 WINDOW "MWC"



2 BASEMENT PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL RECREATION ROOM "MB1" W/ MORNING ROOM ABOVE "MAA" AND 4'-0" FAMILY ROOM EXTENSION "EB"

NOTE:
1. ELECTRICAL PLAN FOR ELECTRICAL DATA ONLY
2. LOCATION OF ELECTRICAL FEATURES ARE APPROXIMATE
3. INCLUDE ADDITIONAL OUTLET AT PANEL BOX LOCATION AS REQUIRED
4. OPTIONAL PENDANT LIGHTS TO BE 30"-36" ABOVE COUNTERTOP
5. OPTIONAL UNDER CABINET LIGHTS: SEE KITCHEN LAYOUT DRAWING FOR WALL CABINET SIZES AND LOCATION

4040 BASEMENT EGRESS WINDOW "MWC" WITH MINIMUM 9'-0" EMERGENCY WINDOW WELL AS REQUIRED (SEE STANDARD DETAIL SHEET D-4) OR OPTIONAL 3052 WINDOW "MWC"



1 BASEMENT PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL RECREATION ROOM "MB1" W/ 4'-0" FAMILY ROOM EXTENSION "EB"

ELECTRICAL LEGEND			
⊕	SINGLE POLE SWITCH	⊕	EXHAUST FAN MOTOR WITH LIGHT
⊕	THREE WAY SWITCH	⊕	DOOR CHIME
⊕	FOUR WAY SWITCH	⊕	LIGHT FIXTURE - WALL MOUNTED
⊕	DUPLEX RECEPTACLE	⊕	LIGHT FIXTURE - CEILING MOUNTED
⊕	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED	⊕	LIGHT FIXTURE - RECESSED
⊕	DUPLEX RECEPTACLE - FLOOR MOUNTED	⊕	LIGHT FIXTURE - RECESSED WEATHER PROOF
⊕	RECEPTACLE - 220V	⊕	LIGHT FIXTURE - HANGING
⊕	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT	⊕	LIGHT FIXTURE - PENDANT
⊕	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT	⊕	LIGHT FIXTURE - FLUORESCENT
⊕	SMOKE DETECTOR - WIRED IN SERIES	⊕	LIGHT FIXTURE - UNDER CABINET LIGHT
⊕	CARBON MONOXIDE DETECTOR	⊕	PULLCHAIN LAMPHOLDER
⊕	EXHAUST FAN MOTOR	⊕	KEYLESS LAMPHOLDER

NOTE:
ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY AND NOT INTENDED AS ENGINEERED DRAWINGS. THESE PLANS REPRESENT THE DESIGN INTENT FOR SWITCH AND RECEPTACLE LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.

WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA
NOTES:
• 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
• ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED
• A MAXIMUM AREA OF 60 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
• PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

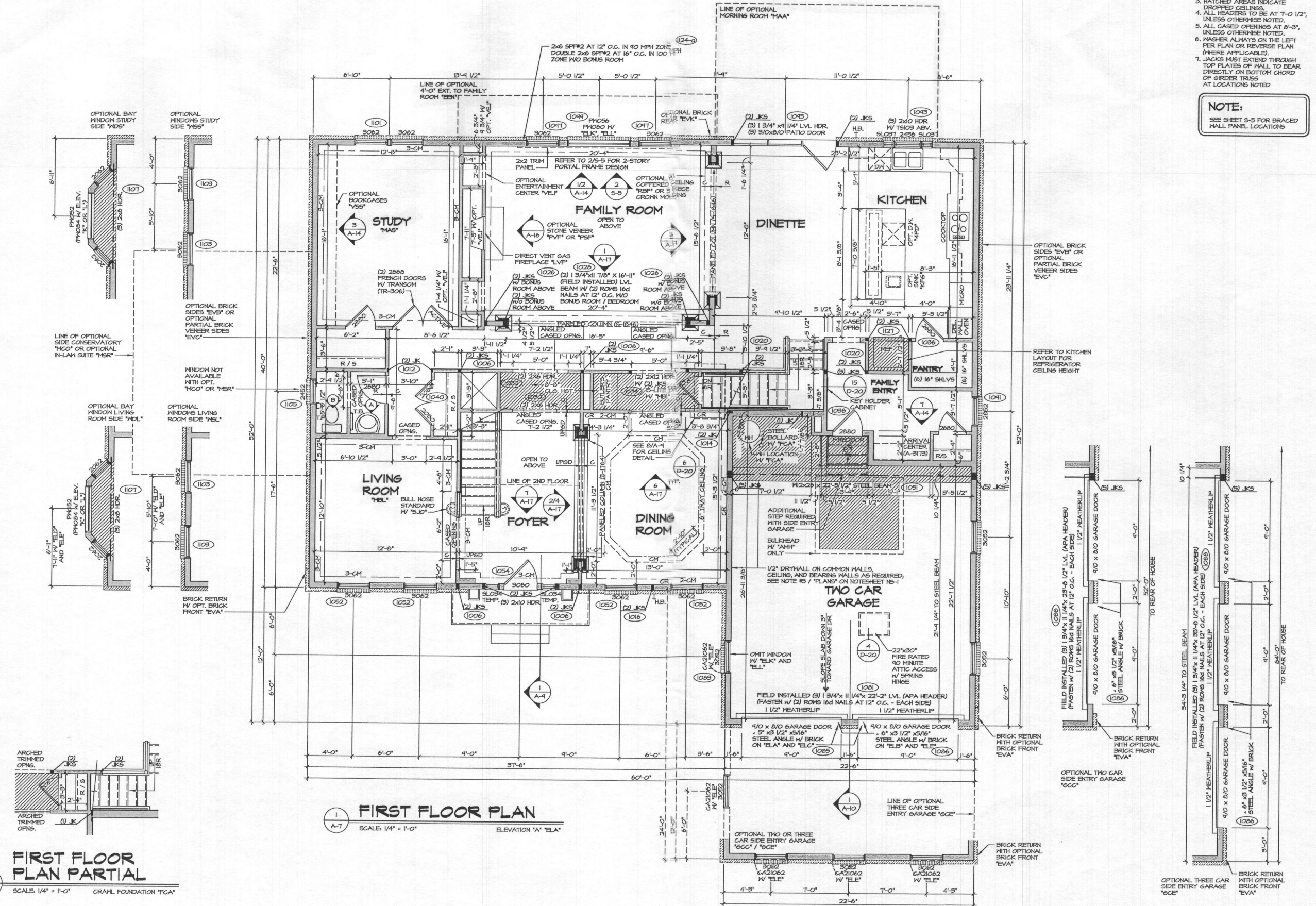
NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE DROPPED CEILING.
4. ALL CASED OPENINGS AT "1-11", UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

SHEET NO. A-6b	MODEL REGENT'S PARK II	SET NO. 10200	DATE: 11/8/13
	DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS	VERSION 01 DRAWN BY CHEB	OPTION EEN MAA
48	OPTION DESCRIPTION 4'-0" EXTENSION TO FAMILY ROOM MORNING ROOM		
<p>REMARKS</p> <p>REV. NO. DATE DESCRIPTION</p> <p>1 8/29/14 CEL - INTERNAL ADJT</p> <p>2 2/24/15 CLS - ADDED NOTE FOR SCI OPTION (PAR ID 9187)</p>			
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<p>NVR NVR, Inc. Architectural Services 21 Bay Architects Frederick, MD 21702</p>			
<p>J:\DWG\10A\DETACHED\REGENTS_PARK_II_10200_01\BSMTR.dwg 09/01/15 - 2:34 PM</p>			

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL HEADERS TO BE AT 1'-0" 1/2", UNLESS OTHERWISE NOTED.
 5. ALL CASED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED

NOTE:
SEE SHEET S-5 FOR BRACED HALL PANEL LOCATIONS



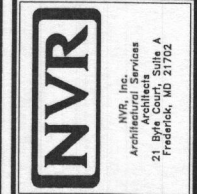
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'A' 'ELA'

FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
GRAVL FOUNDATION 'FCA'

REVISIONS

REV. NO.	DATE	DESCRIPTION
10	9/10/08	DD08 - AUDIT REVISIONS
11	9/10/08	BE08 - ADDED NOTE THAT GARAGE BULKHEAD IS WITH 'AMH' ONLY (PAR 84752)
12	9/22/08	SR08 - ADDED ADDITIONAL BAY AT GARAGE PAR 84662
13	4/16/07	CL05 - REVISED WIDTH OF FAMILY ROOM/HALL OPENING TO 14'-5" (PAR ID: 49847)
14	8/20/07	CL05 - CLARIFIED THE STED SPACING AT BEAR OF HALL/ROOF (PAR ID: 49847)
15	4/20/05	SR05 - PAR 84230 - ADDED ATTIC ACCESS TO GARAGE (PAR ID: 84230)
16	4/20/05	SR05 - PAR 84230 - ADDED ATTIC ACCESS TO GARAGE (PAR ID: 84230)
17	5/22/03	SR03 - PAR 83190 - ADDED 2x4 TRUSS PANEL IN FAMILY ROOM TO FLOOR PLANS
18	6/10/03	SR03 - PAR 83190 - ADDED 2x4 TRUSS PANEL IN FAMILY ROOM TO FLOOR PLANS

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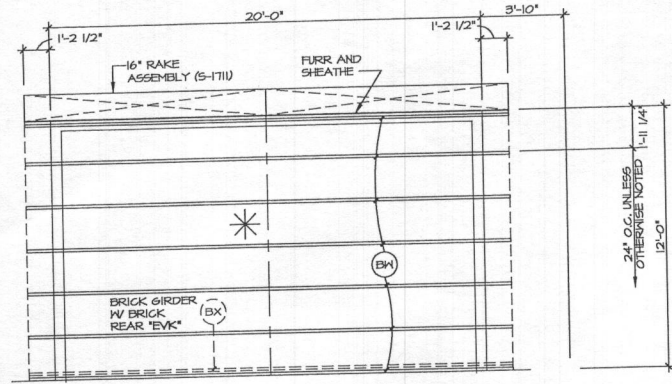


MODEL: **REGENT'S PARK II**

SET NO. 10200
DRAWING TITLE: **FIRST FLOOR PLAN**
DRAWN BY: **DRA**
DATE: **9/25/14**
OPTION

SHEET NO. **A-7**
OPTION DESCRIPTION: **49.1**

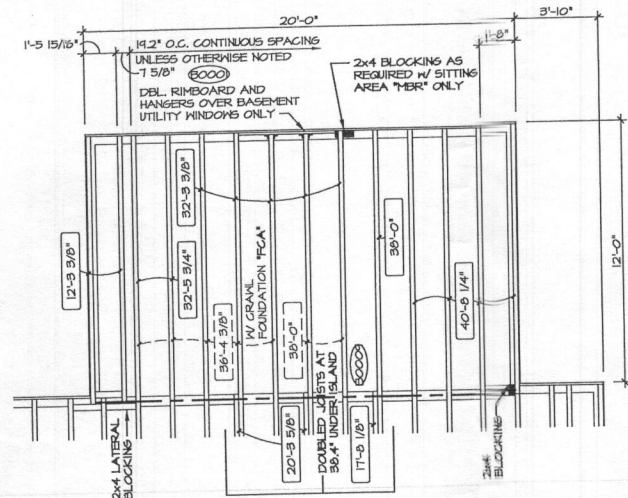
3-DWG.DWG DETACHED REGENT'S PARK II 10200_01A PLAN DWG 08/30/17 - 124.PLT



6 ROOF FRAMING PARTIAL
SCALE: 1/4" = 1'-0" MORNING ROOM "MAA"

ROOF VENTILATION (A/300)

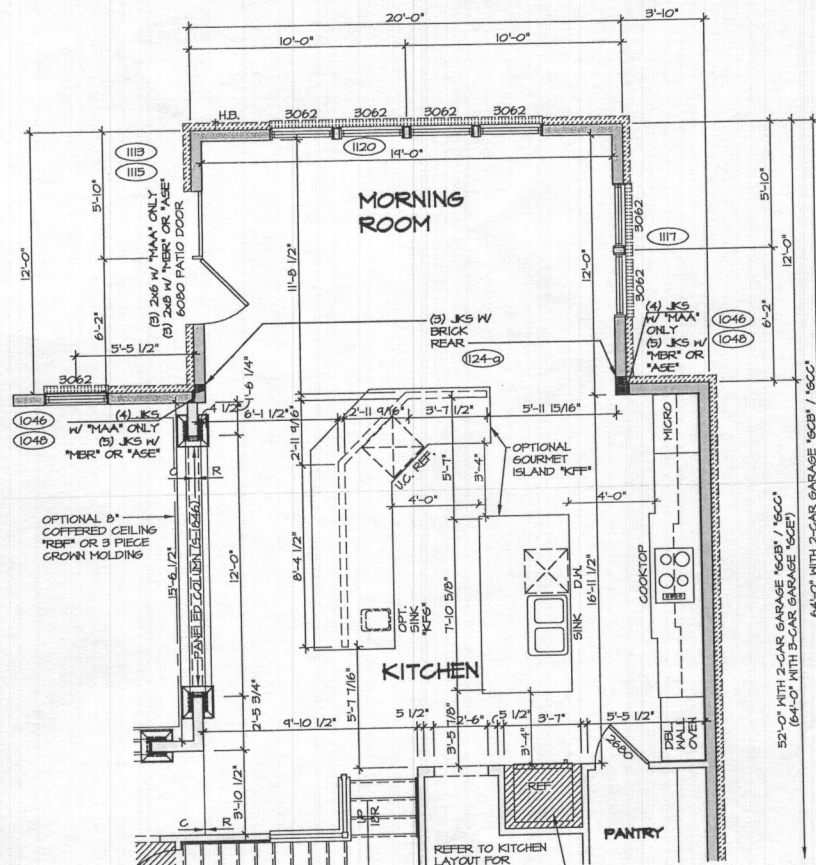
TOTAL PLAN AREA:	42,631 SQ./IN.
TOTAL VENTILATION REQ'D:	142 SQ./IN.
ACTUAL VENTILATION:	
RIDGE VENT:	262 SQ./IN.
SOFFIT VENT:	72 SQ./IN.
ROOF VENT - HIGH:	12 SQ./IN.
ROOF VENT - LOW:	50 SQ./IN.
ACTUAL VENTILATION TOTAL:	394 SQ./IN.



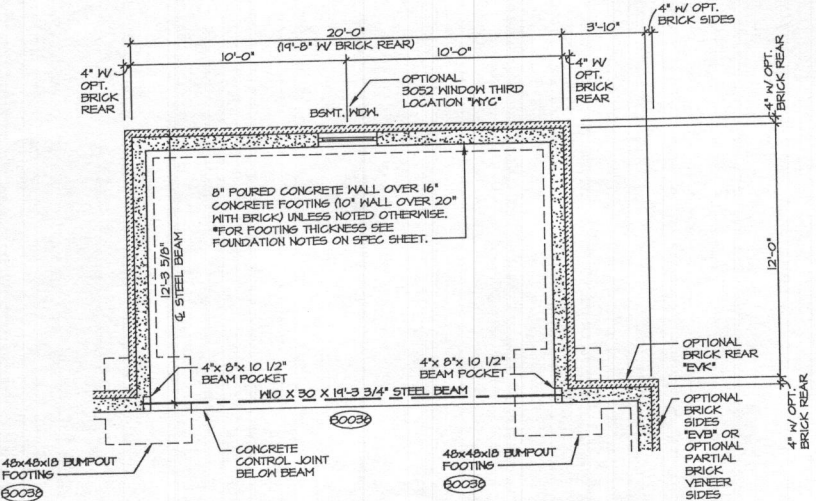
5 PARTIAL FRAMING PLAN
SCALE: 1/4" = 1'-0" OPT. MORNING ROOM "MAA"

- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 - MASKER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

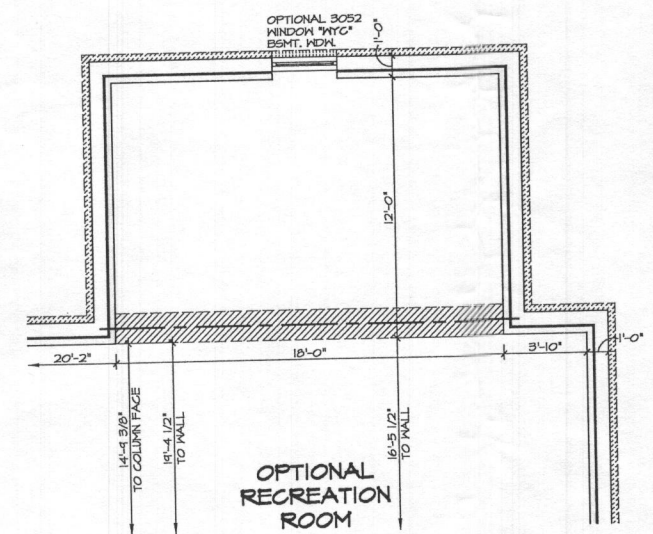
NOTE:
SEE SHEET 5-5 FOR BRICK WALL PANEL LOCATIONS



7 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL MORNING ROOM "MAA" OPTIONAL GOURMET ISLAND "KFF"



1 FOUNDATION PLAN PARTIAL
SCALE: 1/4" = 1'-0" FULL BASEMENT FOUNDATION "FBA" OPTIONAL MORNING ROOM "MAA"

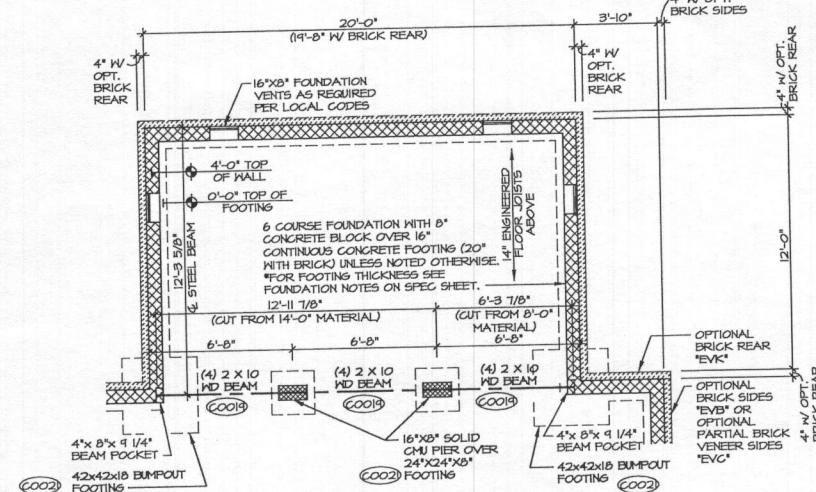


3 BASEMENT PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL RECREATION ROOM "HBI" W/ MORNING ROOM ABOVE "MAA"

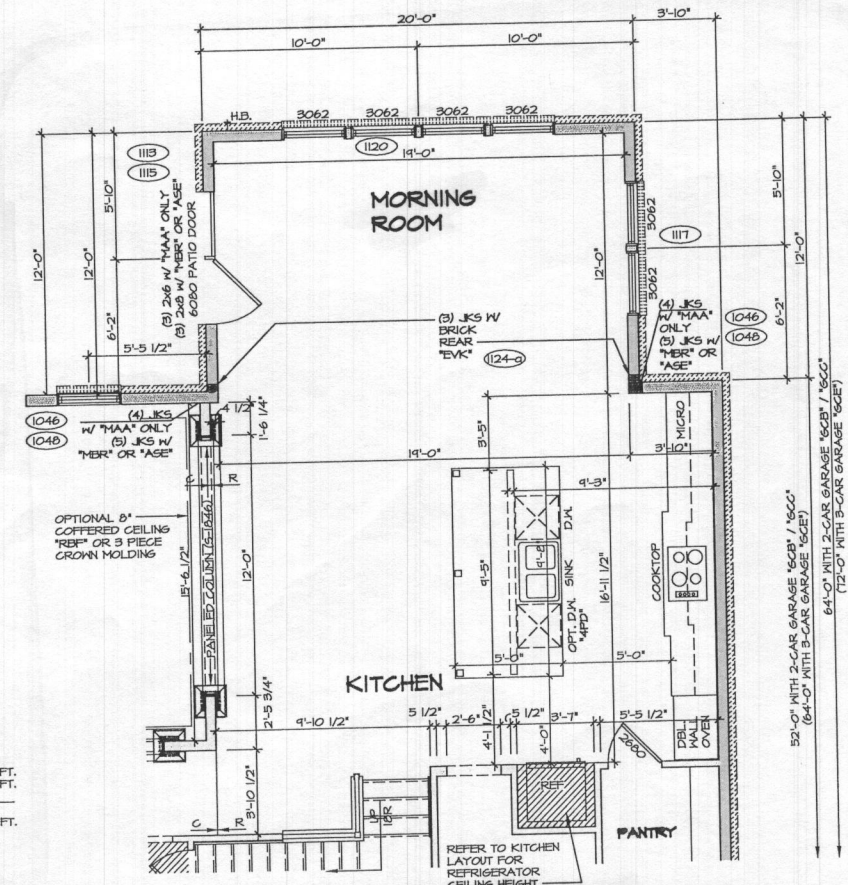
CRAWL VENTILATION:
ALL VENTILATION CALCULATIONS AND GRAPHICS ARE CALCULATED WITH THE FOLLOWING FORMULAS AND ASSUMING A MINIMUM VENT AREA OF .42 SQ. FT.
• AREA IN SQ. FT. / 1500 = SQ. FT. OF VENTILATION REQUIRED.
• SQ. FT. OF VENTILATION REQUIRED / .42 = MINIMUM NUMBER OF VENTS NEEDED.
• NUMBER OF VENTS ON DRAWING X .42 = ACTUAL VENTILATION.
NOTE: FOR MORE INFORMATION SEE SPEC SHEET.

MORNING ROOM

TOTAL CRAWL AREA:	224.75 SQ. FT.
TOTAL VENTILATION REQUIRED:	1.15 SQ. FT.
REQUIRED NUMBER OF VENTS:	4
ACTUAL NUMBER OF VENTS:	1.60 SQ. FT.



2 FOUNDATION PLAN PARTIAL
SCALE: 1/4" = 1'-0" CRAWL SPACE FOUNDATION "FCA" OPTIONAL MORNING ROOM "MAA"



4 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL MORNING ROOM "MAA"

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	2/10/15	9/14 - REVISED KITCHEN ISLAND W/ OPTION "KFF" PAR 50732
2	4/16/17	CL5 - REVISED WIDTH OF FAMILY ROOM HALL OPENING TO 16'-5" (PAR ID 45447)
3	9/1/14	A-1 - PAR 52370 (ADDED U.C. REF. TO PLAN)
4	5/27/14	DAS - AUDIT REVIEW
5	6/16/14	BBB - ADDED HOSE BIB LOCATIONS
6	8/25/14	CEL - INTERNAL AUDIT
7	9/25/14	DRA - REVISED TRIMMED OPENINGS
8	4/30/14	CAB - INTERNAL AUDIT (HBI / BK / OIG)
9	12/16/14	SKP - REVISED ISLAND DIM. TO MATCH KITCHEN DIMS. PAR 20114

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Frederick, MD 21702

MODEL: REGENT'S PARK II

DRAWING TITLE: FLOOR PLAN PARTIAL

VERSION: 01

DRAWN BY: JEA

DATE: 9/14/15

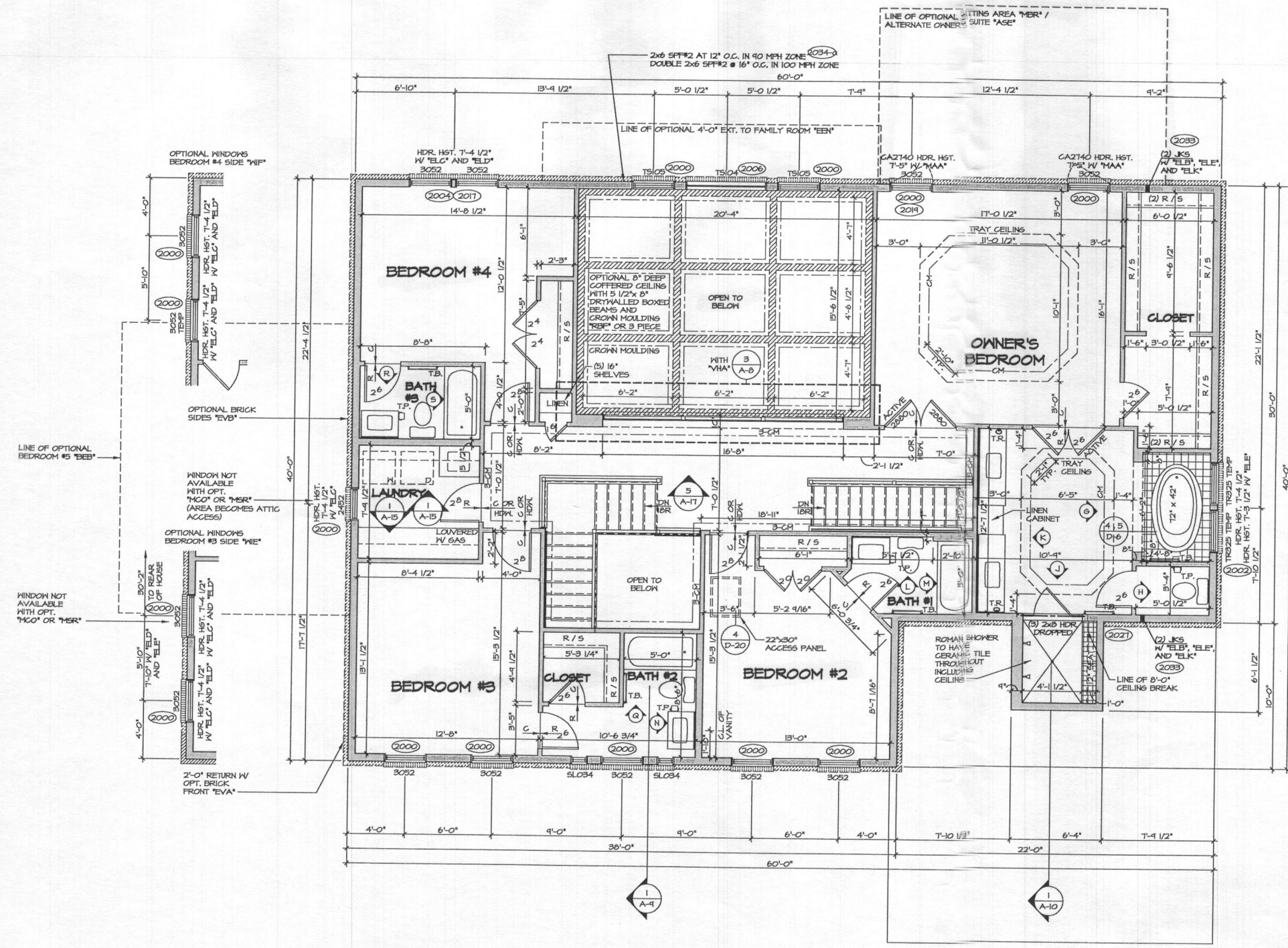
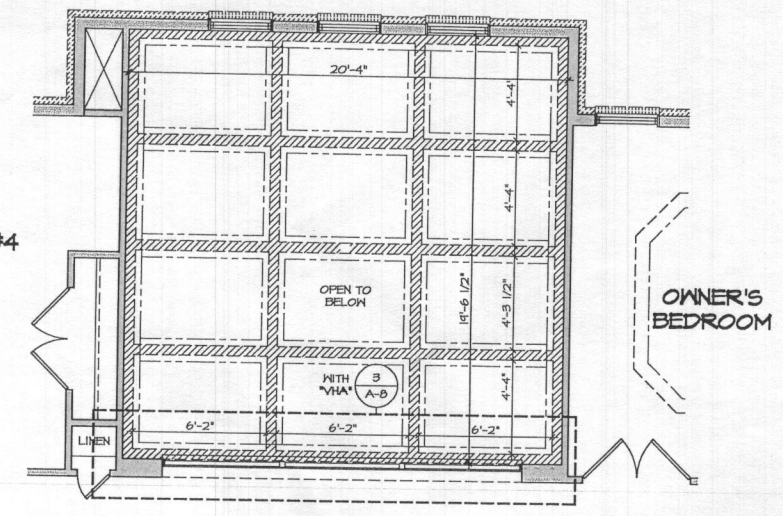
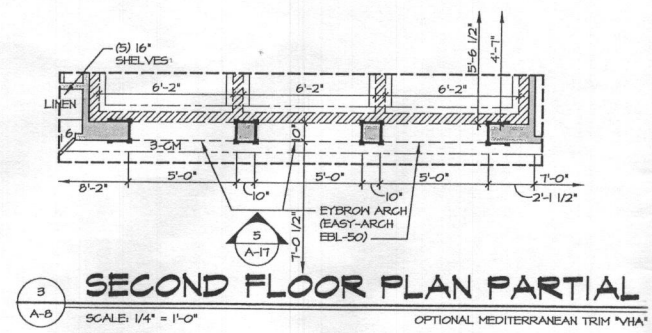
OPTION: MAA

SHEET NO.: A-7C

FLOOR PLAN PARTIAL

MORNING ROOM

51



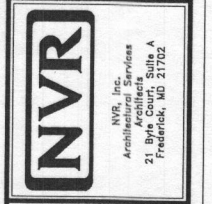
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT 6'-4", UNLESS OTHERWISE NOTED.
 5. NUMBER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	5/1/15	DRB - AUDIT REVISIONS
2	5/1/15	KAD - PROJEKT #1595 - ADDED CENTERPOINT LAYOUT FOR OWNER'S BATH
3	5/22/15	REB - REWORKED THE REFERRED WINDOW AT BEDROOM #3 PER CODE (P.A.S. 50202)
4	10/16/14	J.S. - SHORTENED REAR STAIRS (1' ROUND THRU PAR #2059)
5	11/17/14	CSB - TRIM AUDIT REVISIONS
6	2/10/15	SMK - ADDED DETAIL BESSIE FOR TUB ACCESS PANEL PAR #0492
7	3/17/15	5095 - ADDED PAD WALL TO OWNER'S SHOWER
8	4/20/15	5095 - PAR #52498 - CENTERED DOOR TO LAUNDRY ROOM
9	5/15/15	REB - SHIFTED LAUNDRY / BATH TO ACCOMMODATE DOOR TRIM (P.A.S. 50205)

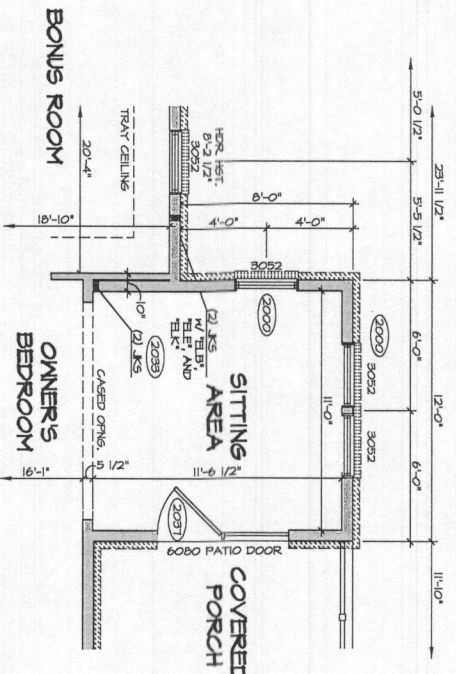
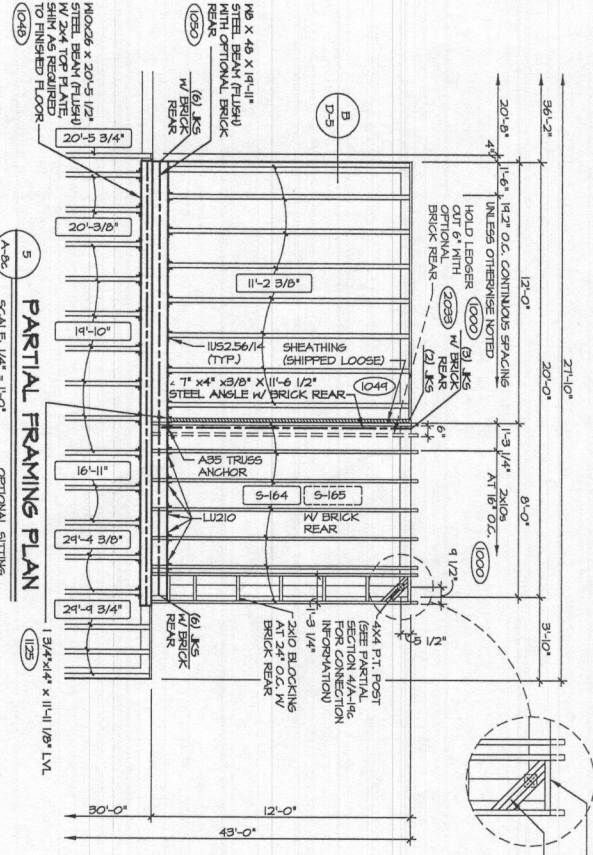
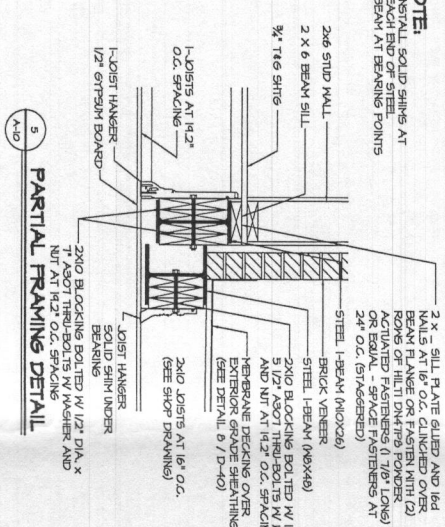
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MODEL NO. 10200	VERSION 01
DRAWING TITLE	REGENT'S PARK II SECOND FLOOR PLAN
DRAWN BY	DRA
DATE	5/14/15
OPTION	OPTION
SHEET NO.	A-8
DESCRIPTION	54

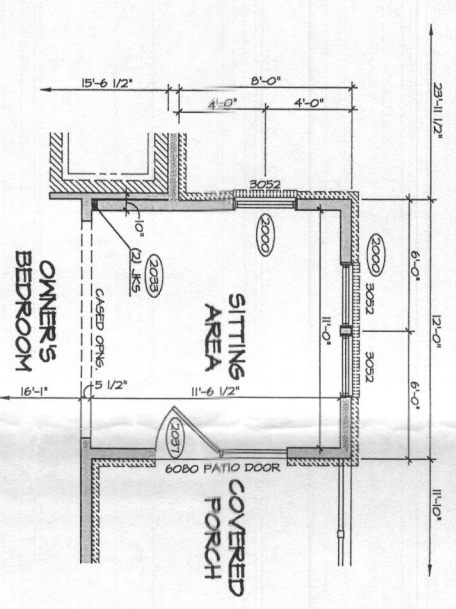
- NOTES:**
1. ALL HEADERS ARE @ 24" UNLESS OTHERWISE NOTED
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED
 3. ALL INTERIOR WALLS ARE 9 1/2" UNLESS OTHERWISE NOTED
 4. ALL CAGED CEILING AT 7'-11" UNLESS OTHERWISE NOTED
 5. PER PLAN OR PER FLOOR PLAN (WHERE APPLICABLE)
 6. JACKS MUST EXTEND THROUGH OF GIRDER TRUSS DIRECTLY ON BOTTOM CHORD AT LOCATIONS NOTED

NOTE:
INSTALL SOLID SHIMS AT BEAM AT BEARING POINTS



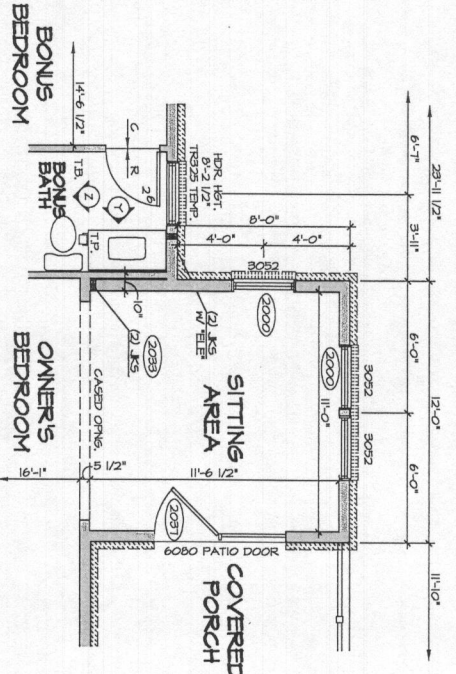
3 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ EXTENSION TO FAMILY ROOM AND BONUS ROOM MAIN



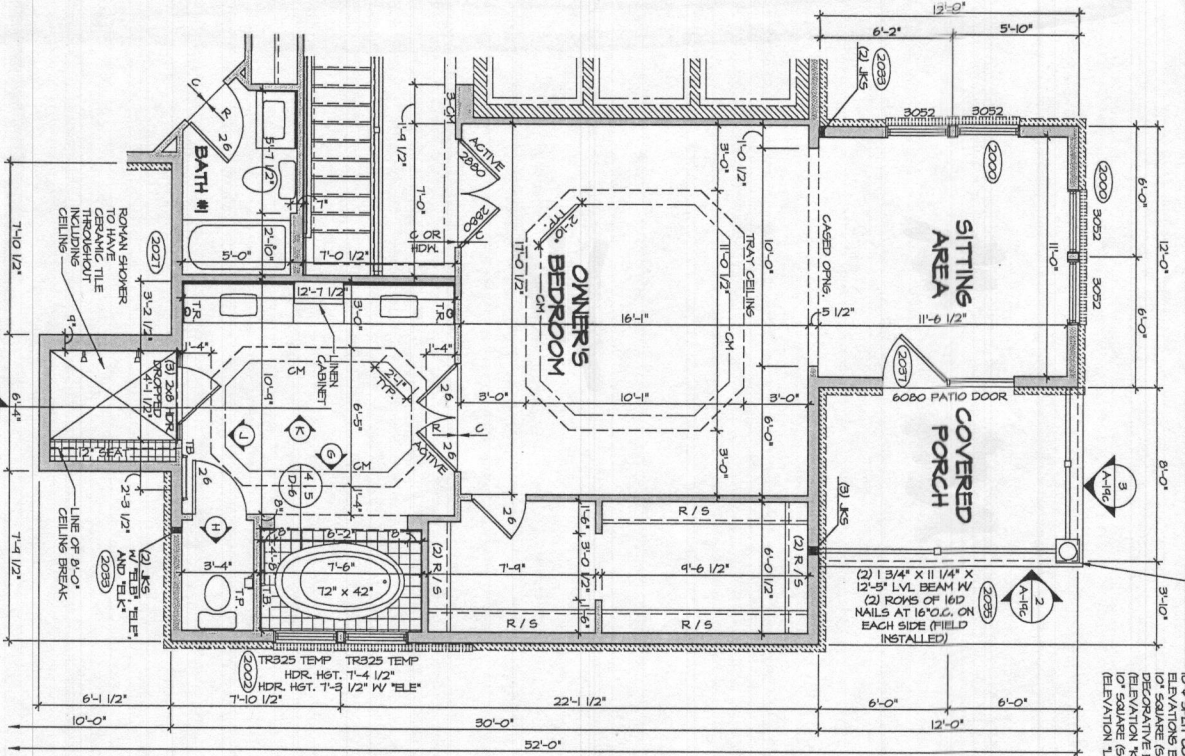
2 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ EXTENSION TO FAMILY ROOM



4 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ EXTENSION TO FAMILY ROOM AND BONUS BEDROOM



1 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ EXTENSION TO FAMILY ROOM AND BONUS BEDROOM

REV. NO.	DATE	REMARKS
11	2/3/17	KAD - PROJECT #1855 - ADDED COUNTERTOP LAYOUT FOR OWNERS BATH
12	8/5/14	DRA - REVISED WIDTH OF 110X26 BEAM PER 5/A-10 AND SURROUNDING JOISTS
13	8/18/14	BEB - ADJUSTED JACKS TO MATCH ENGINEERING (PAR 26846)
14	9/23/14	CVB - ADDED TILE NOTE TO BATHROOM
15	2/10/15	SMH - ADDED DETAIL BUBBLE FOR TUB ACCESS PANEL PAR 20452
16	3/17/15	SB6 - ADDED PAD WALL TO OWNERS SHOWER
17	1/15/15	JEA - REVISED STEEL BEAM AND ADDED DETAIL W/ REAR BRICK (PAR 38328)
18	4/14/16	DLR - REV. COVERED PORCH 'MER' 4X4 P.T. POST NOTES AND DTL. (PAR 38842)
19	1/27/17	SB6 - PAR #18944 - ADDED TOWEL RINGS TO ELEVATION K



SHEET NO. A-8c	MODEL REGENT'S PARK II	SET NO. 10200
DRAWING TITLE FLOOR PLAN PARTIAL	DRAWN BY JEA	VERSION 01
OPTION DESCRIPTION SITTING AREA WITH COVERED PORCH	DATE: 3/14/15	DRAWN BY JEA
56	OPTION MBR	