



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2018 AM 7 PM 1:23

Date Received: _____

Permit No.: B18002913

Building Address: 4034 Buntwoods Rd
City: _____ State: _____ Zip Code: _____
Suite/Apt. # _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: SFD
Proposed Use: SAME
Estimated Construction Cost: \$ Approx 14,000
Description of Work: Exterior to building
14 x 20

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Joshua Park
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: _____
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No. : _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
Email Address _____
Title/Company _____

Print Name _____
Date _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

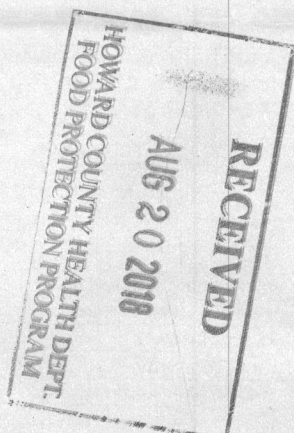
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Joshua Park
called about this

240-328-8089

- well is in front
- c/o is 10' off
sun room





Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 14034 BURNWOODS ROAD
City: GLENELG State: _____ Zip Code: _____
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: JOANNE PARK
Address: 6749 PINE DRIVE
City: COLUMBIA State: MD Zip Code: 21046
Phone: 240 938 6394 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)

Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Existing Use: SINGLE FAMILY HOME
Proposed Use: SINGLE FAMILY HOME
Estimated Construction Cost: \$ _____
Description of Work: ADD SUN ROOM IN PLACE OF EXISTING DECK - BUILD NEW DECK

Contractor Company: J. & J. PARK CONSTRUCTION
Contact Person: JOANNE PARK
Address: 6749 PINE DRIVE
City: COLUMBIA State: MD Zip Code: 21046
License No.: _____
Phone: 240 938 6393 Fax: _____
Email: _____

Occupant or Tenant: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: FRED GOODWIN DESIGNER
Address: 16817 MALABAR CT.
City: ROSWOOD State: MD Zip Code: 20855
Phone: 301 385 6176 Fax: 301 258 9108
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
	<input type="checkbox"/> Slab on Grade	
Construction type:	No. of Bedrooms:	
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling	
<input type="checkbox"/> Structural Steel	No. of efficiency units:	
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<input type="checkbox"/> Wood Frame	No. of 2 BR units:	
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<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

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Applicant's Signature: [Signature]
Email Address: NONE - FAX ONLY.
Title/Company: _____

Print Name: FRED GOODWIN
Date: 1-7-15

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning

Yellow: PSZA,Engineering

Pink: Health

Gold: SHA

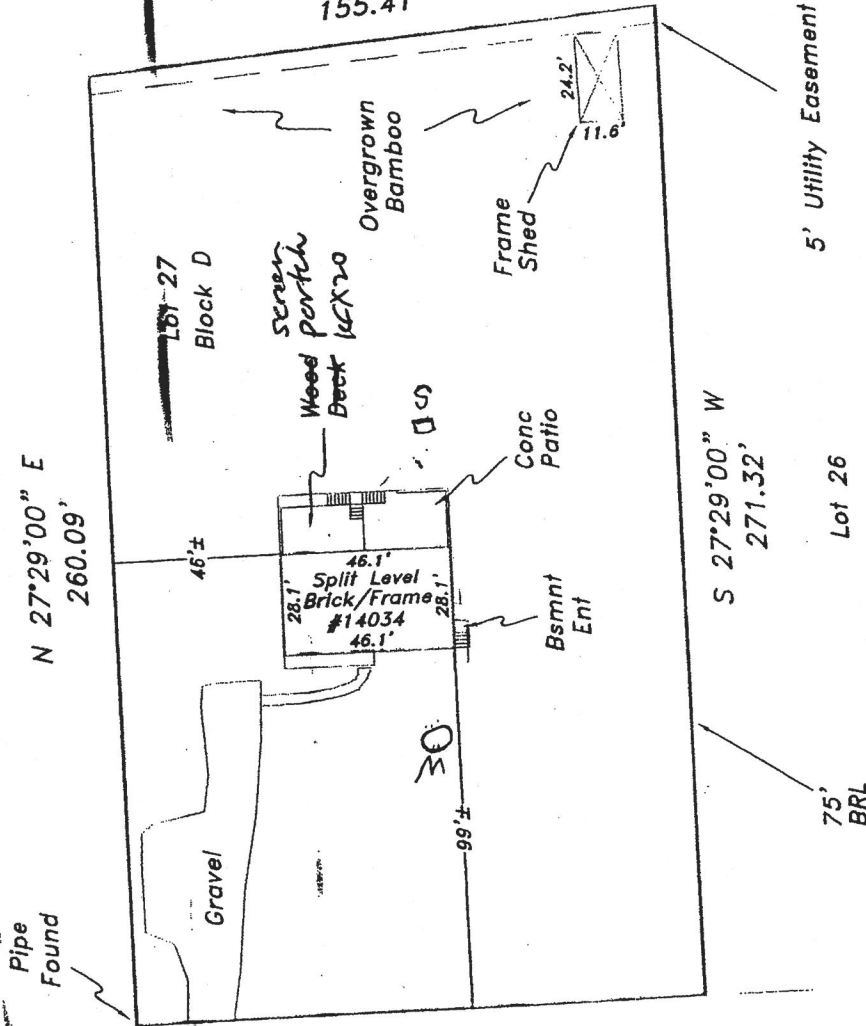
Okay to walk through per Dan S.

APPROVED

WALK-THRU BUILDING PERMIT
BP# 1515007334 A#

APP. SAN H. OSWALD DATE: 8/16/15

DESC. OF WORK: Enclose existing deck into a screened porch.
Existing stairs to remain. 4x20
S 66°39'54" E
155.41'



LOCATION DRAWING

14034 Burntwoods Road
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

Scale:	1" = 50'
Date:	10-25-14
Field By:	DR
Drawn By:	DR
File No.:	W14-226
Page No.:	1 of 2

NTT Associates, Inc.
16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315
www.nttsurveyors.com



James Carl Hudgins
Property Line Surveyor #96
Expiration Date: 3/11/16

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown herein, being known as:
Lot 27, Block D, Section Two,
BURNTWOOD
Plat 100

recorded among the land records of Howard County, Maryland in Plat Book 9
This is to certify that I either personally prepared or was in responsible charge over the preparation of this drawing and the surveying work reflected in it, all set forth in Regulation .12 of Chapter 09.13.06 of the Code of Maryland Annotated Regulations.

This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.



HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS

3430 Courthouse Drive

Ellicott City, Maryland 21043

410-313-2433

Robert J. Frances, P.E., Director
bfrances@howardcountymd.gov

FAX 410-313-3298
TDD 410-313-2323

Residential Walk Through Building Permit Process Licenses and Permits Division

The residential walk through building permit process applies to miscellaneous residential permits including garages and additions less than 600 square feet total. This procedure will allow the same day issuance of building permits in this category only.

NOTE: Effective October 1, 2004, properties served by well and septic require prior approval by Environmental Health Department before starting the walk through process. (see below)

Who is eligible to apply?

- Homeowners/contractors/owner's agent

When are applications accepted?

- **Thursdays only between the hours of 1:00 p.m. to 3:00 p.m.**
- All applications must be made in person

Where do you apply?

- Front Counter
Licenses and Permits Division
3430 Court House Drive; Ellicott City, MD 21043
Telephone #: (410) 313-2455, option #4

NOTE: Contact Environmental Health Department at (410) 313-1771 for information concerning required signature approval before starting the walk through process.

What is required?

- A completed building permit application
- Plot plans drawn to scale, except plot plans are not required for interior work
- All additions require construction drawings
- Payment of fees, payable to the Director of Finance
****CHECK, CASH OR MONEY ORDER ONLY ACCEPTED AT THIS TIME****

Typical miscellaneous residential building permits include but are not limited to the following:

Arbor over 200 sq. ft.

Chimney

Deck

Demolition

Detached kiosk over 200 sq. ft.

Fences over 6' high

(Less than 6' high subject to Zoning Regulations)

Fireplace

Gazebo over 200 sq. ft.

Hot tubs (framing plans required)

Shed over 200 sq. ft.

Solar collector (roof or ground mounted)

Tower

Woodstoves

Antenna over 12'

Dish antenna over 3' diameter

Inground swimming pool

Above ground pools

NOTE: PLEASE INCLUDE 10% TECHNOLOGY FEE.

Typical additions and alterations – residential building permits and following fee schedule.

garages screened porches/sunrooms
carports additions under 600 sq. ft. (additions over 1 story or 2nd story additions not accepted during walk-through process)

Fee Schedule:

Permit fee based on \$.18 per square foot calculation, plus \$25.00 non deductible filing fee. A \$1.15 excise tax and a \$1.25 school facilities surcharge per square foot applies to new or added areas only.

Typical residential alterations and following fee schedule.

finished basements interior alterations

Fee Schedule:

Filing Fee (non refundable)	\$25
Single/small room or area (200 square feet or less)	\$50
More than single floor or area (over 200 square feet)	\$100

REQUIRED INFORMATION FOR PLOT PLANS

Street address and name of abutting street.

Property lines and lot dimensions.

Lot/Parcel number and square footage.

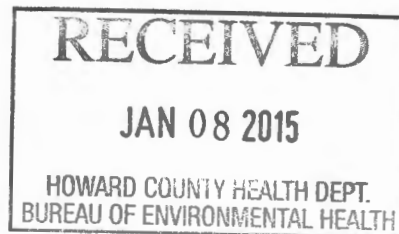
Building Restriction Lines (setback) and easement lines.

Show existing improvements (footprint), distances to property lines and dimensions or square footage.

Show proposed improvements, distances to property lines and dimensions.

Driveway or access.

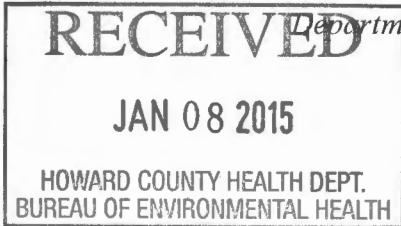
Subdivision name, section and area.





RESIDENTIAL BUILDING PERMIT CHECKLIST

Howard County Maryland



Department of Inspections, Licenses, and Permits

3430 Court House Drive
Ellicott City, MD 21043
Permits: 410-313-2455
www.howardcountymd.gov

(All forms will be provided by Howard County Department of Inspections, Licenses and Permits.)

Proposed Use _____ Existing Use _____

NEW RESIDENTIAL CONTRUCTION UNDER AN APPROVED SDP

1. Completed Building Permit Application
2. Two (2) copies of currently approved and signed site development plan (SDP)
3. Provide five (5) copies of individual site specific drawings to scale not to exceed 8.5" x 14" with house type, model and all options shown
4. Residential construction drawings - 2 sets including floor plan, elevations from all four (4) sides, wall bracing, detailed cross section and showing size of all materials. Must meet the 2012 IECC Requirements

Payment of applicable filing fees and guaranty fund: \$ _____

Payment of applicable water and/or sewer fees and applications. (Separate check required)

Grading permit

Lot Size _____ Area Disturbed _____
(Square Footage) (Square Footage)

Permit Fee, Excise Tax, and School Facilities Surcharge payable at Building Permit issuance
\$ _____

NEW RESIDENTIAL CONSTRUCTION NOT UNDER AN APPROVED SDP

1. Completed Building Permit Application
2. Provide five (5) copies of individual site specific drawings to scale not to exceed 8.5" x 14" with house type, model and all options shown *Or seven (7) total, see below
3. Two (2) full size copies of the site plan including:
 - Title block identifying the owner, builder, address, date, house type, lot number, north arrow
 - Show paving on site and provide paving specifications
 - Location of property and all proposed buildings
 - Setbacks from house to all property lines
 - Location of all easements, drainage facilities, building restriction lines
 - Existing and proposed wells, septic easements or septic systems, **if applicable**
 - Visible above ground utilities
 - House footprint complete with all options specific to this project including overhangs
 - Finish elevations of first floor levels including garage slab
 - Show all retaining walls. Show setback from wall to property lines for all retaining walls over 3' in height
 - Show limits of disturbance and tree removal
 - Show existing and proposed contours; swale arrows on all disturbed areas
 - Identify source of topography
 - Show spot grades at entrances; parking pads in front of garage; 20' in front of garage, all house corners and walkout(s). Show percentage grade of driveway
 - Proposed on-site sediment and erosion control measures
4. Residential construction drawings - 2 sets including floor plan, elevations from all four (4) sides, wall bracing, detailed cross section and showing size of all materials. Must meet the 2012 IECC Requirements

Payment of applicable filing fees and guaranty fund: \$ _____

Payment of applicable water and/or sewer fees and applications. (Separate check required)

(Over)

- Entrance Permit. Please note that a use and occupancy certificate will not be issued until entrance is completed to Bureau of Highways Standard & Specifications. (If property is located off of a State Highway, a bond is required.) Please select one below:
 - New dwelling
 - Driveway entrance **only** to vacant lot
 - Entrance form not required for lots approved under SDP
- Well/septic: Well must be drilled prior to acceptance of building permit application.
- Grading permit
 - Lot Size _____ Area Disturbed _____
 - (Square Footage) (Square Footage)
- Permit Fee, Excise Tax, and School Facilities Surcharge payable at Building Permit issuance**

ADDITIONS AND MISCELLANEOUS STRUCTURES

1. Five (5) copies of plot plans to scale not to exceed 8.5" x 14" including:
 - Location of property, all existing and proposed structures
 - Distances to boundary lines from all sides and location of well and septic, **if applicable**
2. → Residential construction drawings - 2 sets including floor plan, elevations from all four (4) sides, wall bracing, detailed cross section and showing size of all materials. Must meet the 2012 IECC Requirements.

Payment of applicable filing fees: \$ _____

Permit Fee, Excise Tax, and School Facilities Surcharge per square foot to new or added areas only and payable at Building Permit issuance \$ _____

Technology Fee 10% of Permit Fee

APPLICABLE AGENCY REVIEW AND STANDARDS INFORMATION

1. Department of Planning and Zoning - Reviewed for compliance to Zoning and Subdivision Regulations with regard to setbacks.
2. Department of Planning and Zoning/Bureau of Engineering - Reviewed for presence of water and sewer and payment of fees; compliance with 100 Year Floodplain Law
3. State of Maryland/Environmental Health Department - Compliance with State Health Regulations; well and septic tank elevation approved.
4. Department of Inspections, Licenses and Permits/Plan Review Division - Compliance with current Building Code regulations; assessing fees. Compliance with sediment control programs and regulations.
5. State of Maryland/Highway Administration - Compliance with their programs and regulations.

NOTE: To determine the approval status of your permit, you may access the automated inspection and permit information system 24 hours a day at (410) 313-3800 or through our Citizens Access Website: **myhoward.info**

Check or Money Orders Only. All fees are made payable to:
Director of Finance - Howard County.

Building permits are issued/accepted between the hours of 8:00 a.m. – 4:30 p.m., Monday through Friday.

****IMPORTANT** INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Wednesday, August 14, 2019 1:38 PM
To: 'richard lee'
Subject: RE: 14034 burntwoods

We are fine with the plastic window to satisfy DILP and achieve our requirement of removing the insulation. You will just revise the scope of work for the existing building permit for our approval. Thanks
Jeff

From: richard lee <rclee1031@gmail.com>
Sent: Wednesday, August 07, 2019 5:11 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14034 burntwoods

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr Williams,

I just came back from the Building Inspections/Permit office. It was very informative. This is what I learned.

1) I found out the the Health department and the Building Permit department won't agree on the insulation requirement for a sunroom. The building department said that in order for them to close out the permit, insulation is required in the sunroom. However I know that you said insulation must be taken out of the 3 walls surrounding the sunroom. He (George, supervisor) recognizes that this is a catch-22.

2) To get around this he said that we should try and build the sunroom according to the category 1/2 definition of sunrooms. Please see attached for those definitions. Category 1/2 dictates that we'll need to a) erect a wall and door to separate the sunroom b) glass panes will need to be replaced by a plastic alternative (he recommended the brand EZ Breeze) and c) we would be able to take out the insulation. This would allow for the building permit department to close the permit. Do these changes satisfy the health department requirements for approval of the sunroom? Please advise.

3) If the health department agrees to these changes, we would need to revise our permit to include these changes. The building department would then send this permit/instructions over to your department for approval. We would then hire a contractor to perform said changes and hopefully receive approval from both your department and the building department. Does that sound about right?

Thank you for your help on this matter.

Richard

On Mon, Aug 5, 2019 at 1:19 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Also remove any hvac connections from the main house to the porch if there are any. Thanks
Jeff

-----Original Message-----

Williams, Jeffrey

From: richard lee <rclee1031@gmail.com>
Sent: Wednesday, August 07, 2019 5:11 PM
To: Williams, Jeffrey
Subject: Re: 14034 burntwoods
Attachments: IMG_0338.jpg

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr Williams,

I just came back from the Building Inspections/Permit office. It was very informative. This is what I learned.

1) I found out the the Health department and the Building Permit department won't agree on the insulation requirement for a sunroom. The building department said that in order for them to close out the permit, insulation is required in the sunroom. However I know that you said insulation must be taken out of the 3 walls surrounding the sunroom. He (George, supervisor) recognizes that this is a catch-22.

2) To get around this he said that we should try and build the sunroom according to the category 1/2 definition of sunrooms. Please see attached for those definitions. Category 1/2 dictates that we'll need to a) erect a wall and door to separate the sunroom b) glass panes will need to be replaced by a plastic alternative (he recommended the brand EZ Breeze) and c) we would be able to take out the insulation. This would allow for the building permit department to close the permit. Do these changes satisfy the health department requirements for approval of the sunroom? Please advise.

3) If the health department agrees to these changes, we would need to revise our permit to include these changes. The building department would then send this permit/instructions over to your department for approval. We would then hire a contractor to perform said changes and hopefully receive approval from both your department and the building department. Does that sound about right?

Thank you for your help on this matter.

Richard

On Mon, Aug 5, 2019 at 1:19 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:
Also remove any hvac connections from the main house to the porch if there are any. Thanks
Jeff

-----Original Message-----

From: richard lee <rclee1031@gmail.com>
Sent: Monday, August 05, 2019 11:13 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 14034 burntwoods

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

SITE INSPECTION SHEET

OWNER: Joanne Park PHONE #: _____

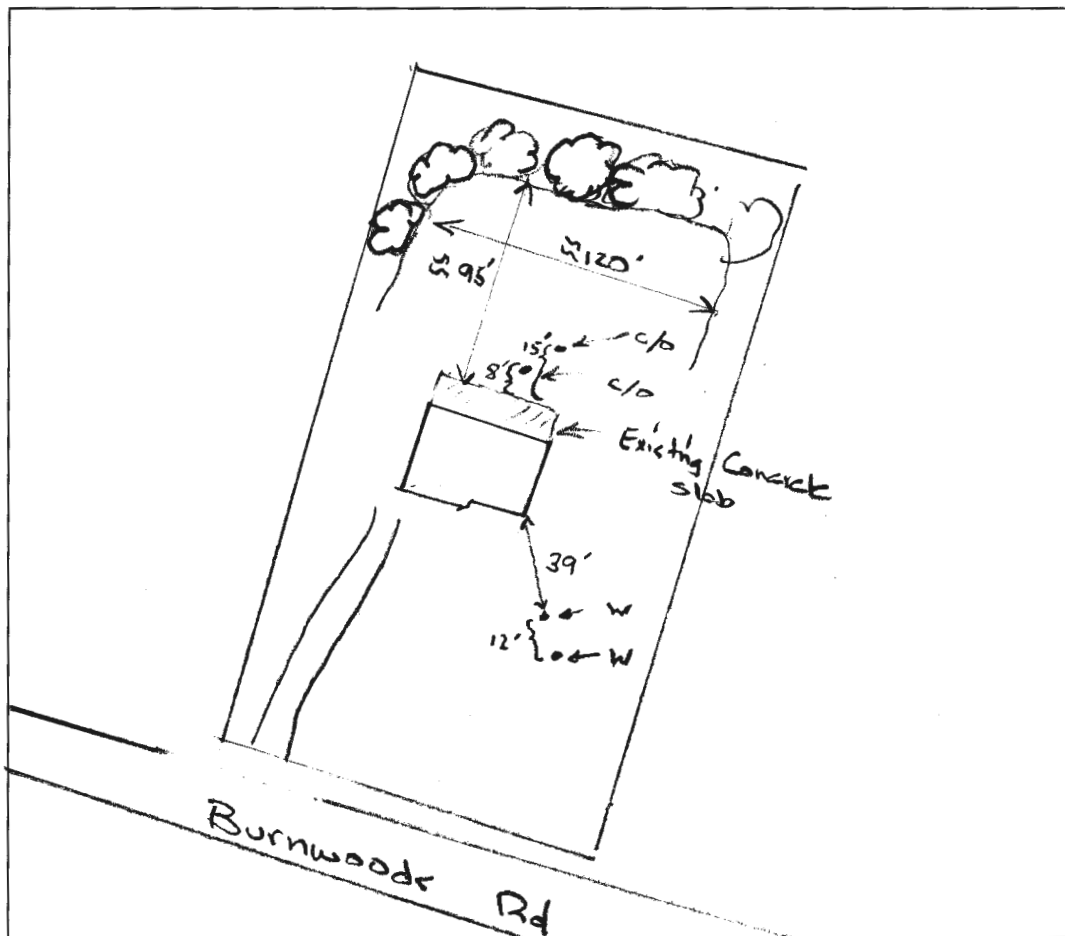
ADDRESS: 14034 Burnwoods Rd CONTRACTOR: _____

Glendale WELL TAG #: No Tags were observed

SUBDIVISION: _____ LOT: _____ COUNTY #: 13

PROPOSAL: Sunroom + deck addition over existing concrete slab

LOCATION DIAGRAM



COMMENTS: Site inspection conducted. Property has 2 wells onsite. The area around c/o + SDA was dry w/ no odds.

DATE: 1/16/15 INSPECTOR: Hank Oswald

Oswald, Hank

From: Sophia Park <s.park115@gmail.com>
Sent: Thursday, February 19, 2015 9:33 PM
To: Oswald, Hank
Subject: Re: 14034 Burntwoods Road

Hi Hank,

On the right side of the map- the bottom 2 rooms are bedrooms, the top right is a bedroom and the smaller room to the top right is the bathroom. If there is anything else you need to know, please let me know! Thank you.

-Sophia

On Thu, Feb 19, 2015 at 4:10 PM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hi Sophia:

Attached is the floor plan of the existing lower level. Would you please clarify which rooms are bedrooms and which room is the full bathroom.

Thanks,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Bureau of Environmental Health

Well & Septic Program

410.313.1786

Oswald, Hank

From: Oswald, Hank
Sent: Friday, August 31, 2018 2:52 PM
To: 'parkjos88@gmail.com'
Subject: B18002913_14034 Burntwoods Road

Hello Mr. Park:

I wanted to follow-up with you about a site visit conducted on 8/30/18. While on site, my coworker observed the ground to be unusually saturated around the septic tank which may suggest an issue with the septic tank or septic system. In order to rule out a problem, the septic tank should be pumped and the system evaluated prior to building permit approval.

Please hire a licensed septic contractor to pump the tank and evaluate the system. I've attached a list of septic contractors for your convenience.

Should you have any questions, please don't hesitate to ask.

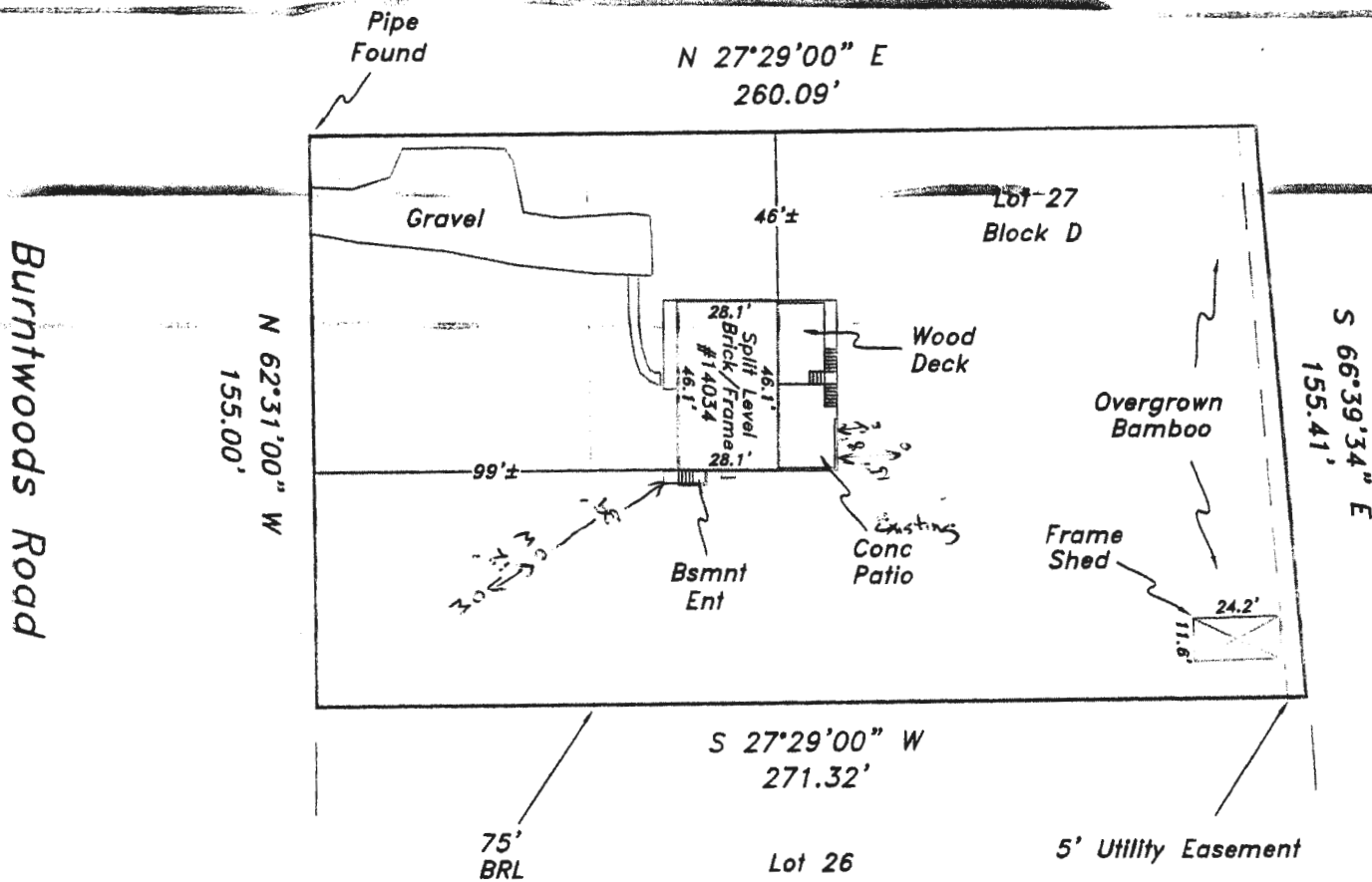
Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

CONFIDENTIALITY NOTICE

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purpose of this drawing is to locate, describe, and represent the locations of buildings and substantial improvements affecting the party shown hereon, being known as:
 Lot 27, Block D, Section Two,
 BURNTWOOD
 recorded among the land records of Howard County, Maryland in Book 9 Plat 100

I do certify that I either personally prepared or was in responsible charge of the preparation of this drawing and the surveying work reflected in it, and I am a duly Licensed Professional Surveyor in Regulation .12 of Chapter 09.13.06 of the Code of Maryland and I am duly Licensed and Registered.

This page one of a two page document. The advice found on the affixed seal is an integral part of this drawing, and is not valid without all pages.



James Carl Hudgins
 Property Line Surveyor #96
 Expiration Date: 3/11/16

LOCATION DRAWING
 14034 Burntwoods Road
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

NTT Associates, Inc.
 16205 Old Frederick Rd.
 Mt. Airy, Maryland 21771
 Phone: (410) 442-2031
 Fax: (410) 442-1315
 www.nttsurveyors.com

Scale:	1" = 50'
Date:	10-25-14
Field By:	DR
Drawn By:	DR
File No.:	W14-226
Page No.:	1 of 2



RESOLUTIONS
Consulting Engineers
RESIDENTIAL
ENGINEERING
SOLUTIONS

John S. Rossi, P.E.
Principal
Matthew A. Rudy, P.E.
Associate
Charles J. Angelilli, P.E.
Senior Project Engineer

BRIEF STATEMENT OF OPINIONS

1001 Spring Street, Suite 227 • Silver Spring, MD 20910

301.587.1777 • Fax 301.588.1250

Site Visit Date: 18 July 2018

Our Project No.: 218C154

Team@RESolutionsDC.com

www.RESolutionsDC.com

Project Name and Address: 14034 Burntwoods Road, Glenelg, Maryland

Issue(s) to be Reviewed: Construction of rear enclosed porch without a permit

Engineer Present on Site: Matthew A. Rudy-Logue, P.E.

Opinions:

Page 1/4

We understand that instead of constructing a new, rear screened porch at your home, an enclosed sunroom was constructed without an appropriate permit. To be clear, we have not performed a full analysis of the new structure, beams, posts, or related components. Our opinions and recommendations below are based on visual observations only, and are meant to serve as a general plan of action to help you obtain a permit for the constructed structure (in tandem with assistance from the Howard County Department of Inspections, Licenses, and Permits).

- At the time of our site visit, we were able to observe the headers and posts along the rear face of the enclosed room. The headers consisted of multiple plies of 11 1/4" LVL (Laminated Veneer Lumber) material, and each header was observed to have one jack- and one king-stud. In our opinion, these headers and posts appear to be appropriately sized for the window openings. We do not feel that action is needed to further address the headers and posts.
- Beneath the sunroom, the deck/room support posts were observed to rest atop small brick piers. If the deck posts are only relying on gravity to stay in place (i.e., without anchors or connectors or the like), then this condition is not sufficient in our opinion. Posts need to be *fastened* to their surrounding elements; in this case, the posts would need to be connected to the brick piers via post base connectors, anchor bolts, or the like. It is also possible that anchor bolts are already present in the elements; we simply could not verify this onsite.

Furthermore, we do not know if this is an element flagged for review by Howard County; we recommend that you follow-up with the Howard County Department of Inspections, Licenses, and Permits to determine if the construction of the 'deck' structure is to be included in the 'permit review' for this project.

Good, Rossi & Associates, P.C.
A Professional Corporation, T/A Residential Engineering Solutions

Special Notes for Brief Evaluations of Structures: It should be understood that a visual observation of the readily accessible portions of an existing structure is an evaluation limited in time and scope, and does not constitute a warranty or guarantee of the structure or of its adequacy. To conduct a brief structural evaluation for the quoted fee, we are required to make certain assumptions regarding existing conditions, which cannot be adequately verified without destroying otherwise adequate or serviceable portions of the structure. By accepting this report, the Client hereby understands and accepts the limitations that are inherent in a brief professional evaluation. This brief statement of opinions is intended to serve as a reminder of issues discussed in depth while on site. It shall not be used in lieu of a formal, written report, which typically includes detailed descriptions of our observations, opinions and recommendations for future action. Additional follow-up investigation is recommended for any on-going issues, such as cracking. Further, in-depth investigation is available upon request for a fee. Repair Design Documents, professionally prepared by a licensed structural engineer, is strongly recommended for most issues, and required for others. Please inquire for a fee quotation.

BY CONTRACT, OUR LIABILITY IS LIMITED TO THE AMOUNT OF THE PAID FEE.



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Team@RESolutionsDC.com
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Site Visit Date: 18 July 2018

Our Project No.: 218C154

Project Name and Address: 14034 Burntwoods Road, Glenelg, Maryland

Issue(s) to be Reviewed: Construction of rear enclosed porch without a permit

Engineer Present on Site: Matthew A. Rudy-Logue, P.E.

Opinions:

Page 2/4

- In our opinion, based on our visual observations, the largest impediment to code compliance is lack of sufficient wind bracing. Current building codes require a certain amount of stiffened, solid wall elements/area in a given wall. In its simplest form, code-required wind-bracing dictates certain amounts of wall area versus window/door area. The current building code further describes a number of different types, construction methods, and ratios of wind bracing. In this case, the rear wall does not appear to meet *any* of the code-appropriate wind-bracing methods. The bulleted items below further summarize the three walls of the enclosed room (directions are given as one looks at the house from the street).
 - The left side of the sunroom appears to meet wind-bracing requirements, in our opinion. We were able to see the wall [plywood] sheathing through gaps in the exterior finish; the wall sheathing appeared to be ½"-thick plywood. While we were not able to verify the size or spacing of the sheathing fasteners, common construction practice is to install plywood fasteners at 6" on center. Lastly, the area of solid wall on this face of the house would be more than adequate for wind bracing requirements. Based on our visual observations, we do not believe that additional wind bracing considerations are needed at this face of the room.
 - The right side of the sunroom also appears to meet wind-bracing requirements, in our opinion. Similar to the opposite face, we observed ½"-thick plywood behind the exterior finish. We believe that this plywood is applied to all exterior faces of this wall, including above and below the openings. Consequently, we feel that this wall qualifies for and meets the wind-bracing requirements for 'continuous sheathing' (one of the other combinations/permutations of wind bracing methods). Based on our visual observations, we do not believe that additional wind bracing considerations are needed at this face of the room.

Good, Rossi & Associates, P.C.
A Professional Corporation, T/A Residential Engineering Solutions

Special Notes for Brief Evaluations of Structures: It should be understood that a visual observation of the readily accessible portions of an existing structure is an evaluation limited in time and scope, and does not constitute a warranty or guarantee of the structure or of its adequacy. To conduct a brief structural evaluation for the quoted fee, we are required to make certain assumptions regarding existing conditions, which cannot be adequately verified without destroying otherwise adequate or serviceable portions of the structure. By accepting this report, the Client hereby understands and accepts the limitations that are inherent in a brief professional evaluation. This brief statement of opinions is intended to serve as a reminder of issues discussed in depth while on site. It shall not be used in lieu of a formal, written report, which typically includes detailed descriptions of our observations, opinions and recommendations for future action. Additional follow-up investigation is recommended for any on-going issues, such as cracking. Further, in-depth investigation is available upon request for a fee. Repair Design Documents, professionally prepared by a licensed structural engineer, is strongly recommended for most issues, and required for others. Please inquire for a fee quotation.

BY CONTRACT, OUR LIABILITY IS LIMITED TO THE AMOUNT OF THE PAID FEE.



* See George *

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2018 AUG 17 PM 1:23

Date Received: _____

Permit No.: **B18002913**

Building Address: 14034 Burntwoods Rd
City: Stenely State: MD Zip Code: 21737
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: _____ Tax Map: _____ Parcel: _____

Property Owner's Name: Joshua Park
Address: 14034 Burntwoods Rd
City: Stenely State: MD Zip Code: 21737
Phone: _____ Fax: _____
Email: (240) 328-8089 PARK.JOSHA@GMAIL.COM

Existing Use: SFD
Proposed Use: SAME
Estimated Construction Cost: \$ About 4,000
Description of Work: ENCLOSING REAR PORCH
SCREEN PORCH TO SUNROOM
per engineer's recommendation
As built 14 X 20

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: Owner
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

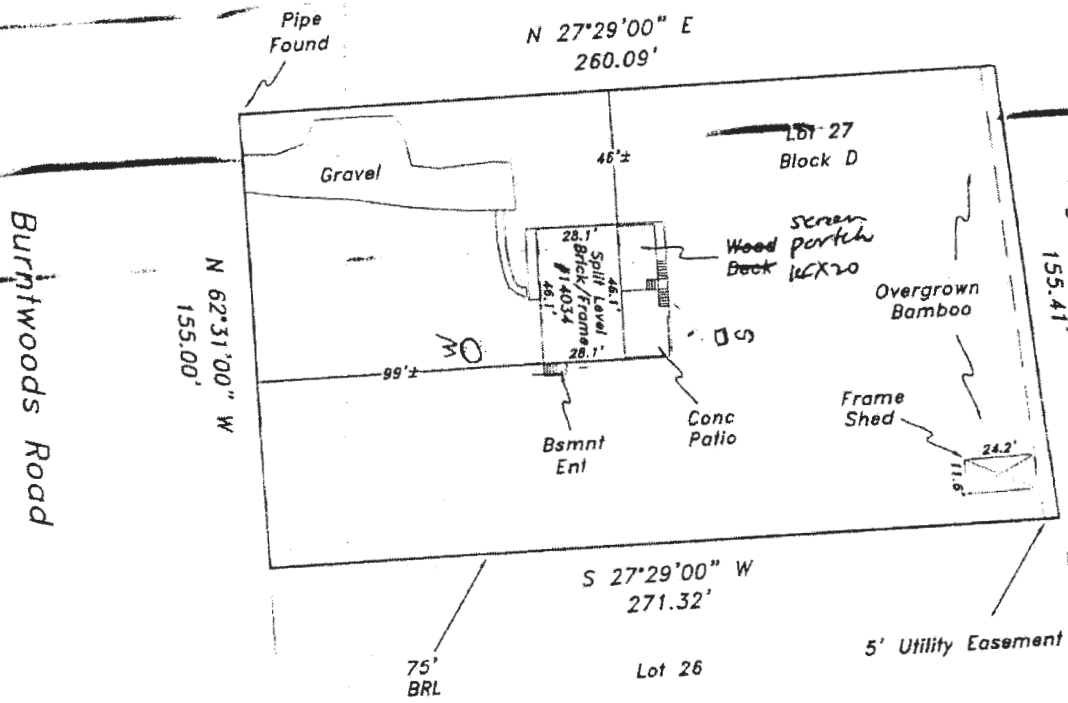
Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Joshua Park Print Name: Joshua Park
Email Address: Park.jos88@gmail.com Date: 08/17/18
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY



APPROVED

~~WALKER TRU BUILDING PERMIT~~
~~BP# M15007334~~ A#
~~APR SAN 11.06.2015~~ DATE: 8/16/15
~~DISC. OF WORK. ENCLOS. EXISTING~~
~~DATE: 10/10/15~~
~~DATE: 10/10/15~~

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:
BURNTWOOD
 Lot 27, Block D, Section Two,
 recorded among the land records of Howard County, Maryland in Plat Book 9 Plat 100

This is to certify that I either personally prepared or was in responsible charge over the preparation of this drawing and the surveying work reflected in it, all set forth in Regulation .12 of Chapter 09.13.06 of the Code of Maryland Annotated Regulations.

This is page one of a two page document. The advice found on the affixed seal is an integral part of this drawing, and is not valid without all pages.

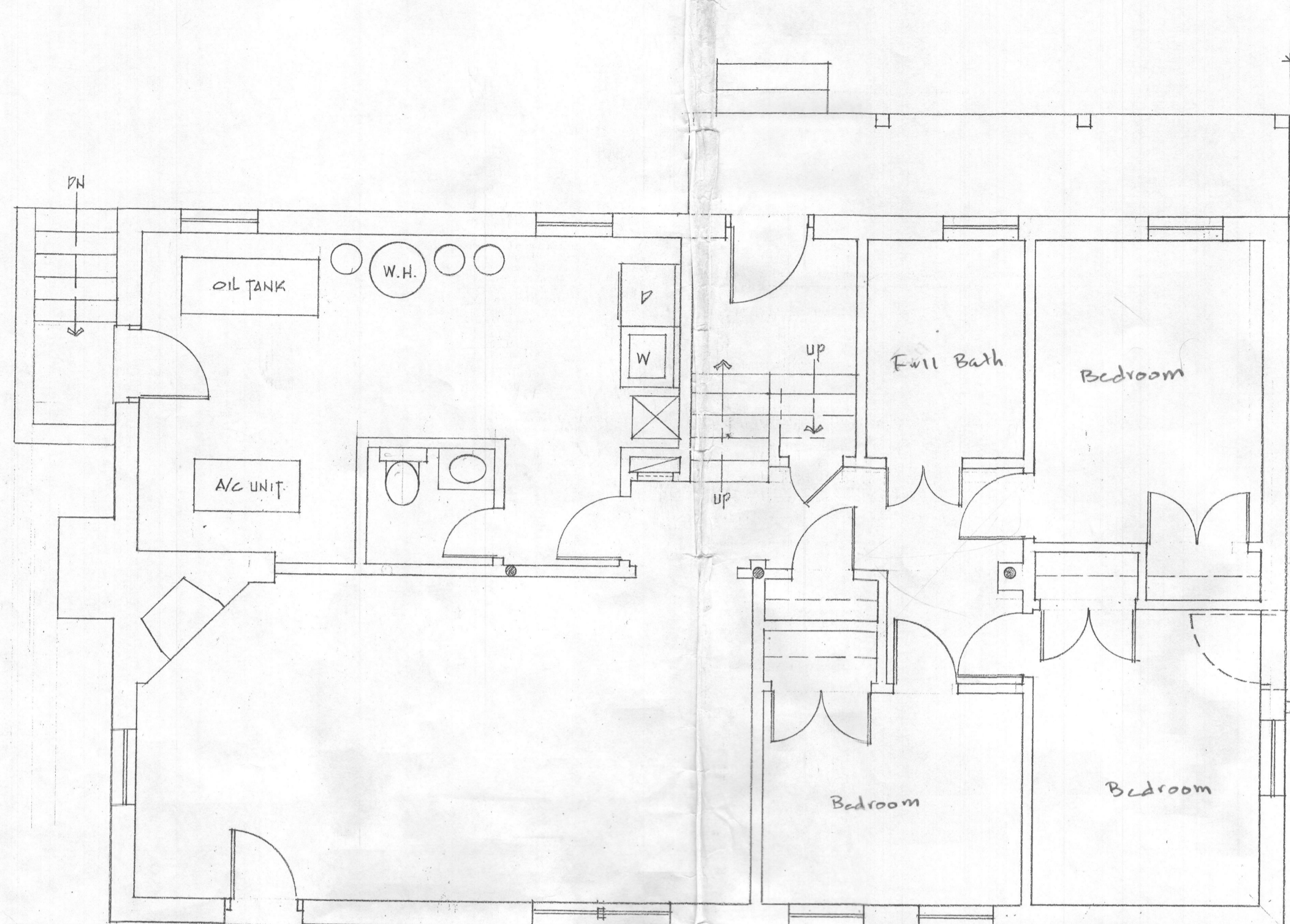


James Carl Hudgins
 Property Line Surveyor #96
 Expiration Date: 3/11/16

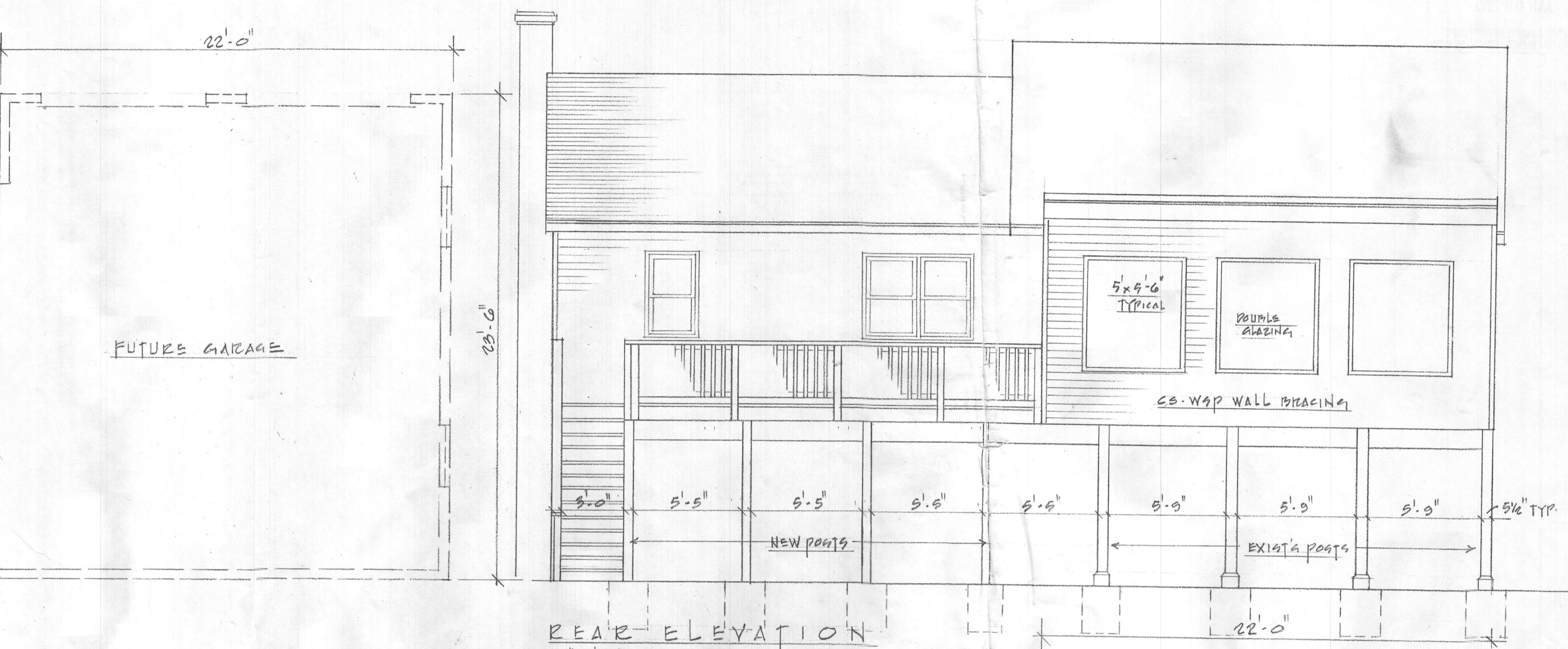
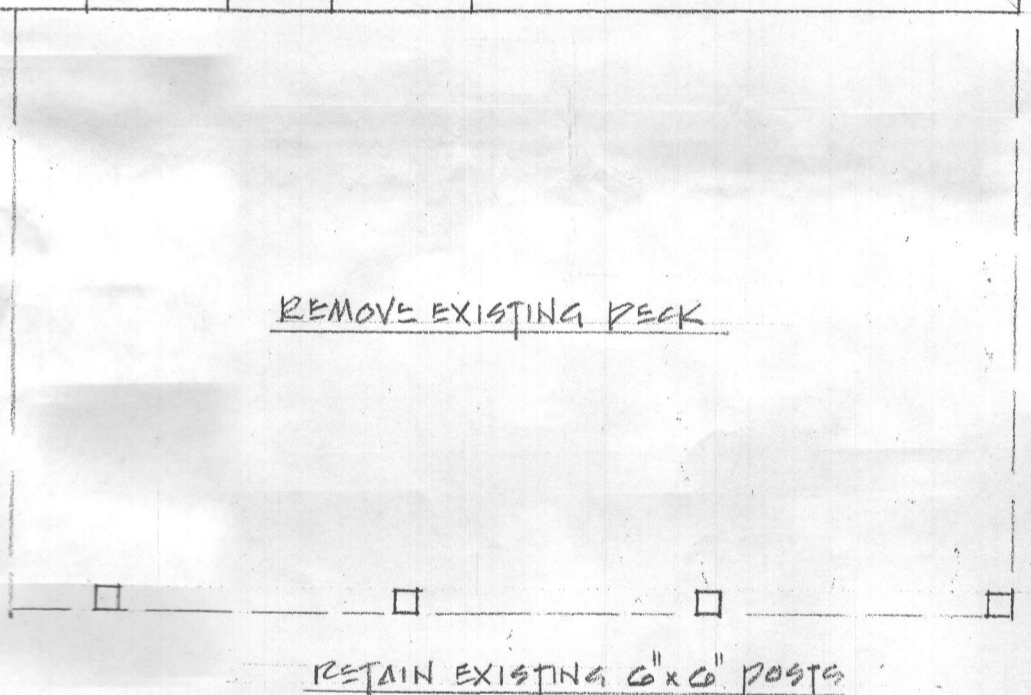
LOCATION DRAWING
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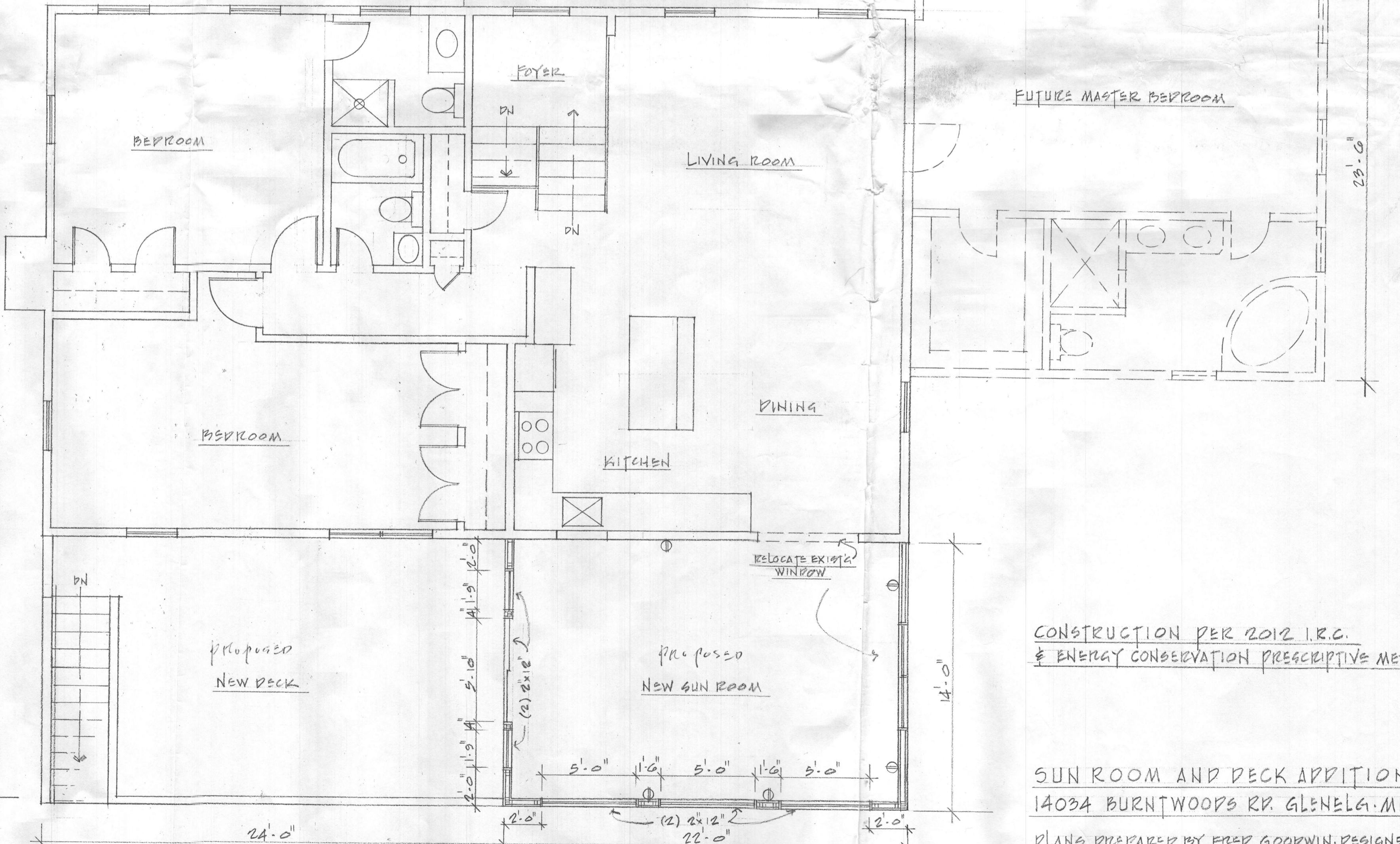
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Drawn By:	DR
File No.:	W14-226
Page No.:	1 of 2



EXISTING LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



EXISTING UPPER LEVEL W/ NEW ADDITIONS
1/4" = 1'-0"

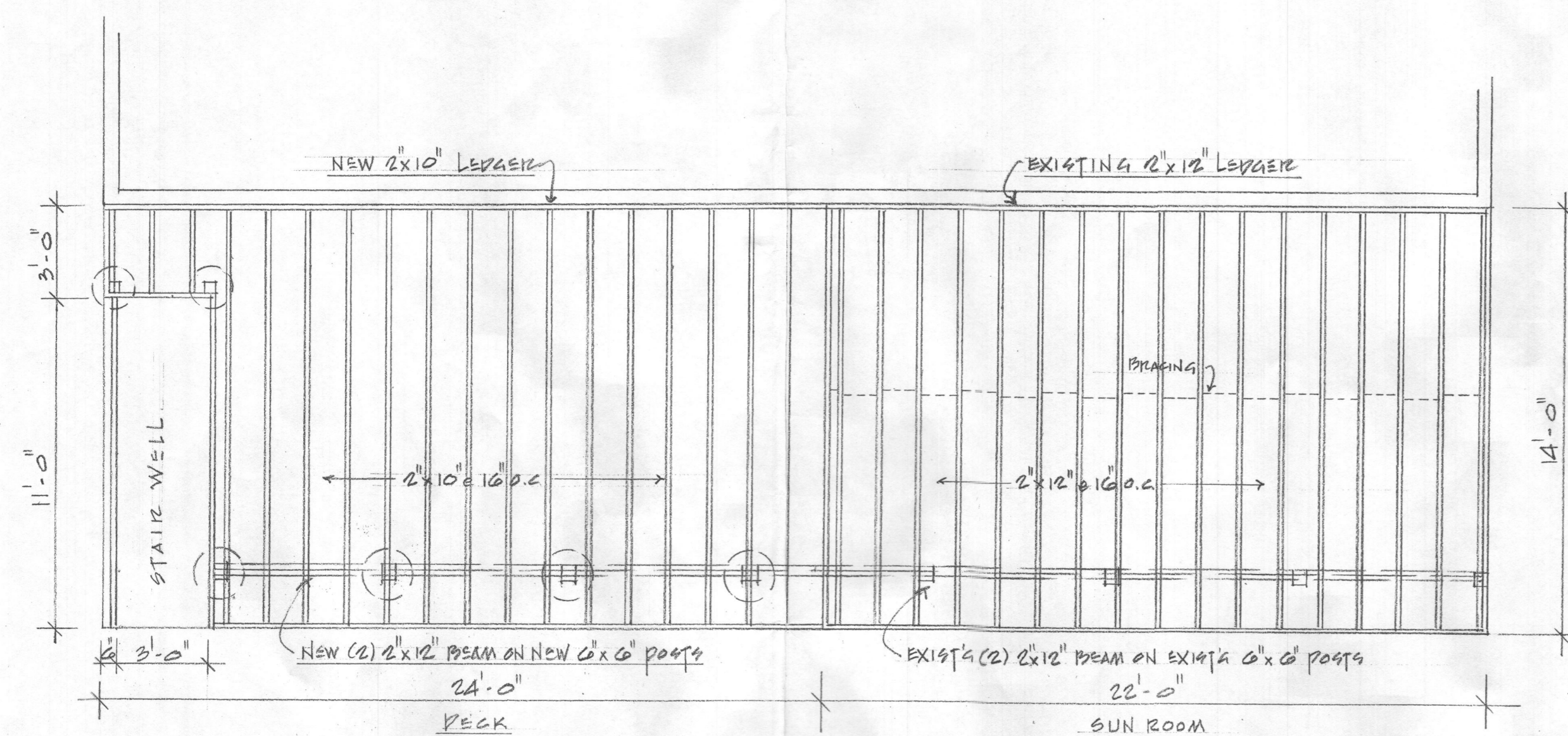


SIDE ELEVATION
1/4" = 1'-0"

CONSTRUCTION PER 2012 I.R.C.
& ENERGY CONSERVATION PRESCRIPTIVE METHOD

SUN ROOM AND DECK ADDITION
14034 BURNWOODS RR. GLENELG, MD

PLANS PREPARED BY FRED GOODWIN, DESIGNER
16817 MALABAR STREET, DERWOOD, MD, 20855
TEL: 301 268 5108



FLOOR FRAMING PLAN
1/4" = 1'-0"

JOIST-TO-BEAM CONNECTION

Each joist shall be attached to the beam as shown in FIGURE 7. Use Option 1 or Option 2 when joists bear on or overhang past the beam; see FIGURE 1 and FIGURE 3. Use Option 3 when joists attach to the side of the beam; see FIGURE 2. Mechanical fasteners or hurricane clips used in Option 2 shall have a minimum capacity of 100 lbs in both uplift and lateral load directions. See manufacturer's recommendations for additional requirements. See JOIST HANGERS on Sheet 6 for more information.

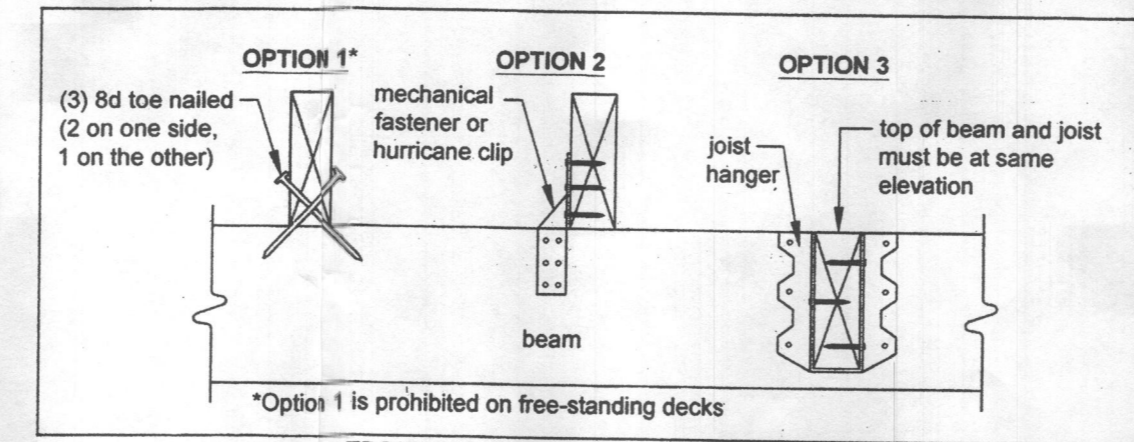


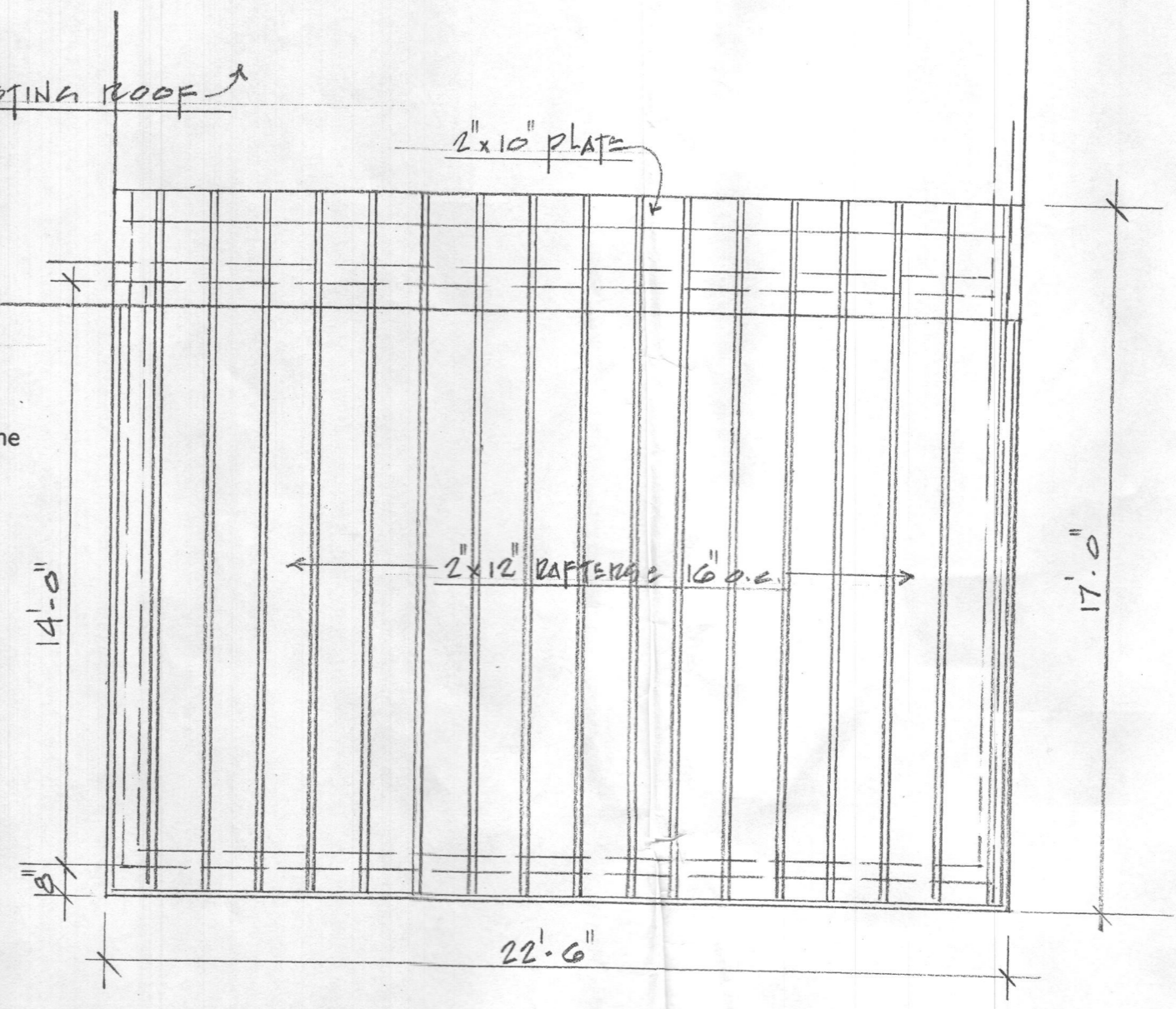
FIGURE 7: JOIST-TO-BEAM DETAIL

WALL BRACING DATA

TABLE 7: FASTENING SCHEDULE CONNECTION CRITERIA *

METHOD	Fasteners	Spacing
LTB	Wood: 2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails Metal: per manufacturer	Wood: per stud and top and bottom plates Metal: per manufacturer
WSP, CS-WSP, CS-G	• 1/2" thickness: 6d (2" long x 0.113" dia.) common nails • 3/4" thickness: 8d for (2 1/2" long x 0.131" dia.) common nails	6" edges 12" field
SFB, CS-SFB	• 1/2" thickness: 1 1/2" long x 0.127" dia. common nails • 3/4" thickness: 1 3/4" long x 0.127" dia. common nails • 1" thickness: 1 3/4" long x 0.131" dia. common nails	3" edges 6" field
GB	• Type W or S screws • Other fastener types are acceptable, see the 2009 Virginia Residential Code	7" edges (including top and bottom plates) 7" field
PFH, PFG, CS-PF	See corresponding figures for the fastening requirements of each portal frame method.	

ROOF FRAMING PLAN
1/4" = 1'-0"



STRUCTURAL NOTES

BUILDING CODE: International Code 2012 IBC
STRUCTURAL LOADING INFORMATION:

Floor Live Loads:	Ground level 100 psf, 2nd floor storage 80 psf
Roof Live Load:	30 psf
Snow Load:	Pg = 30 psf Ce = 1.0 I = 1.3 PF = 22 psf
Wind Load:	Building was designed for 30 psf Basic Wind Speed: 90 mph Exposure: B Importance Factor: 1.0 Wind Force Table 1609.6.2.1(1) = 1.9 psf Wind Force = 11.9 x 1.0 coef. = 11.9 psf
Earthquake Loads:	Seismic design is not critical Ss = 0.03 S1 = 0.24 Site Classification C Fa = 1.8 Fv = 2.4 Seismic Design Category A

CONSTRUCTION SAFETY: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.

FOUNDATION BEARING: Assumed at 2500 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign.

FOUNDATIONS: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade. Exterior foundations shall be placed not less than 2'-0" below adjacent finished exterior grade. Utility lines shall not be placed through or below foundations without the written approval of the Contractor. Maintain 2:1 slope from bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations.

CONCRETE: Shall be mixed and placed in accordance with the current "American Concrete Institute (ACI 318-02) Building Code Requirements for Structural Concrete". All concrete to have a compressive strength (fc) of 3000 psi, unless otherwise noted. All concrete exposed to the weather to have a compressive strength of fc = 4000 psi (6% air entrained, w/c ratio not to exceed .45, minimum cement 564 pounds per cu yd).

REINFORCING STEEL: Shall conform to ASTM Specification A615, Grade 60 for bars as per ASTM Specification A185 for welded wire mesh (WWM). Fabrication, including accessories, allowance for concrete protection and minimum area of steel required, shall be in accordance with the ACI Building Code and CRSI Manual of Standard Practice.

FRAMING LUMBER: All wood construction including lumber, connections, and details shall be in accordance with the requirements of the local building code and the current "National Design Specification" by the American Forest & Paper Association. Framing lumber shall be as follows: Studs = SPF #2, Beams, Lintels, Headers = Hem Fir #2. All lumber shall be dried to a minimum 19% moisture content (noted S-dry or MC-19). All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum framing anchors, unless otherwise noted or shown. Use IBC 2304.9.1 for nailing schedule, unless noted otherwise. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. All interior stud bearing walls shall be bridged (with solid members) at mid height. Exterior bearing walls up to 8'-2" in height and sheathed with plywood or OSB (oriented strand board) shall not need mid span bridging. All other exterior bearing walls shall be bridged (with solid locking)

at mid height, unless otherwise noted. All lintels, headers shall be supported on double jack studs plus one full length stud unless otherwise noted. All lumber exposed to the weather or in contact with the ground, concrete or masonry must be pressure treated. All fasteners used with pressure treated lumber must meet latest building codes. Triple coated connectors are to be used.

Cutting and Notching: It is not permitted to notch, cut or pierce wood beams, joists, rafters or suitably reinforced to transmit all calculated loads.

Notches: Notch depth in the top or bottom of the joists, rafters and beams shall not exceed one-sixth the depth of the members and shall not be located in the middle one-third of the span. Notch depth at the ends of the members shall not exceed one-fourth the depth of the member. The tension side of beams, joists and rafters of 4-inch or greater nominal thickness shall not be notched, except at ends of members.

Holes: Holes bored or cut into joists or beams for piping or electrical cables shall not be less than 2 inches (51mm) from the top or bottom of the joist and the diameter of the hole shall not exceed one-third the depth of the joist. These penetrations must occur in the middle one-third of the span. In studs of bearing walls or partitions, notches or bored holes made to receive piping, electrical conduit, air conditioning or heating ductwork or for other fabricating purposes shall not be cut or bored more than one-third the depth of the stud.

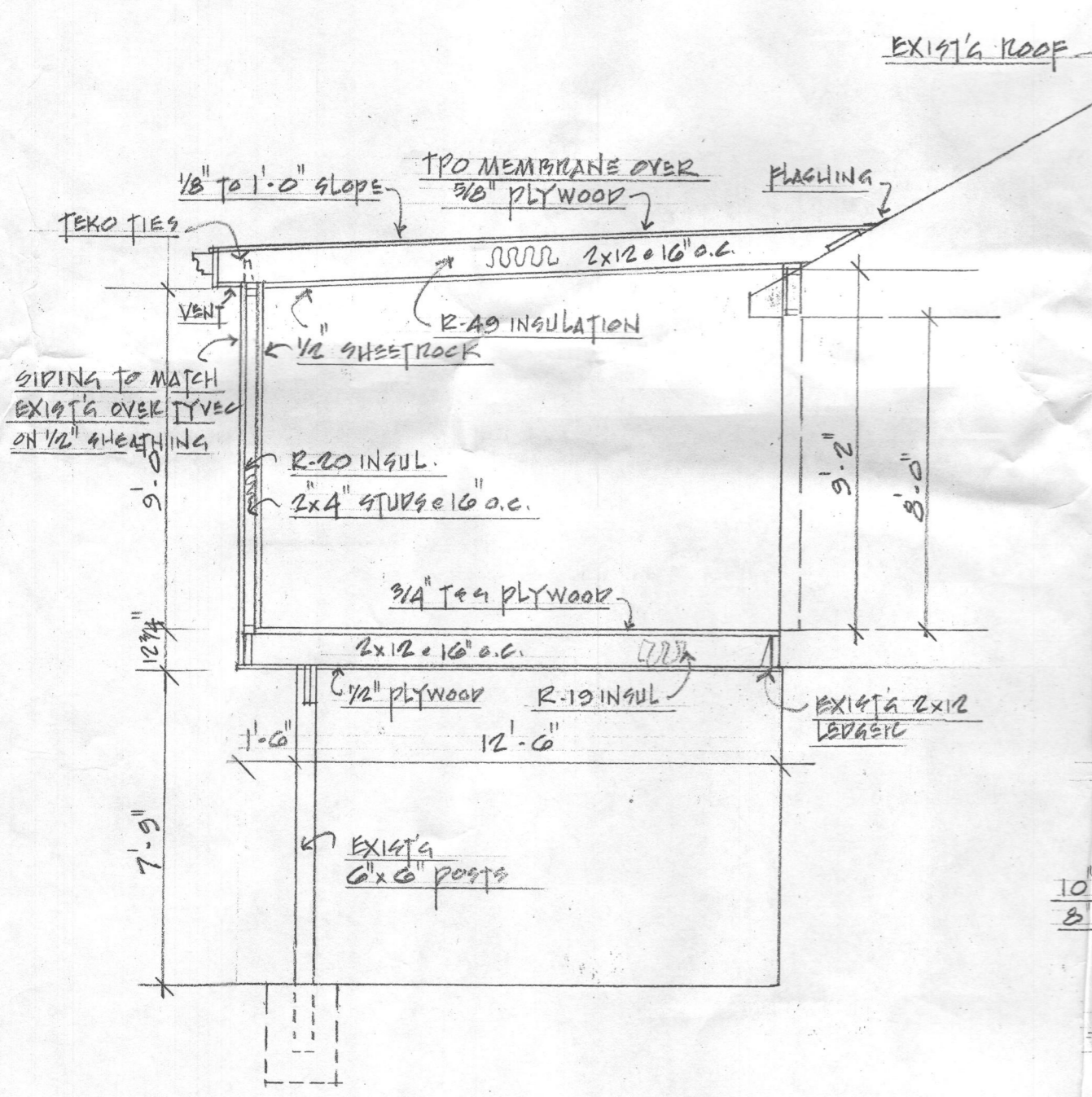
Reinforcement: Where the stud is cut or bored in excess of one-third its depth, the stud shall be reinforced to be equal in load-carrying capacity to a stud notched not more than one-third its depth.

Trimmer and Header Beams: Where determined necessary by stress analysis, trimmer and header beams shall be hung in approved stirrups or hangers, unless supported on a wall, girder or column.

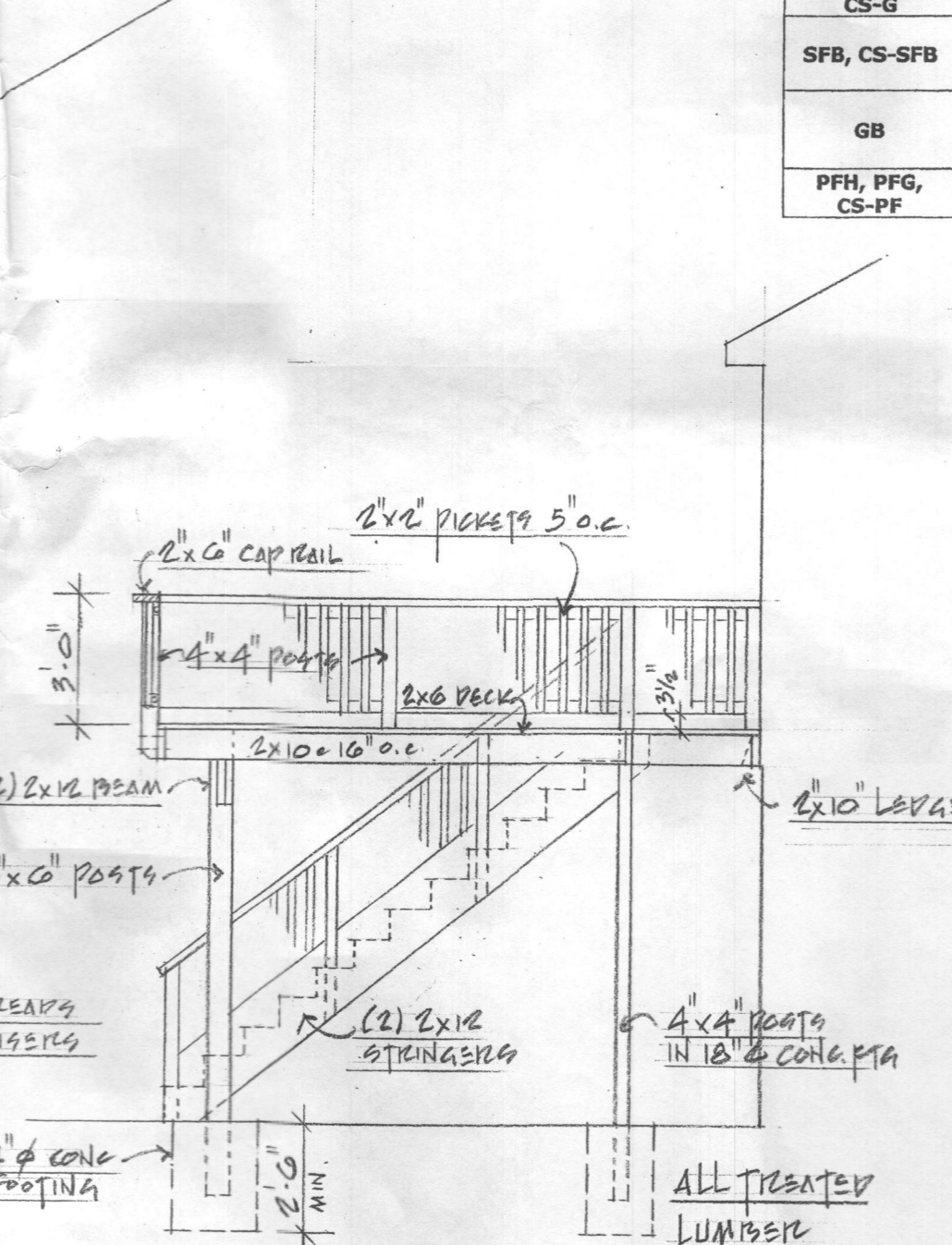
Bearing and Anchorage on Sides: All members of framing into girders shall be anchored or tied to secure continuity. The ends of all wood beams or joists resting on girders shall bear not less than 4 inches or shall be supported in approved metal stirrups, hangers or on wood clips or ribbon strips.

Beams framing from opposite sides shall lap at least 6 inches and be bolted or spiked together, and when framing end-to-end, the beams shall be secured together by approved ties, straps, dogs, plates or sheathing. Where noted on plan use fire retardant lumber, see the FIRE RETARDANT LUMBER NOTE.

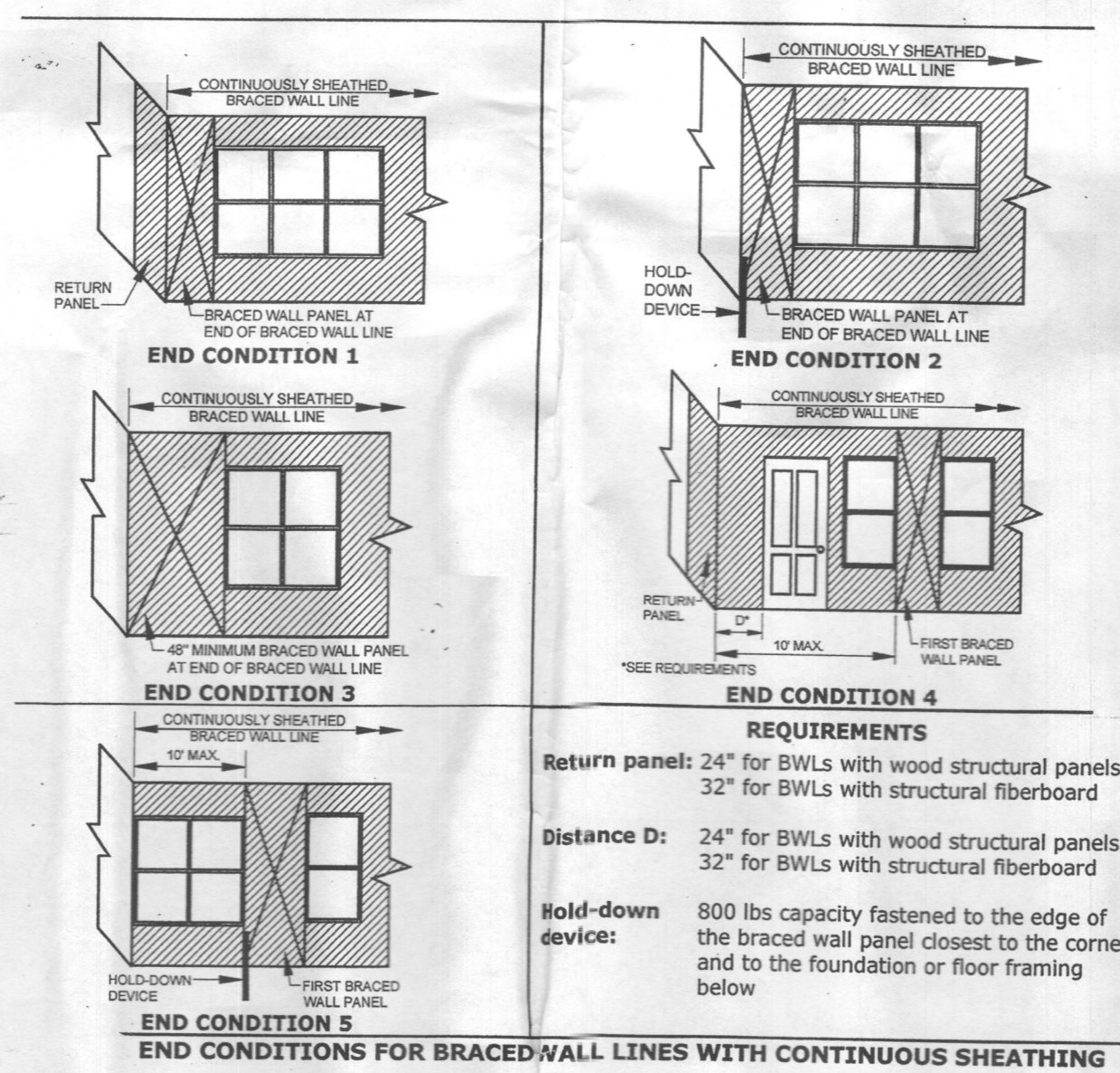
WOOD JOISTS: Joists and beams designated TJI-SP shall have minimum properties as shown in the following table. These joists shall be Trus Joist Weyerhaeuser "TJI Joist" or Engineer approved equal. Shop drawings for wood joists are a part of the structural design for this project and shall clearly show specification guide for the I-joists proposed for use on this project. This design specification guide shall include structural properties and recommended installation and bracing details. This guide shall be considered as a part of the shop drawings for this project. Connectors provided shall be selected to match joists and reactions specified. If hangers do not provide full lateral support web stiffeners must be provided at each end and at 6' on center with min. 1x4 strut lugs before any load is placed on the system. Full bracing (including all sheathing) must be in place before any load greater than the sheathing currently being installed is placed on the structure. Holes greater than 1 1/2" diameter shall not be cut in joist webs without the prior approval of the structural Engineer. Holes or notches shall not be cut in flanges.



SUN ROOM SECTION
1/4" = 1'-0"



DECK SECTION
1/4" = 1'-0"



END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

DECK FRAMING PLAN

A framing plan shows a bird's-eye view of the joist and beam layout; the location of the ledger board, posts and footings, and the type, size and spacing of the ledger board fasteners. See FIGURE 6 for an example of a typical deck framing plan.

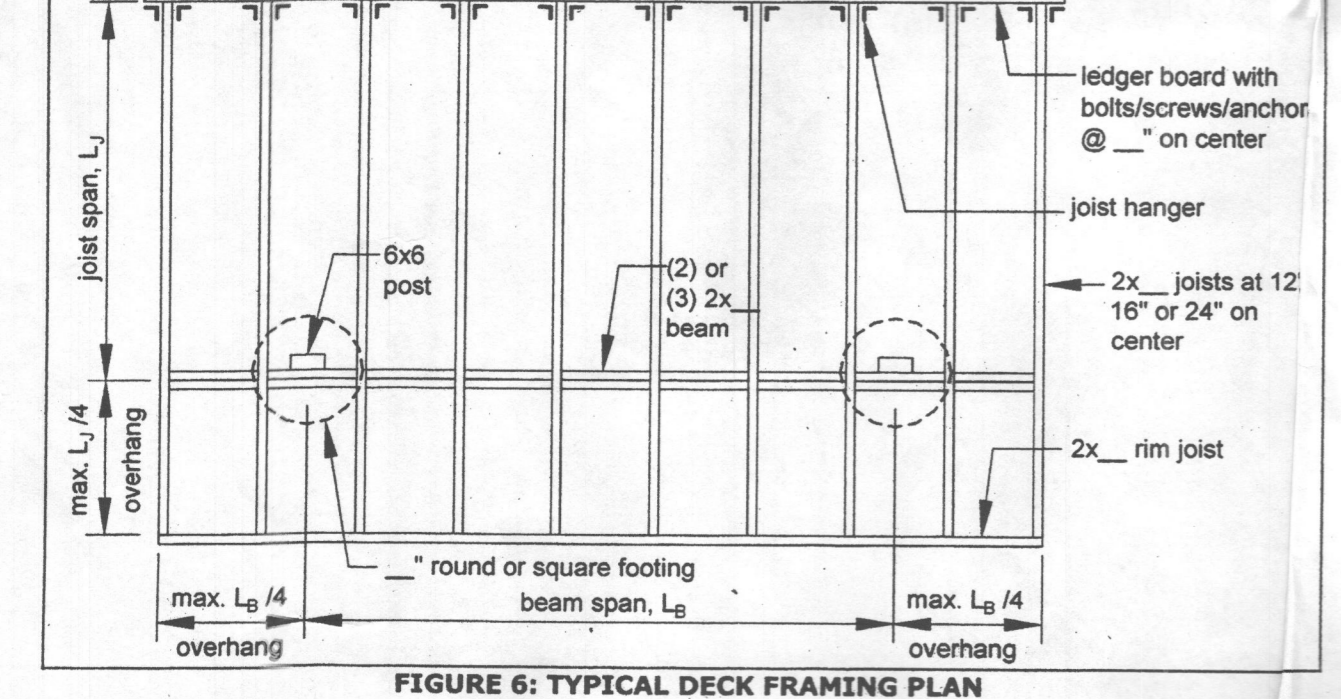


FIGURE 6: TYPICAL DECK FRAMING PLAN

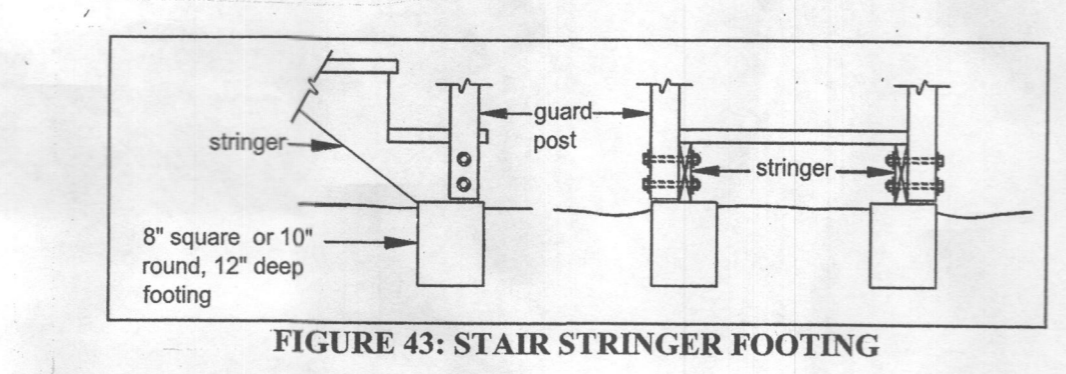


FIGURE 43: STAIR STRINGER FOOTING

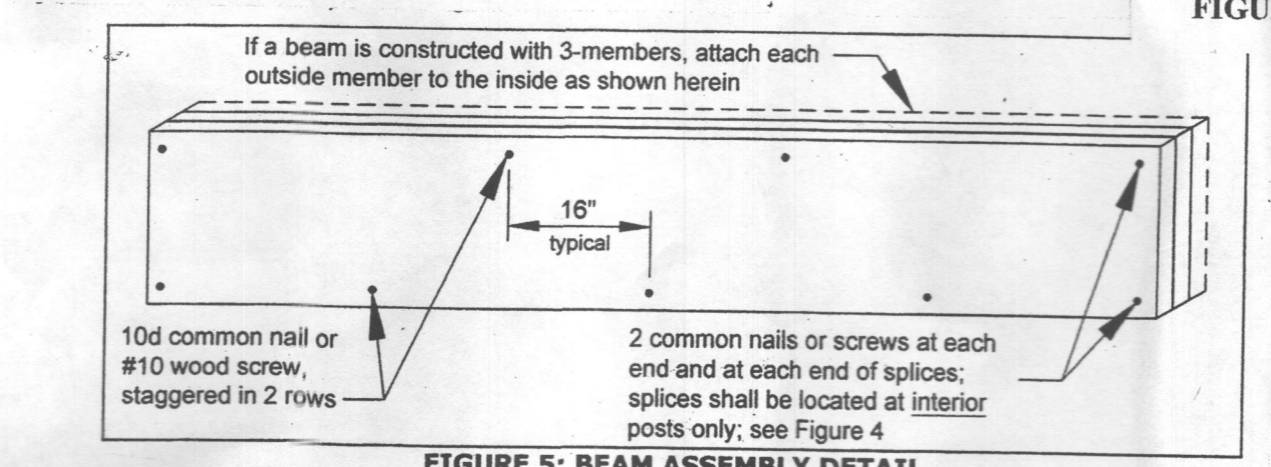


FIGURE 5: BEAM ASSEMBLY DETAIL

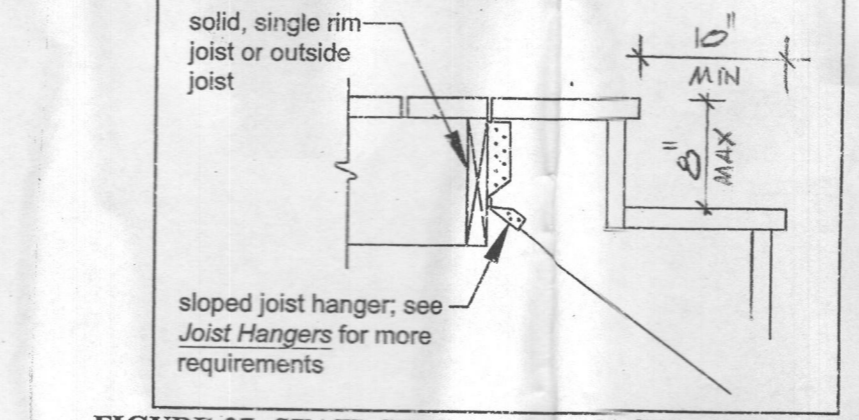


FIGURE 37: STAIR STRINGER ATTACHMENT DETAIL

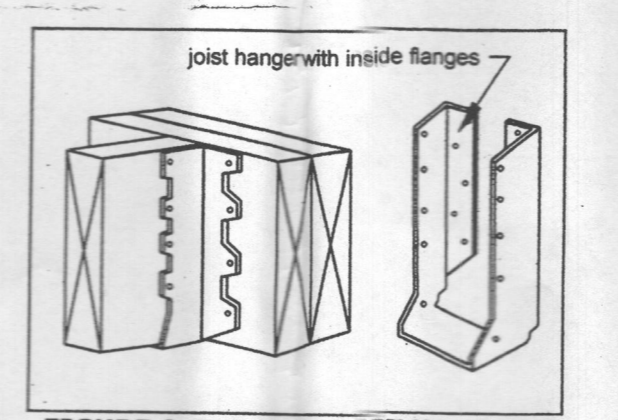


FIGURE 8: TYPICAL JOIST HANGERS

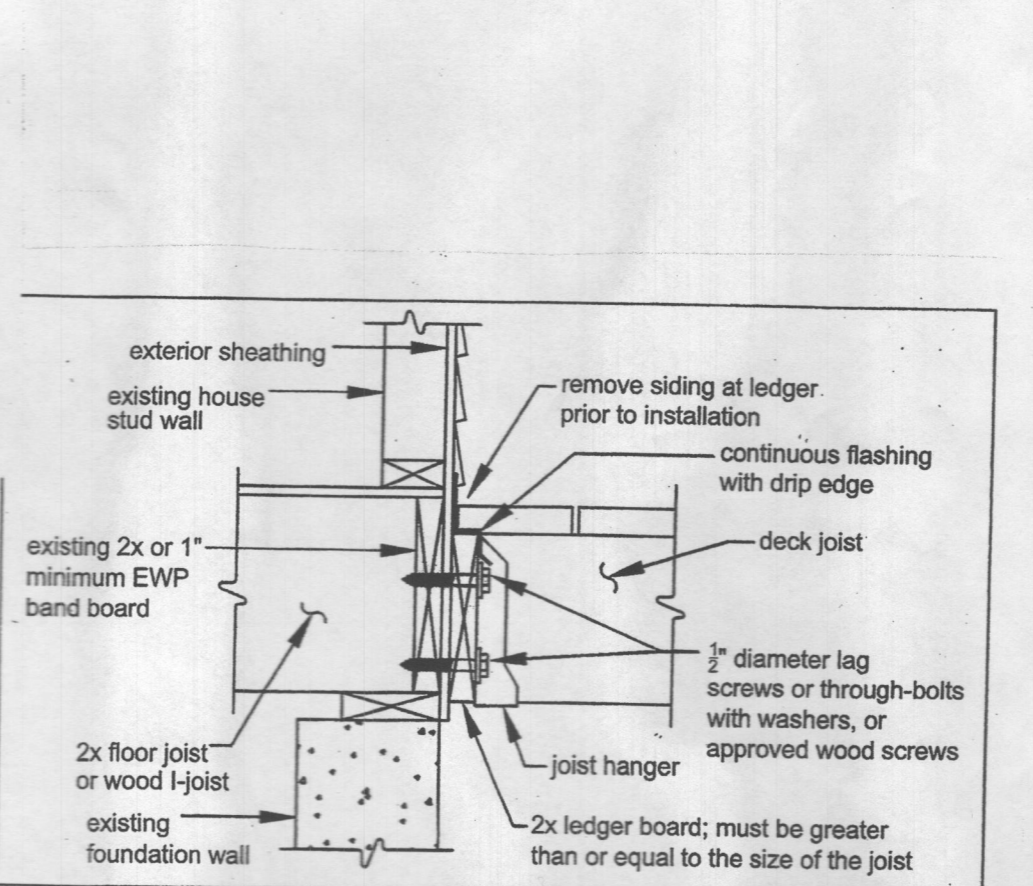


FIGURE 16: ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD

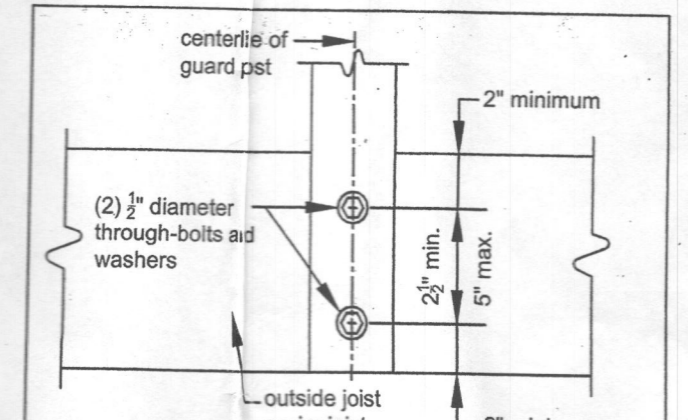


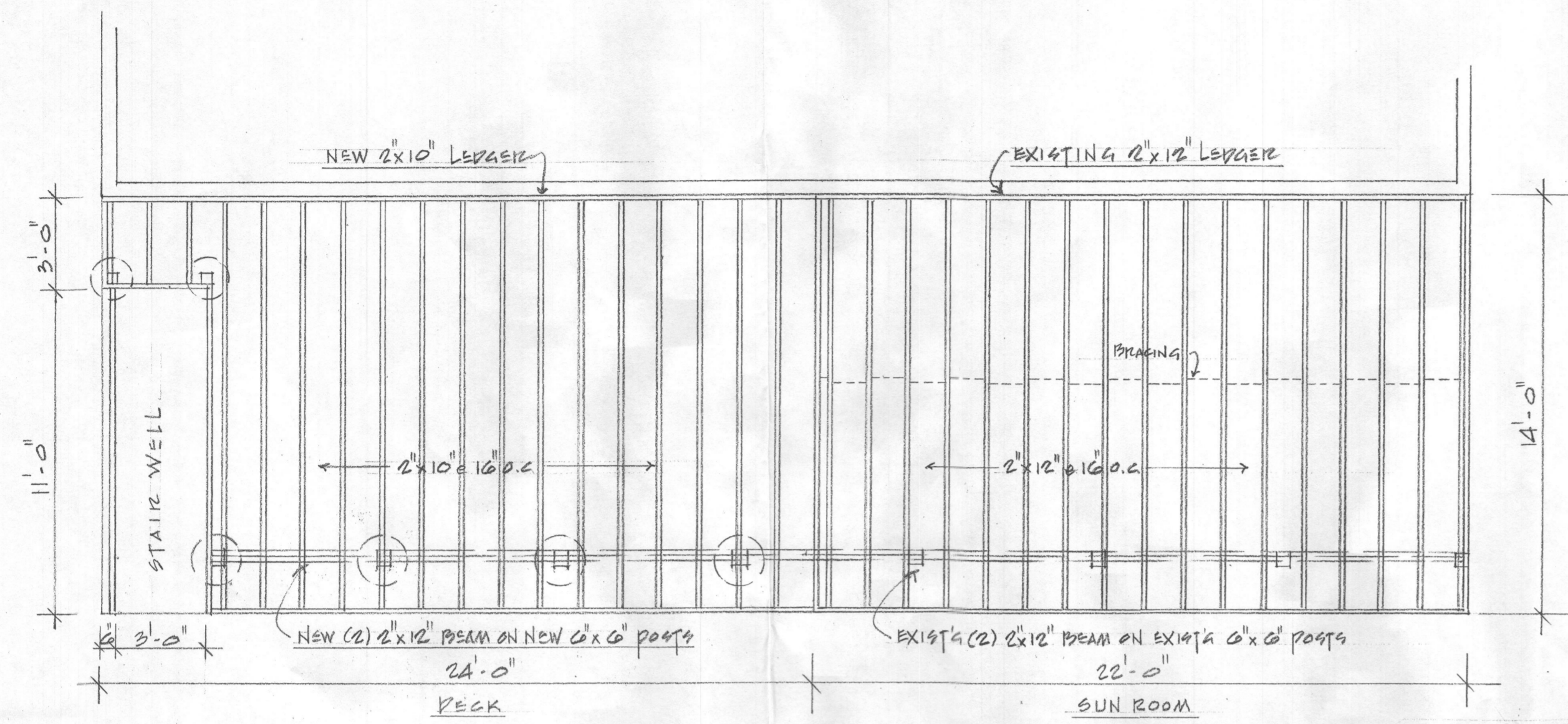
FIGURE 32: GUARD POST ATTACHMENT DETAIL

ROOF SHEATHING AND INSTALLATION:

- Plywood roof sheathing to be (5/8") thick with APA grade trademark, identification index of (4020) and Exposure 1. The index number is based on a 3 span condition. If less than 3 spans are furnished, additional edge support is required (min 4 ply).
- Plywood shall be fastened to structural members with 8d common nails or better at 6" on center at panel points and 12" on center at intermediate points unless otherwise noted on plan.
- The supporting of unsupported edges of roof sheathing shall be by carried out using either of the following two methods. The first method is use of galvanized steel H-clip (Simpson PCS-L) designed for this purpose. (Use two H clips for each truss space of 24" and one H clip for each truss space of 16"). The second method is the use of plywood roof sheathing with standard tongue-and-groove edges. Only one H clip is required with 5/8" sheathing.
- Leave 1/8" space at all panel end joints and 1/8" space at all panel edge joints.

EXTERIOR WALL SHEATHING INSTALLATION: (At all exterior walls)

All sheathing to be fastened to studs and blocking at 4" on center at ends and 7" on center at intermediate panels. Nails to be minimum 8d common or galvanized box nail.



FLOOR FRAMING PLAN
1/4" = 1'-0"

JOIST-TO-BEAM CONNECTION

Each joist shall be attached to the beam as shown in FIGURE 7. Use Option 1 or Option 2 when joists bear on or overhang past the beam; see FIGURE 1 and FIGURE 3. Use Option 3 when joists attach to the side of the beam; see FIGURE 2. Mechanical fasteners or hurricane clips used in Option 2 shall have a minimum capacity of 100 lbs in both uplift and lateral load directions. See manufacturer's recommendations for additional requirements. See JOIST HANGERS on Sheet 6 for more information.

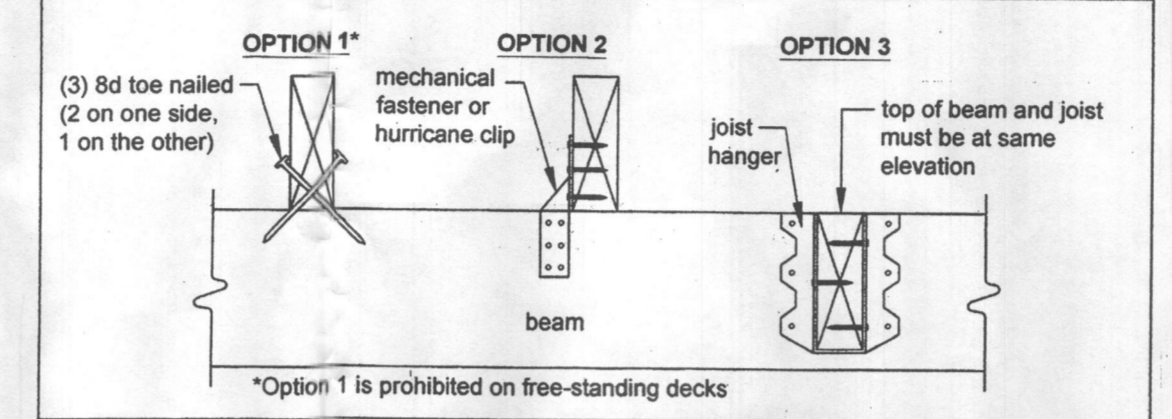
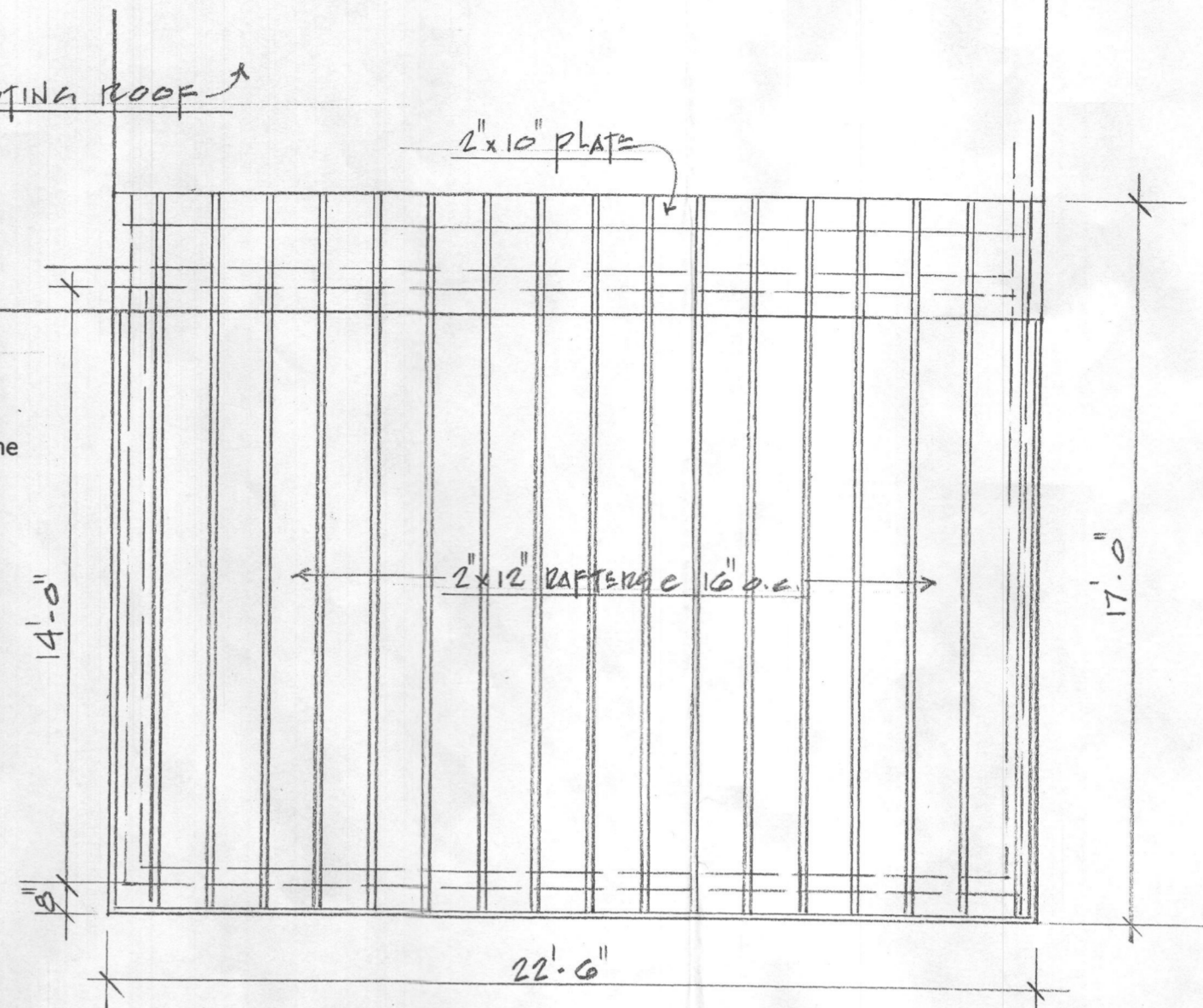


FIGURE 7: JOIST-TO-BEAM DETAIL

WALL BRACING DATA

METHOD	CONNECTION CRITERIA*	
	Fasteners	Spacing
LIB	Wood: 2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails Metal: per manufacturer	Wood: per stud and top and bottom plates Metal: per manufacturer
WSP, CS-WSP, CS-G	• 3/4" thickness: 6d (2" long x 0.113" dia.) common nails • 7/8" thickness: 8d for (2 1/2" long x 0.131" dia.) common nails	6" edges 12" field
SFB, CS-SFB	• 1/2" thickness: 1 1/2" long x 0.127" dia. common nails • 3/4" thickness: 1 1/2" long x 0.127" dia. galvanized roofing nails or 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
GB	• Type W or S screws • Other fastener types are acceptable, see the 2009 Virginia Residential Code	7" edges (including top and bottom plates) 7" field
PFH, PFG, CS-PF	See corresponding figures for the fastening requirements of each portal frame method.	

ROOF FRAMING PLAN
1/4" = 1'-0"



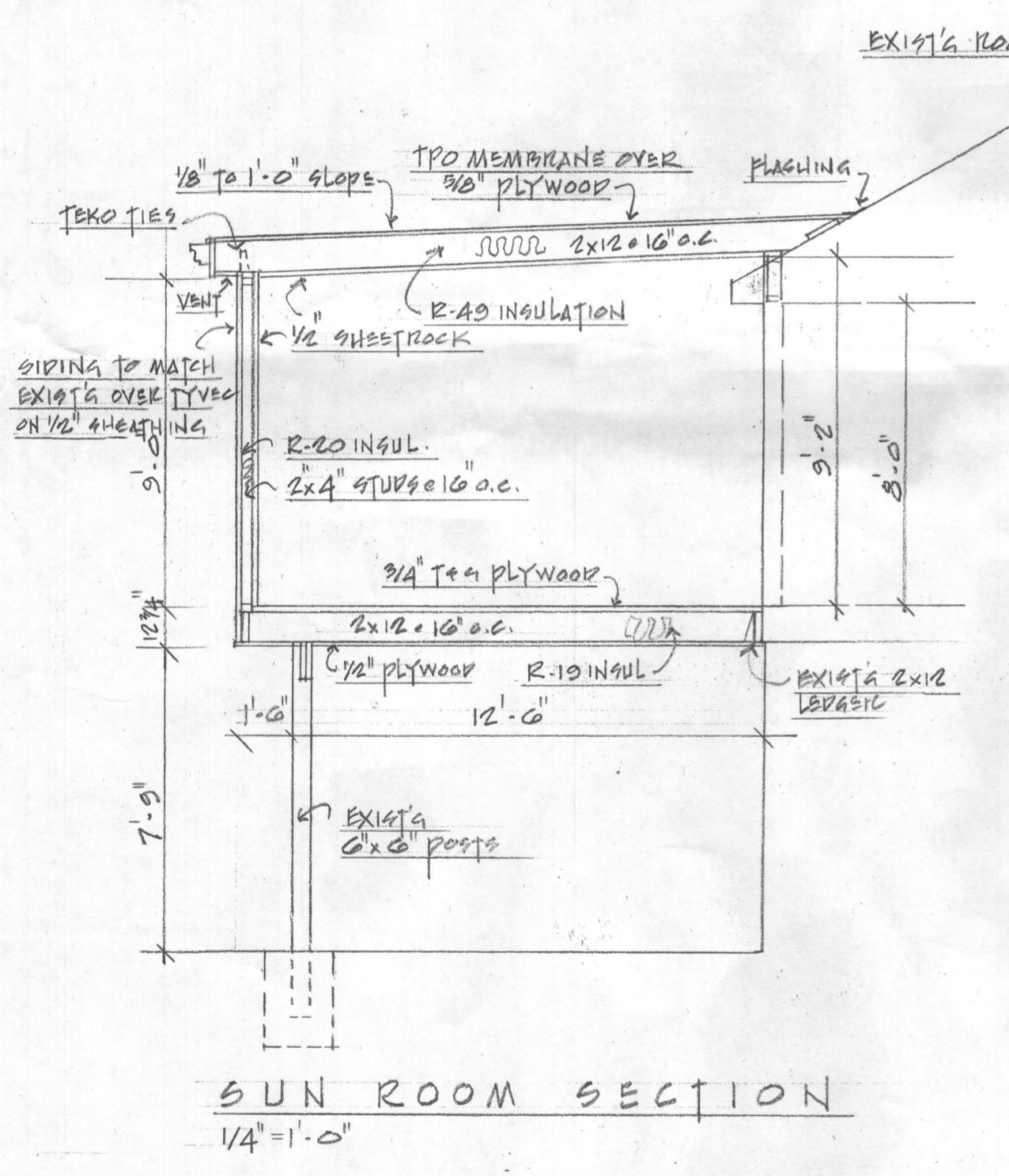
STRUCTURAL NOTES

BUILDING CODE: International Code 2012 IBC
STRUCTURAL LOADING INFORMATION:
 Floor Live Loads: Ground level 100 psf, 2nd floor storage 80 psf
 Roof Live Load 30 psf
 Snow Load Pg = 30 psf Ce = 1.0 I = 1.0
 Building was designed for 30 psf PF = 22 psf
 Wind Load Building was designed for 15 psf
 Basic Wind Speed: 90 mph Exposure: B
 Importance Factor: 1.0
 Wind Force Table 1609.6.2.1(1) = 11.9 psf
 Wind Force = 11.9 x 1.0 coef. = 11.9 psf
 Earthquake Loads Seismic design is not critical
 Ss ≤ 0.63 S1 ≤ .024 Site Classification C
 Fa = 1.6 Fv = 2.4
 Seismic Design Category A
CONSTRUCTION SAFETY: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.
FOUNDATIONS: All foundations shall be placed on undisturbed soil not less than 1'-0" below existing grade. Exterior foundations shall be placed not less than 2'-6" below adjacent finished exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maintain 2:1 slope from bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations.
CONCRETE: Shall be placed in accordance with the current "American Concrete Institute (ACI 318-02) Building Code Requirements for Structural Concrete". All concrete to have a compressive strength (fc) of 3000 psi, unless otherwise noted. All concrete exposed to the weather shall have a compressive strength of fc = 4000 psi (6% air entrained, w/c ratio not to exceed .45, minimum cement 564 pounds per cu yd).
REINFORCING STEEL: Shall conform to ASTM Specification A615, Grade 60 for bars and ASTM Specification A185 for welded wire mesh (WWM). Fabrication, including accessories, allowance for concrete protection and minimum area of steel required, shall be in accordance with the ACI Building Code and CRSI Manual of Standard Practice.
FRAMING LUMBER: All wood construction including lumber, connections, and details shall be in accordance with the requirements of the local building code and the current "National Design Specification" by the American Forest & Paper Association. Framing lumber shall be as follows: Studs = SPF #2, Beams, Lintels, Headers = Hem Fir #2. All lumber shall be dried to a minimum 19% moisture content (not S-dry or MC-19). All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum of 4" bearing on masonry. Member framing to beams, headers, etc., shall be secured with approved framing anchors, unless otherwise noted or shown. Use IBC 2003 Table 2304.9.1 for nailing schedule, unless noted otherwise. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. All interior stud bearing walls shall be bridged (with solid members) at mid height. Exterior bearing walls up to 8'-2" in height and sheathed with plywood or OSB (oriented strand board) shall not need mid span blocking. All other exterior bearing walls shall be bridged (with solid blocking) at mid height, unless otherwise noted. All lintels, headers shall be supported on double jack studs plus one full length stud unless otherwise noted. All lumber exposed to the weather or in contact with the ground, concrete or masonry must be pressure treated. All fasteners used with pressure treated lumber must meet latest building codes. Triple coated connectors are to be used.
Cutting and Notching: It is not permitted to notch, cut or pierce wood beams, joists, rafters or studs in excess of the limitations herein specified, unless proven safe by structural analysis or suitably reinforced to transmit all calculated loads.
Notches: Holes bored or cut into joists or beams for piping or electrical cables shall not be less than 2 inches (51mm) from the top or bottom of the joist and the diameter of the hole shall not exceed one-third the depth of the joist. These penetrations must occur in the middle 3rd of the span. In studs of bearing walls or partitions, notches or bored holes made to receive piping, electrical conduit, air conditioning or heating ductwork or for other fabricating purposes shall not be cut or bored more than one-third the depth of the stud.
Reinforcement: Where the stud is cut or bored in excess of one-third its depth, the stud shall be reinforced to be equal in load-carrying capacity to a stud notched not more than one-third its depth.
Trimmer and Header Beams: Where determined necessary by stress analysis, trimmer and header beams shall be hung in approved metal struts or hangers, unless supported on a wall, girder or column. All multiple member beams shall be spiked or bolted together.
Bearing and Anchorage on Girders: All members of framing into girders shall be anchored or tied to secure continuity. The ends of all wood beams or joists resting on girders shall bear not less than 4 inches or shall be supported in approved metal struts, hangers or on wood clips or ribbon strips. Beams framing from opposite sides shall lap at least 6 inches and be bolted or spiked together, and when framing end-to-end, the beams shall be secured together by approved ties, straps, dogs, plates or sheathing. Where noted on plan use fire retardant lumber, see the FIRE RETARDANT LUMBER NOTE.
WOOD JOISTS: Joists and beams designated TJI-SP shall have minimum properties as shown in the following table. These joists shall be Trus-Joist Weyerhaeuser "TJI Joist" or Engineer approved equal. Shop drawings for wood I-joists are a part of the structural design for this project and shall clearly show size and span for all joists. The Contractor shall provide the Structural Engineer with a design specification guide for the I-joists proposed for use on this project. This design specification guide shall include structural properties and recommended installation and bracing details. This guide shall be considered as a part of the shop drawings for this project. Connectors provided shall be selected to match joists and reactions specified. If hangers do not provide full lateral support web stiffeners must be provided at each joist, sized according to manufacturer's specifications. All joists must be braced at each end and at 6' on center with min. 1x4 strut lines before any load is placed on the system. Full bridging (including all sheathing) must be in place before any load greater than the sheathing currently being installed is placed on the structure. Holes greater than 1 1/2" diameter shall not be cut in joist webs without the prior approval of the structural Engineer. Holes or notches shall not be cut in flanges.

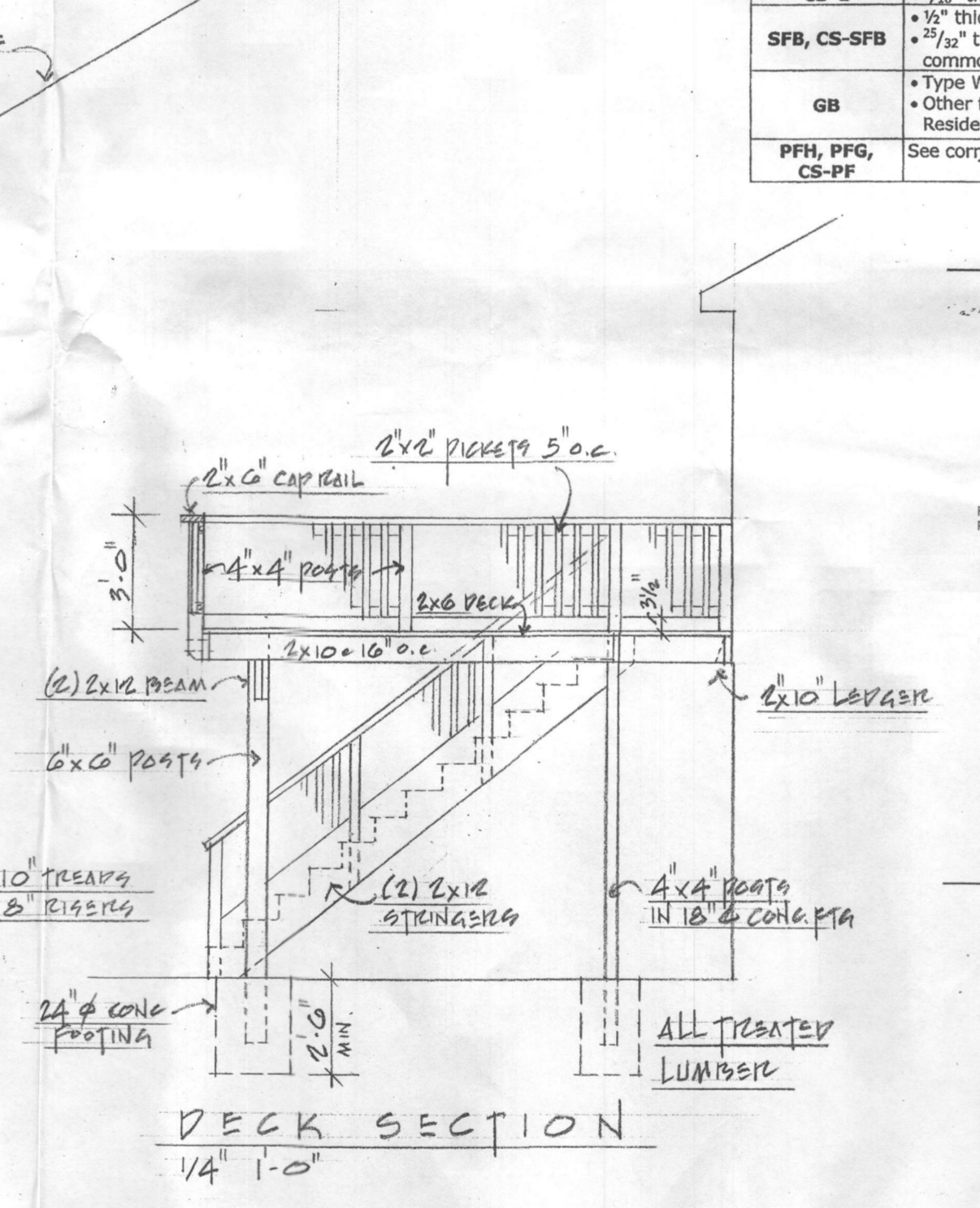
at mid height, unless otherwise noted. All lintels, headers shall be supported on double jack studs plus one full length stud unless otherwise noted. All lumber exposed to the weather or in contact with the ground, concrete or masonry must be pressure treated. All fasteners used with pressure treated lumber must meet latest building codes. Triple coated connectors are to be used.
Cutting and Notching: It is not permitted to notch, cut or pierce wood beams, joists, rafters or studs in excess of the limitations herein specified, unless proven safe by structural analysis or suitably reinforced to transmit all calculated loads.
Notches: Holes bored or cut into joists or beams for piping or electrical cables shall not be less than 2 inches (51mm) from the top or bottom of the joist and the diameter of the hole shall not exceed one-third the depth of the joist. These penetrations must occur in the middle 3rd of the span. In studs of bearing walls or partitions, notches or bored holes made to receive piping, electrical conduit, air conditioning or heating ductwork or for other fabricating purposes shall not be cut or bored more than one-third the depth of the stud.
Reinforcement: Where the stud is cut or bored in excess of one-third its depth, the stud shall be reinforced to be equal in load-carrying capacity to a stud notched not more than one-third its depth.
Trimmer and Header Beams: Where determined necessary by stress analysis, trimmer and header beams shall be hung in approved metal struts or hangers, unless supported on a wall, girder or column. All multiple member beams shall be spiked or bolted together.
Bearing and Anchorage on Girders: All members of framing into girders shall be anchored or tied to secure continuity. The ends of all wood beams or joists resting on girders shall bear not less than 4 inches or shall be supported in approved metal struts, hangers or on wood clips or ribbon strips. Beams framing from opposite sides shall lap at least 6 inches and be bolted or spiked together, and when framing end-to-end, the beams shall be secured together by approved ties, straps, dogs, plates or sheathing. Where noted on plan use fire retardant lumber, see the FIRE RETARDANT LUMBER NOTE.
WOOD JOISTS: Joists and beams designated TJI-SP shall have minimum properties as shown in the following table. These joists shall be Trus-Joist Weyerhaeuser "TJI Joist" or Engineer approved equal. Shop drawings for wood I-joists are a part of the structural design for this project and shall clearly show size and span for all joists. The Contractor shall provide the Structural Engineer with a design specification guide for the I-joists proposed for use on this project. This design specification guide shall include structural properties and recommended installation and bracing details. This guide shall be considered as a part of the shop drawings for this project. Connectors provided shall be selected to match joists and reactions specified. If hangers do not provide full lateral support web stiffeners must be provided at each joist, sized according to manufacturer's specifications. All joists must be braced at each end and at 6' on center with min. 1x4 strut lines before any load is placed on the system. Full bridging (including all sheathing) must be in place before any load greater than the sheathing currently being installed is placed on the structure. Holes greater than 1 1/2" diameter shall not be cut in joist webs without the prior approval of the structural Engineer. Holes or notches shall not be cut in flanges.

ROOF SHEATHING AND INSTALLATION:

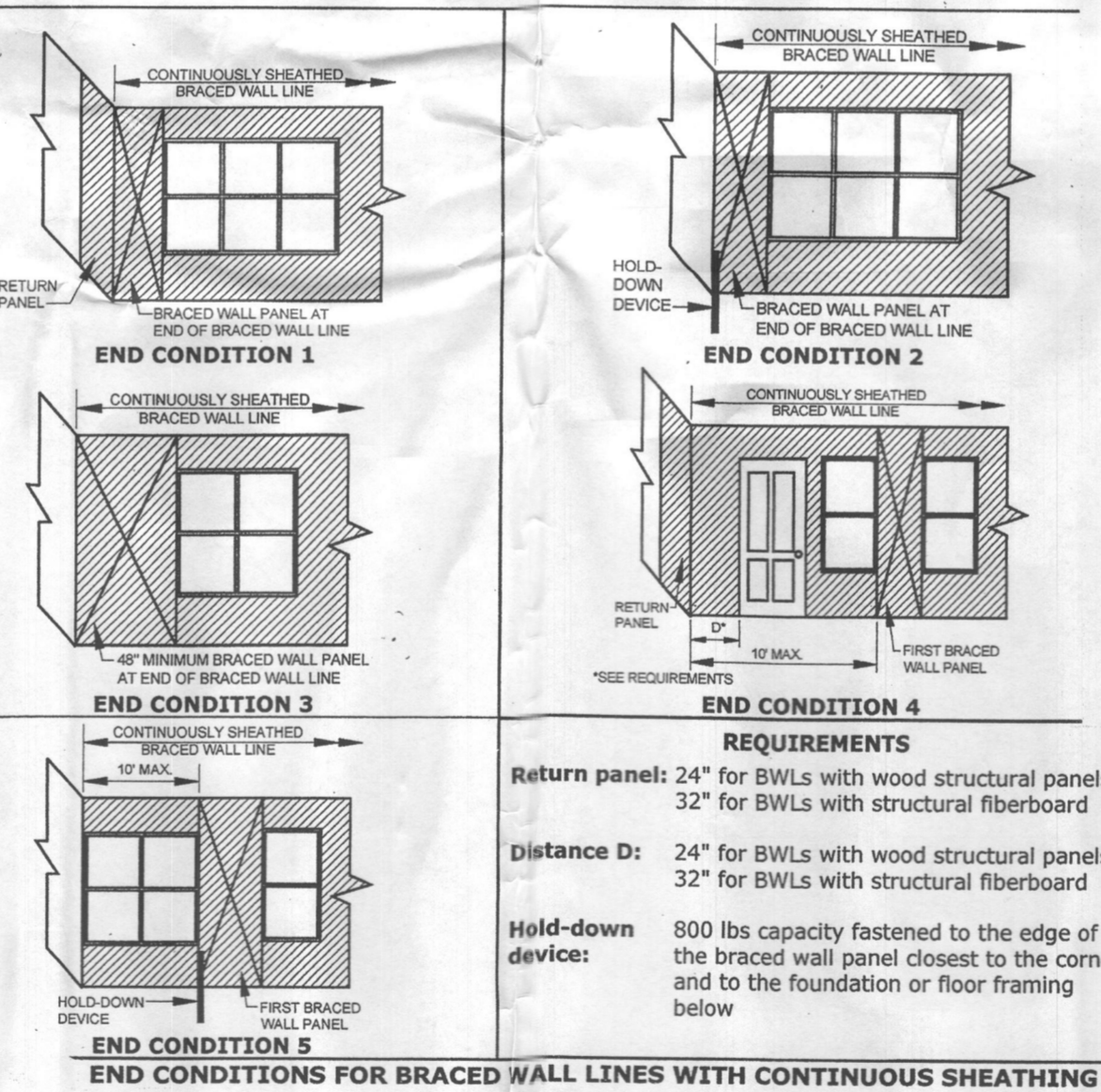
- Plywood roof sheathing to be (5/8") thick with APA grade trademark, identification index of (40/20) and Exposure I. The index number is based on a 3 span condition. If less than 3 spans are furnished, additional edge support is required (min 4 ply).
 - Plywood shall be fastened to structural members with 8d common nails or better at 6" on center at panel points and 12" on center at intermediate points unless otherwise noted on plan.
 - The supporting of unsupported edges of roof sheathing shall be by carried out using either of following two methods. The first method is use of galvanized steel H clips (Simpson PSCL) designed for this purpose. (Use two H clips for each truss space of 24" and one H clip for each truss space of 16"). The second method is the use of plywood roof sheathing with standard tongue-and-groove edges. Only one H clip is required with 5/8" sheathing.
 - Leave 1/8" space at all panel end joints and 1/8" space at all panel edge joints.
- EXTERIOR WALL SHEATHING INSTALLATION:** (At all exterior walls)
 All sheathing to be fastened to studs and blocking at 4" on center at edges and 7" on center at intermediate panels. Nails to be minimum 8d common or galvanized box nail.



SUN ROOM SECTION
1/4" = 1'-0"



DECK SECTION
1/4" = 1'-0"



END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

DECK FRAMING PLAN

A framing plan shows a bird's-eye view of the joist and beam layout; the location of the ledger board, posts and footings, and the type, size and spacing of the ledger board fasteners. See FIGURE 6 for an example of a typical deck framing plan.

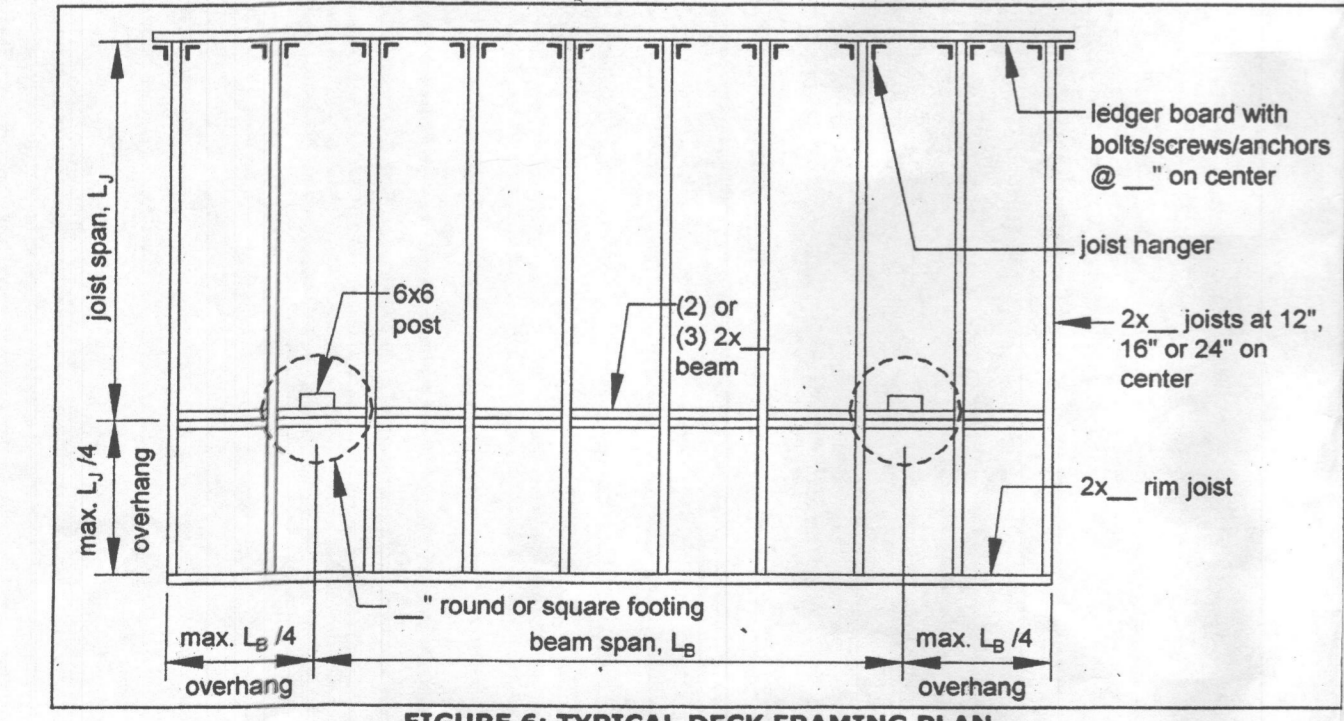


FIGURE 6: TYPICAL DECK FRAMING PLAN

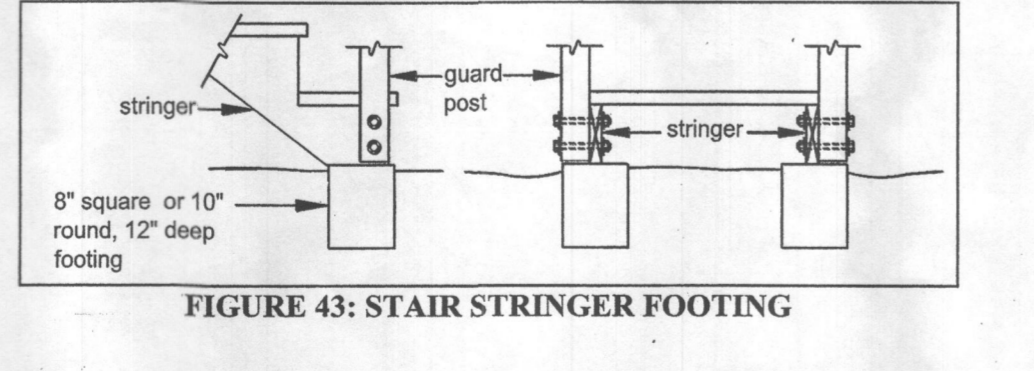


FIGURE 43: STAIR STRINGER FOOTING

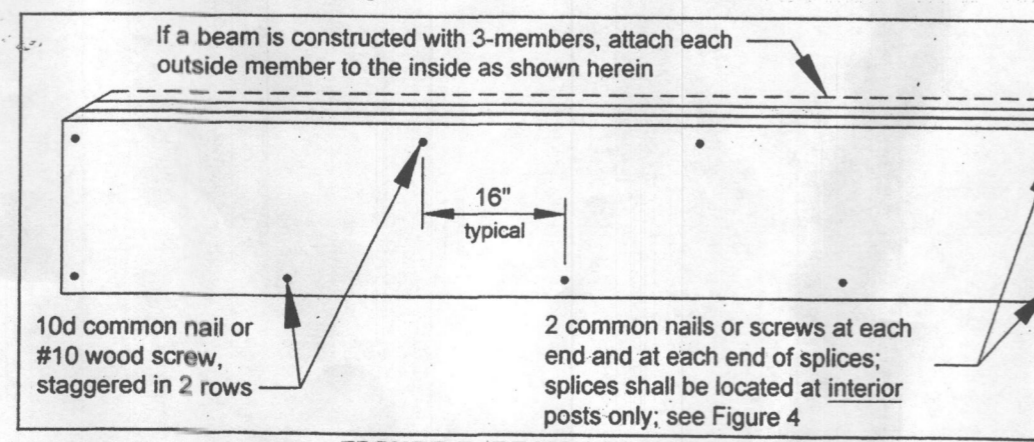


FIGURE 5: BEAM ASSEMBLY DETAIL

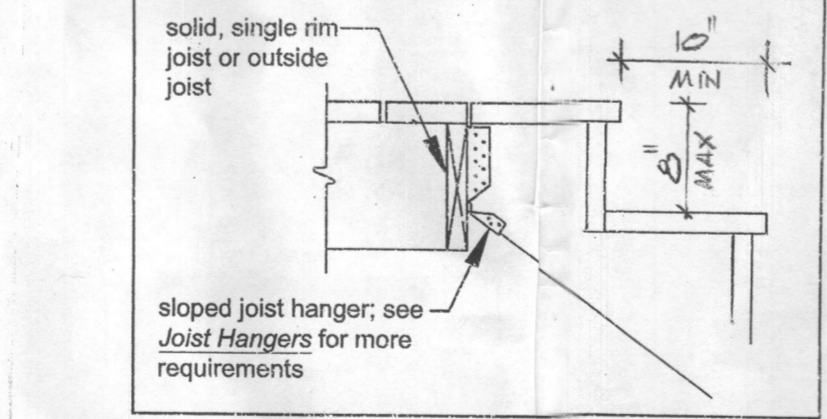


FIGURE 37: STAIR STRINGER ATTACHMENT DETAIL

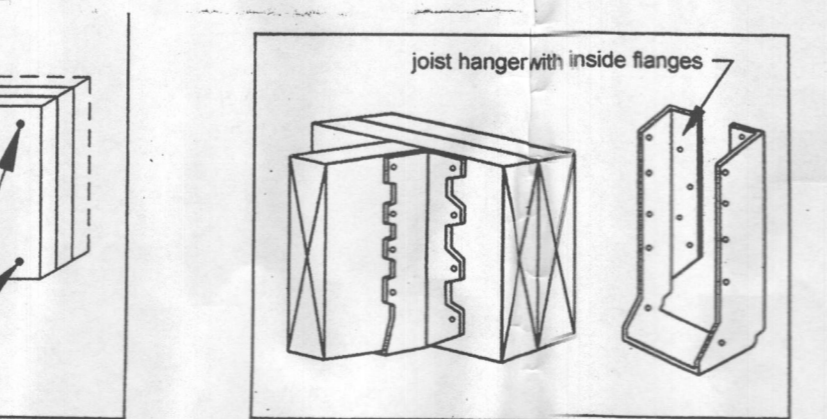


FIGURE 8: TYPICAL JOIST HANGERS

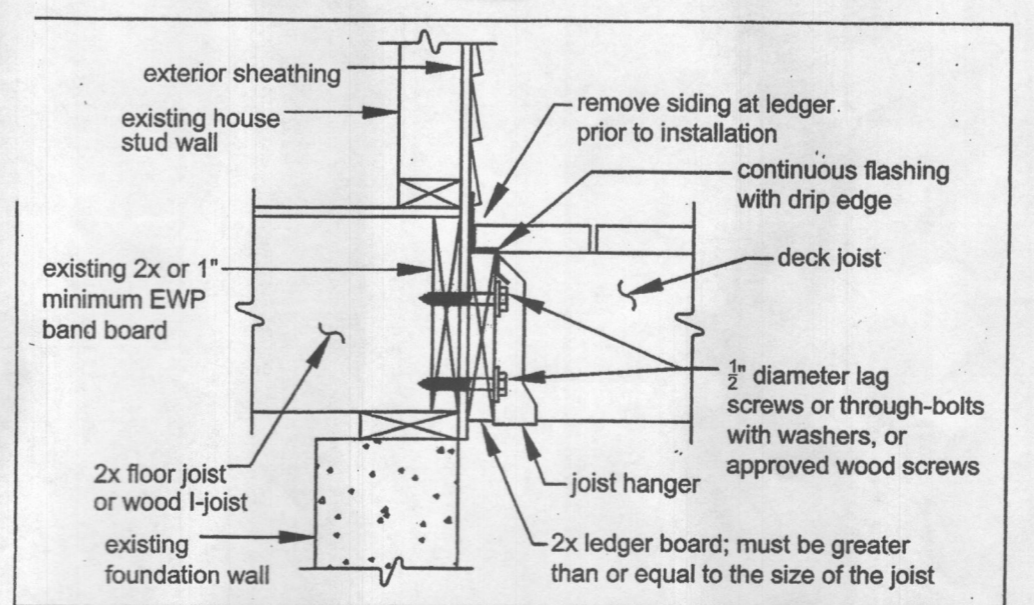


FIGURE 16: ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD

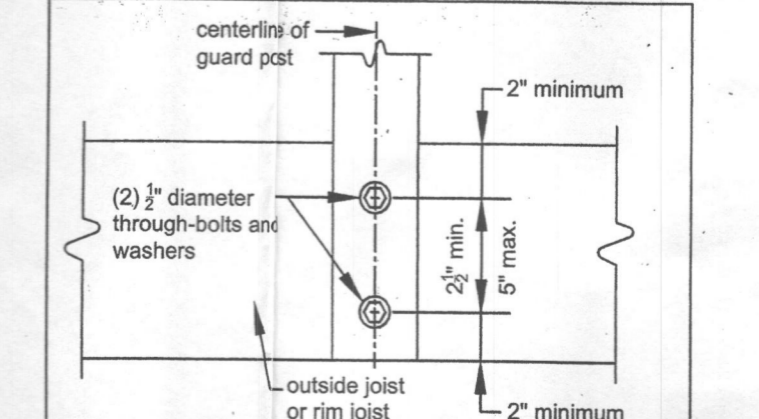


FIGURE 32: GUARD POST ATTACHMENT DETAIL