



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 5/29/19

Permit No.: B19001722

Building Address: 13816 Mill Creek Ct
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Crawford Sub
 Section: _____ Area: _____ Lot: 3
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: 41,121 A

Existing Use: SFD
 Proposed Use: SFD w/ propane tank
 Estimated Construction Cost: \$ 4000
 Description of Work: install 1000 gallon in-ground propane tank.

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: owner
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR INC
 Address: 9720 Pasture Wood Dr
 City: Columbia State: MD Zip Code: 2104
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Michelle Clancy
 Address: Po Box 310
 City: Perry Hall State: MD Zip Code: 21128
 Phone: 413-610-7514 Fax: _____
 Email: Michelle@AppliedandApproved.com

Contractor Company: TECH AIR
 Contact Person: Dennis Fraga
 Address: 1560 A-D COTTON CENTER DR
 City: Baltimore State: MD Zip Code: 21227
 License No.: 81215
 Phone: 410-984-5681 Fax: _____
 Email: _____

RECEIVED

Engineer/Architect Company: _____
 Responsible Design Prof.: _____ MAY 29 2019
 Address: CONTRACTOR LICENSES & PERMITS
 City: _____ State: _____ Zip DIVISION
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
Area of construction (sq. ft.):	2 nd floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number: <u>B19001404</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION UNTIL HE/SHE HAS OBTAINED THE NECESSARY PERMITS FROM THE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Michelle Clancy
 Print Name: Michelle Clancy
 Email Address: Michelle @ AppliedandApproved.com
 Date: 5/28/19
 Title/Company: permits

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

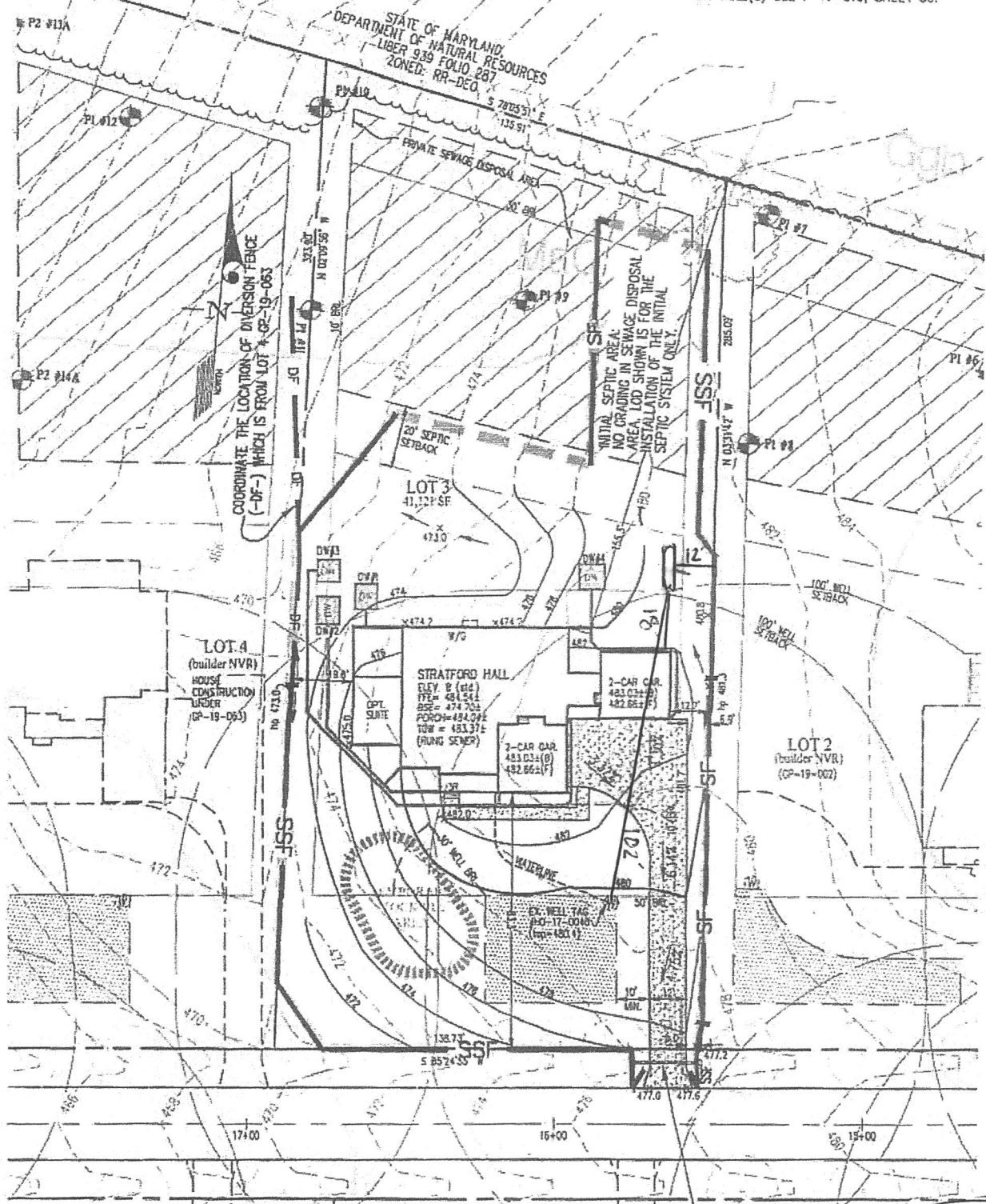
Filing Fee	\$	<u>110.00</u>
Permit Fee	\$	<u>100</u>
Tech Fee	\$	<u>10</u>
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	<u>110.00</u>
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	<u>7186</u>

6/24/19
 Not Approved location
 of UPT would be on top
 of solids line. See revised
 plan

(RP)

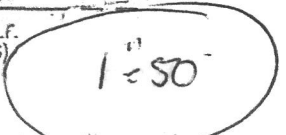
DRYWELL (M-5) SIZE CHART		
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	7'x8'	5'
2	9'x7.1'	5'
3	7'x7'	5'
4	8'x8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.



MILL CREEK COURT
 (PUBLIC ACCESS STREET)

12" D/W CULVERT, 20 L.F.
 (per Ho.Co. Det. R-6.06)
 INV IN= 476.5±
 INV OUT= 475.5±



NOTE: THE FRONT DOOR FOR LOT 3 FACES SOUTH.

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR: NVR INC. 9720 PARUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956	CRAWFORD SUBDIVISION LOT 3 (13816 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.	1
	DRN.			ZONING	RR-
	CHK.			TAX MAP/GRID	34&39
L:\CADD\DRAWINGS\TAXI\PLANS BY CLIENT\LOT PLANS\LOT 03\17671 MC_PLOT PLAN LOT 03.dwg				DATE	APRIL
				SCALE	
				SHEET	1

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 6/19/19

To: Ryan Rappaport
(Person's Name and Division)

From: Michelle Clancy 443 610 7514
(Your Name, Company Name and Telephone Number)

Subject: Project name _____
Project site address 1.3816 Mill Creek Ct
Permit # B19001720 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Site Plan (be specific). Location Change Per Comment
- Health Department Request DPZ/ DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

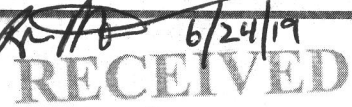
Contact Person Information: (Required)

Michelle Clancy
Please Print Name

Telephone No: 443 610 7514
E-Mail Address: Michelle@appliedandapproved.co

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

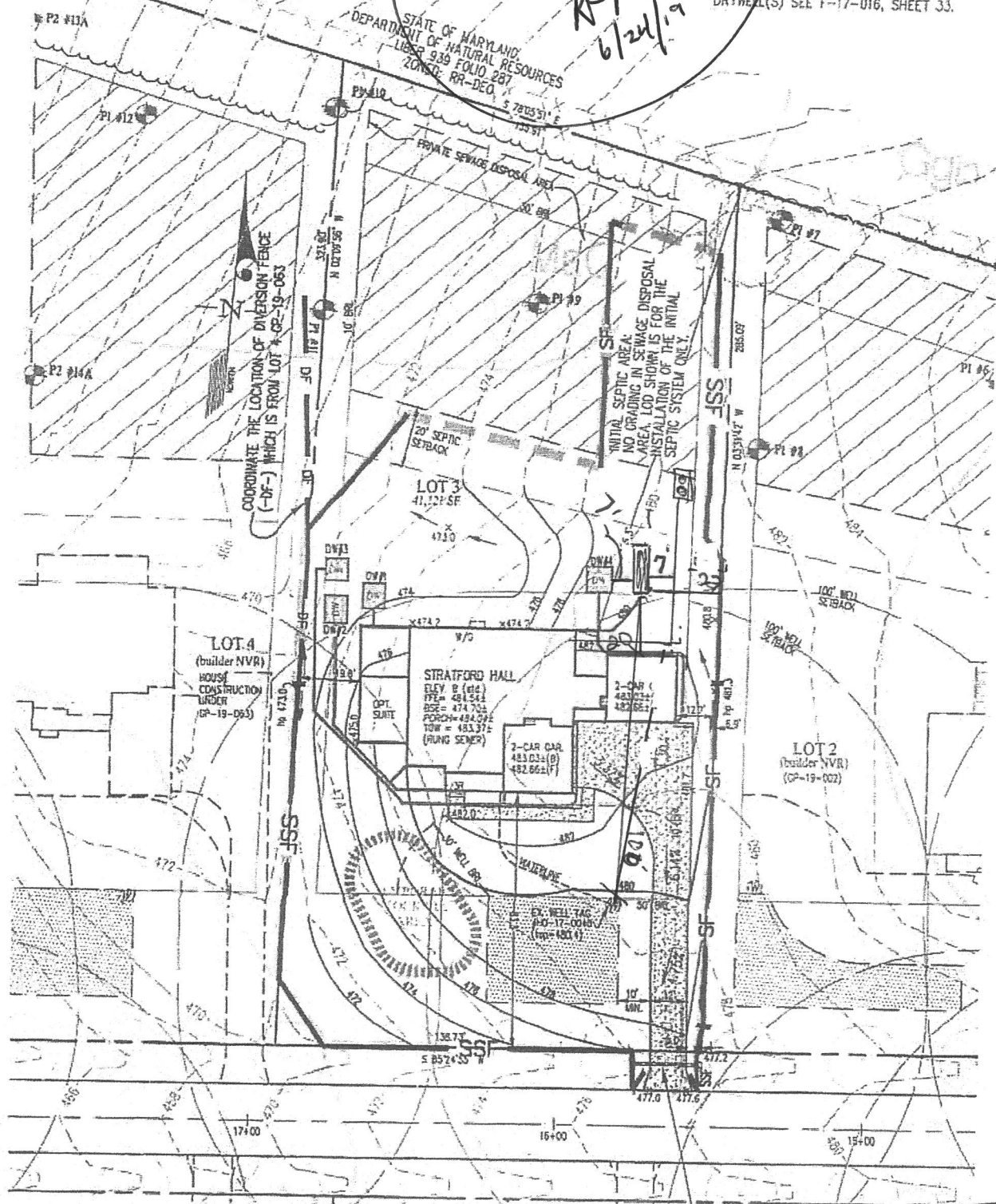
Received by [Signature]

cc: Health P+Z

 JUN 19 2019

Approved for
 UPT B19001722
 R-11
 6/24/19

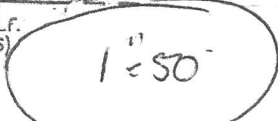
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	7'x8'	5'
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3	7'x7'	5'
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12" D/W CULVERT, 20 L.F.
 (per Ho.Co. Det. R-6.06)
 INV IN= 476.5±
 INV OUT=475.5±



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	DES.	PREPARED FOR: NVR INC. 9720 PATRICKS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956	CRAWFORD SUBDIVISION LOT 3 (13816 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.
	DRN.			ZONING RR-
	CHK.			TAX MAP/GRID 34&35
L:\CAD\DRAWINGS\BTR\PLANS BY GUY\LOT PLANS\LOT 03\17071 MC_PLOT PLAN LOT 03.dwg				DATE APP SCALE SHEET



HEALTH

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Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
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 www.howardcountymd.gov

Date Received: 5/6/19Permit No.: B19001404

Building Address: 13816 Mill Creek Ct
 City: Clarksille State: MD Zip Code: 21029

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: _____ Subdivision: Crawford

Section: _____ Area: _____ Lot: 3

Tax Map: _____ Parcel: _____ Grid: _____

Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot

Proposed Use: Single family house

Estimated Construction Cost: \$ 250,000

Description of Work: New 2 story "Stratford Hall" BLV 'B', with 2 car side garage and 2 car side attached garage, Suite 1st floor, finished lower level (rec rm, area #2, bathroom)

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Clint Cagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: CCagle@NVRInc.com

Engineer/Architect Company: _____

Responsible Design Prof.: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>54 x 103</u>
Area of construction (sq. ft.):	2 nd floor: <u>50 x 54</u>
Use group:	Basement: <u>54 x 103</u>
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>05</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

RECEIVED
 MAY 06 2019
 LICENSES & PERMITS
 DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kernin
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT NV Homes
 Title/Company

Jim Kernin
 Print Name
5/6/2019
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

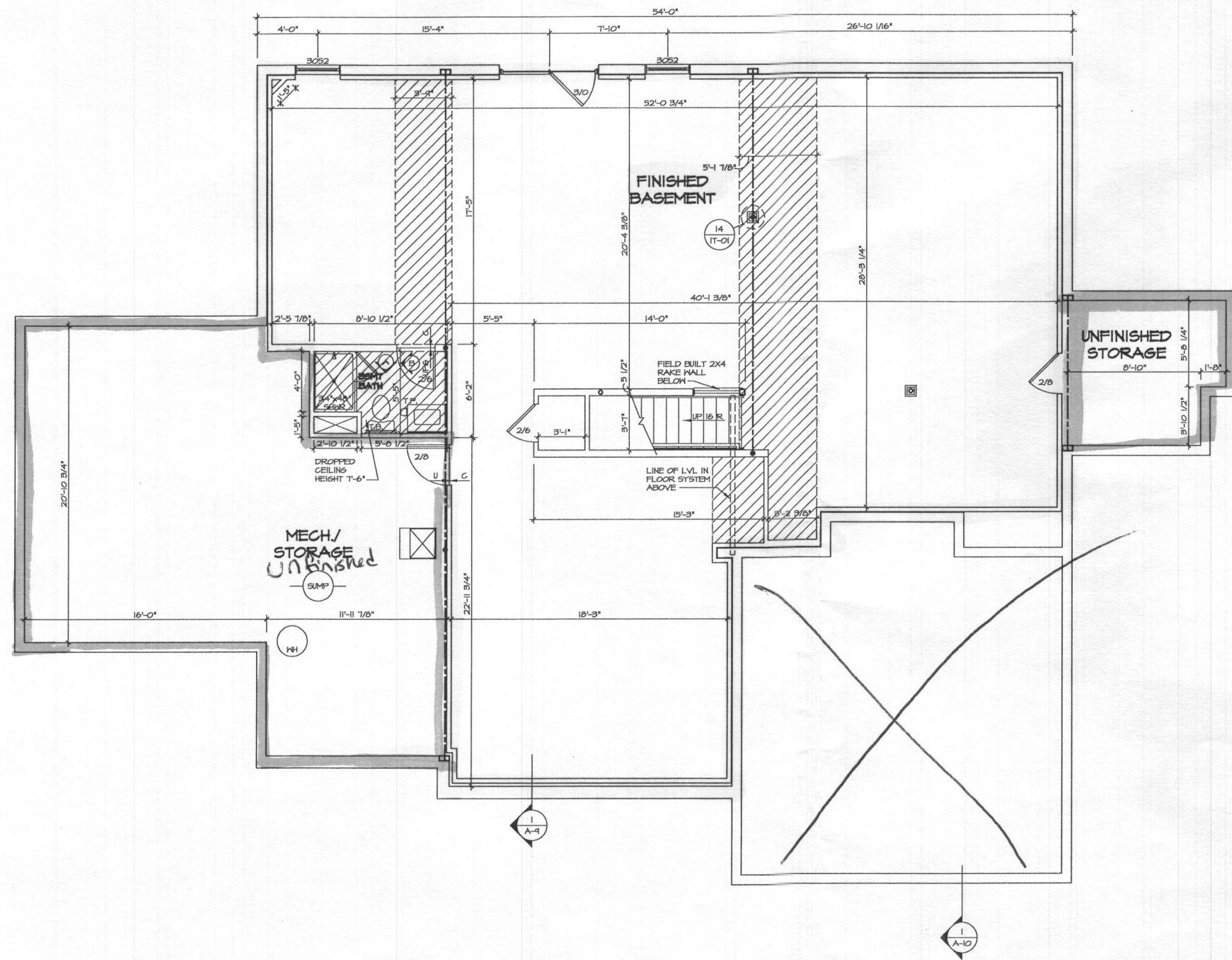
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>271160</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



1
A-6 **BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE 'BRACED WALL PANEL DETAIL SHEET' FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY 'IT' SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

- AT GARAGE:**
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET
- WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

NOTES:

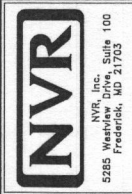
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAMHEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
01/24/17	TM	STANDARD DETAILS 9.0

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SHEET NO. A-6	SET NO. 11800	VERSION 01
	USE: STRATFORD HALL	DRAWN BY BIM
OPTION DESCRIPTION	DATE:	OPTION
	DRAWING TITLE BASEMENT FLOOR PLAN	
27	CA:\NVA_Solucs\STRATFORD_HALL_11800_01A.WPD--MC--00003\12088900_Sheets\Lot_Spec\FC_V2_A-6_BSMT_LS.dwg 04/28/19 - 4:52 PM	

13816 Mill Creek Court
Lot 3

STRATFORD HALL

Health Dept

B1900 1404



NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT		STANDARD DETAILS
	STD. DIMS.		
SPEC SHEET	99-1		AD-1
ELEVATIONS	4		AD-1b
FOUNDATIONS	14		DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25		DR-2
PLUMBING	26		DR-3
BASEMENT FLOOR PLAN	27		DN-2
FIRST FLOOR PLAN	29		ET-1
SECOND FLOOR PLAN	32.1		ET-1b
BUILDING SECTIONS	34, 36		ET-1c
STAIR SECTIONS	38		ET-1e
KITCHEN - BATHS	41, 42, 43, 44		ET-1f
BASEMENT ELECTRICAL	45		ET-2
FIRST FLOOR ELECTRICAL	47		ET-2b
SECOND FLOOR ELECTRICAL	50		F-1
FIRST FLOOR FRAMING	52		FA-1
SECOND FLOOR FRAMING	54		FC-1
ROOF FRAMING	55, 56		FC-2
TRUSS BRACING	61		FC-4
WALL BRACING LAYOUT	63		FD-1
HVAC LAYOUT	67		FD-2
HVAC LAYOUT	68		FD-2b
HVAC LAYOUT	69		FD-3
HVAC LAYOUT	70		FP-1
HVAC LAYOUT	71		GB-1
HVAC LAYOUT	72		IT-1
HVAC LAYOUT	73		IT-1b
HVAC LAYOUT	74		IT-1c
			IT-2
			JT-1
			JT-3
			JT-3b
			KT-1
			RF-1
			RF-1b
			SEP-1
			SEP-2
			SEP-3
			SEP-4
			SP-1
			SP-2
			SP-3
			ST-1
			ST-2
			NB-1
			NB-2
			ND-1
			ND-2
			ND-3
			NB-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR THO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	39 SF
	2659 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
	2196 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
THO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
THO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
	1004 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1444 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
	1908 SF

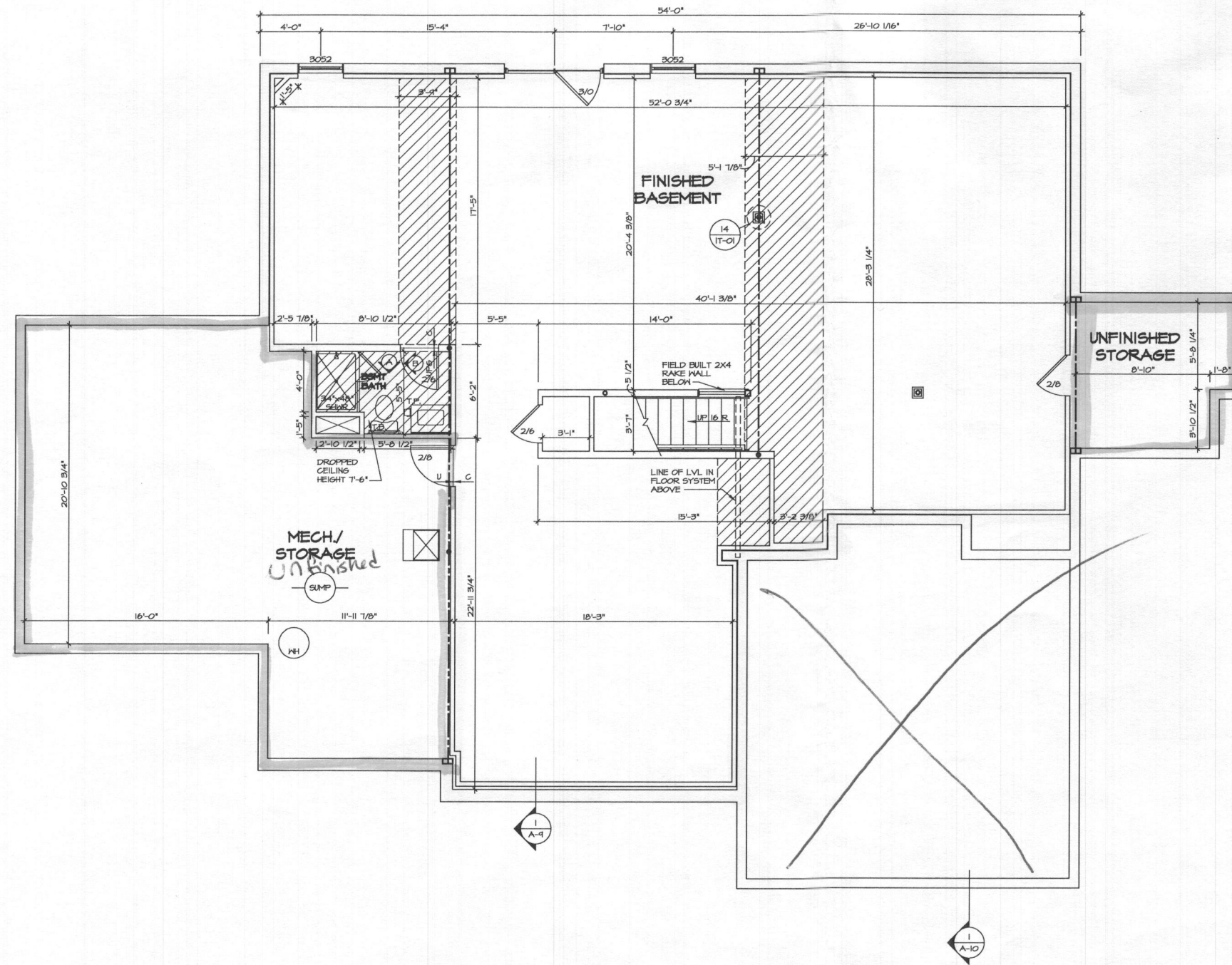
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
UNFINISHED STORAGE THO CAR SIDE ATTACHED GARAGE (ADD. SF)	118 SF
	413 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
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1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR THO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
FINISHED BASEMENT	1444 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
	6713 SF

SET - VERSION
11900 - 01

CS-1

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1
A-6 **BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

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6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

- AT GARAGE:**
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET.
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

NOTES:

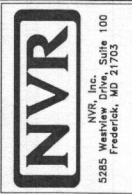
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

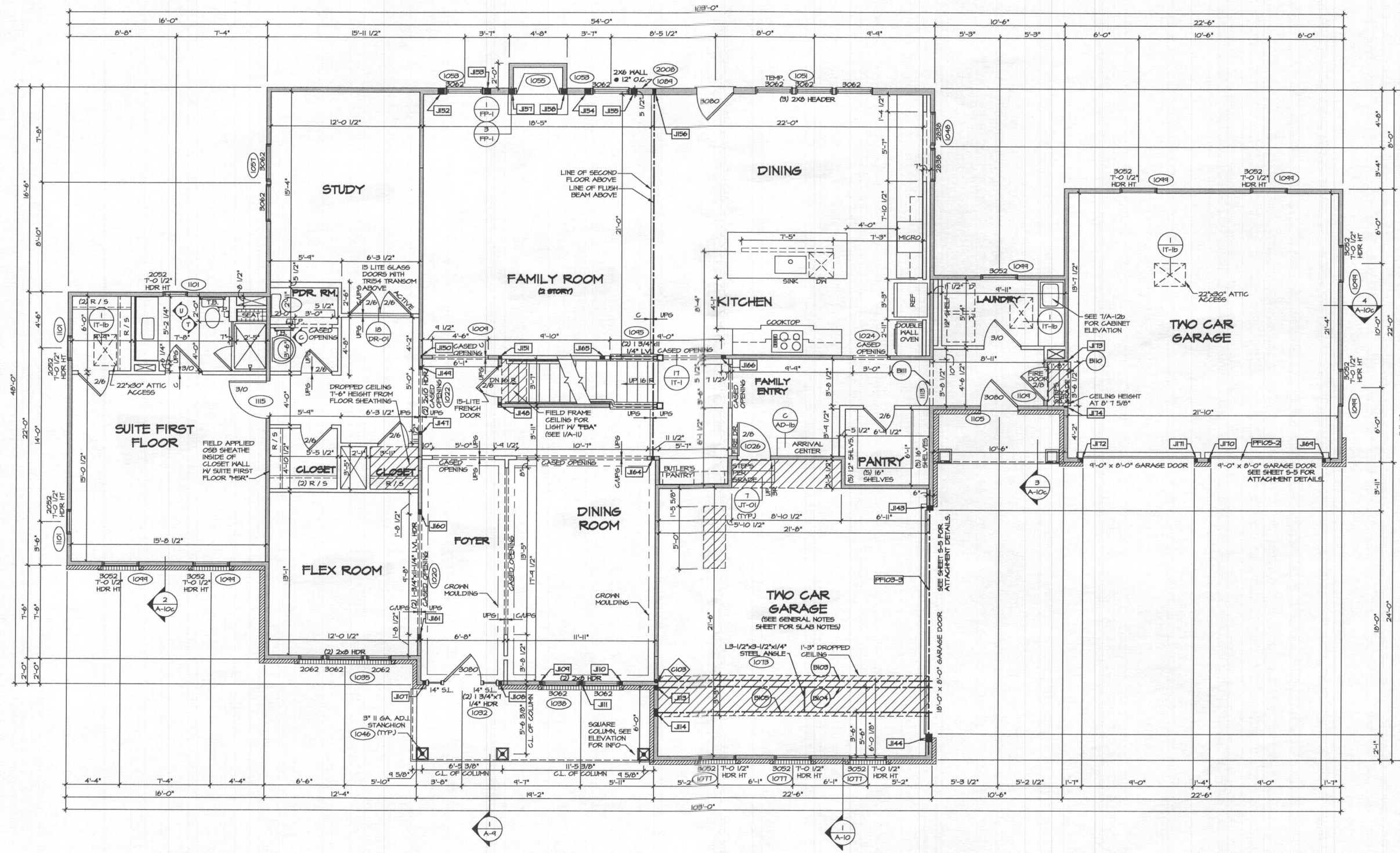
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO. DATE 0/24/17 TH - STANDARD DETAILS 5/0

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MODEL	SET NO. 11900
STRATFORD HALL	VERSION 01
DRAWING TITLE	DRAWN BY BIM
BASEMENT FLOOR PLAN	DATE:
	OPTION
SHEET NO.	OPTION DESCRIPTION
A-6	27

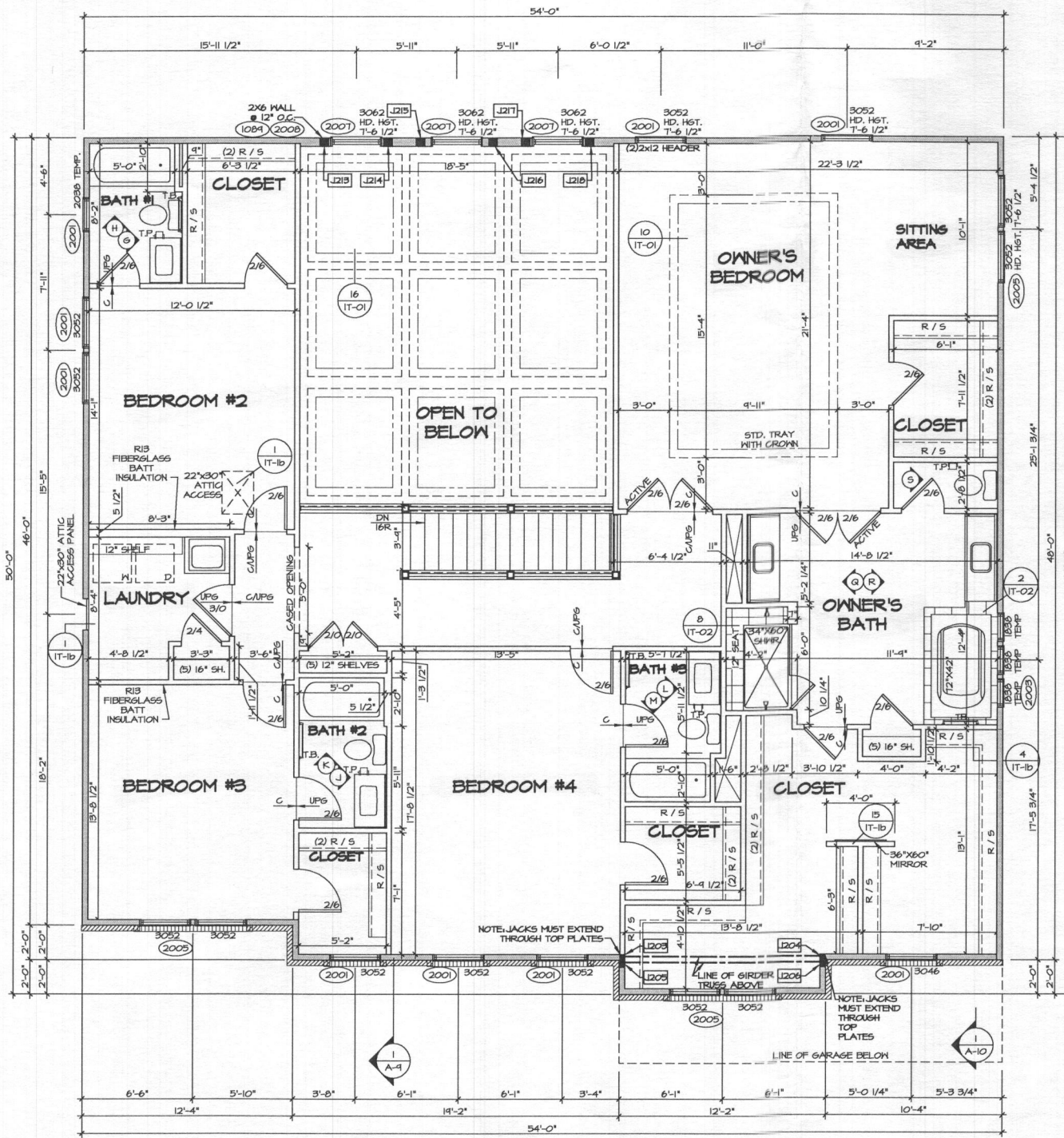


1 FIRST FLOOR PLAN
 A-7 SCALE 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

MODEL	STRATFORD HALL	SHEET NO.	A-7
DRAWING TITLE	FIRST FLOOR PLAN	OPTION DESCRIPTION	
SET NO.	11000	VERSION 01	
DRAWN BY	ZDM	DATE	4/16/16
DATE	4/16/16	OPTION	
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NVR, Inc. 5285 Washburn Drive, Suite 100 Frederick, MD 21703		REV. NO.	1
		DATE	1/24/17
		BY	TM - STANDARD DETAILS 3.0
		REMARKS	

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1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
 5. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
 7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 8. ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 9. ALL CASED OPENINGS AT T-1", UNLESS OTHERWISE NOTED.

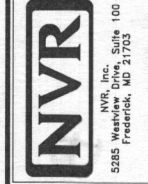
- LEGEND**
- BEARING WALL
 - - - NON BEARING WALL
 - ⊕ INDICATES BEARING FROM POINT-LOAD ABOVE
 - J JACKS
 - B BEAM/HEADER
 - F PAD FOOTING
 - C STEEL COLUMN
 - X PORTAL FRAME
 - X JOIST/TRUSS
 - L LVL
 - ⊙ ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. N.M.	REMARKS
J203	JACK - (3) 2x4 SP#1		2008	
J204	JACK - (3) 2x4 SP#1		2008	
J205	JACK - (3) 2x4 SP#2 STUD GRADE		2001	
J206	JACK - (3) 2x4 SP#2 STUD GRADE		2001	
J213	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SP#2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO. DATE
1 02/27/11 TM - STANDARD DETAILS 9.0

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MODEL STRATFORD HALL	SET NO. 11600	VERSION C1
DRAWING TITLE SECOND FLOOR PLAN	DRAWN BY BIM	
OPTION DESCRIPTION	DATE:	OPTION
A-8		
32.1		