



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2019 JUL 1 AM 11:59
Date Received: _____

Permit No.: **B19002174**

Building Address: **12404 HILLCREST**
 City: **FULTON** State: **MD** Zip Code: _____
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: **SFD**
 Proposed Use: **SAME**
 Estimated Construction Cost: \$ **480,000**

Description of Work: **BUILD ADDITION - 1330 SF #**
BALCONY 26x15, KITCHEN 23x16,
POWDER ROOM FOYER, LIVING ROOM
6x6 17x5 15'x17'7"

STUDY BEDROOM, BATH, CLOSET
 Occupant/Tenant Name: **12'x16'3" 14'x16" 15'6" x 7'6" 14' x 9'**

Was tenant space previously occupied? Yes No

Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: **Laurie Giff**
 Address: **12404 Hill Crest**
 City: **FULTON** State: **MD** Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: **MCWHORTER CONSTRUCTION**
 Contact Person: **RYAN**
 Address: **10831 REDBERRY RD**
 City: **CLARKSVILLE** State: **MD** Zip Code: **21029**
 License No.: **911659**
 Phone: _____ Fax: _____
 Email: **RYAN@MCWHORTERCONSTRUCTION.NET**

Engineer/Architect Company: **GLW**
 Responsible Design Prof.: **MIKE TRAN**
 Address: **3709 NATIONAL DR SU 250**
 City: **BOWENSVILLE** State: **MD** Zip Code: **20866**
 Phone: **3014214024** Fax: _____
 Email: **MTRAN@GLWPA.COM**

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
 Email Address: _____
 Title/Company: _____

Print Name: **RYAN MCWHORTER**
 Date: **7/1/19**

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	9/3/19	<i>[Signature]</i>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

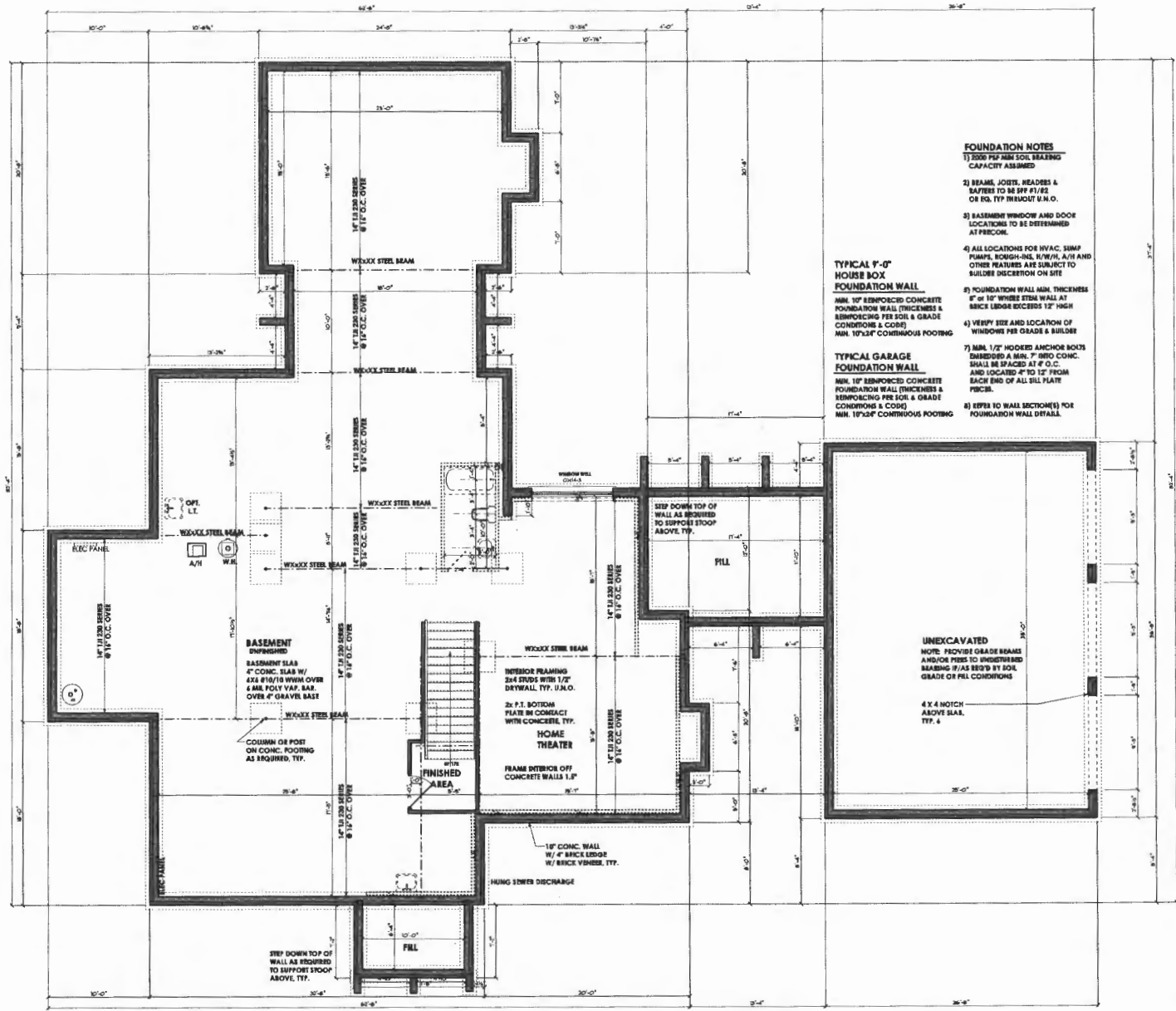
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Let Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	2820

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

B19002174

12404 HILL CREST
FULTON, MD



FOUNDATION NOTES

- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & PARTS TO BE RPT F1/2E OR EQ. TYP. MINIMUM U.M.O.
- 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PERIOD.
- 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, HOBBS, R/W/1, A/W AND OTHER FEATURES ARE SUBJECT TO SUBLOE DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS 8" OR 10" W/REIN. STEEL WALL AT BRICK LEADER EXCESS 1" HIGH
- 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE FRGRL.
- 8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAIL.

TYPICAL F-0' HOUSE BOX FOUNDATION WALL

MIN. 10" REINFORCED CONCRETE FOUNDATION WALL THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODES
MIN. 10"X4" CONTINUOUS FOOTING

TYPICAL GARAGE FOUNDATION WALL

MIN. 10" REINFORCED CONCRETE FOUNDATION WALL THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODES
MIN. 10"X4" CONTINUOUS FOOTING

UNEXCAVATED
NOTE: PROVIDE GRADE BEAMS AND/OR PILES TO UNDISTURBED BEARING STRATA BEYOND SOIL GRADE OR FILL CONDITIONS

4 X 4 NOTCH ABOVE SLAB, TYP. 4

BY USING THESE PLANS, YOU ARE ACCEPTING THE ASSUMPTIONS...
This is a license agreement not meant to be a warranty...
Professional liability insurance...
I, the undersigned, do hereby agree to indemnify and hold the architect harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the architect in connection with the performance of the architect's services under these plans, whether or not such claims, damages, losses and expenses are caused in whole or in part by the negligence of the architect.

CONTACT:
STEVE APPLER
18888 Gannon Road
Towson, Maryland 21286
Office: 410-226-5717
Cell: 410-226-5718
www.jonathanrivera.com



Gift Residence
PROPOSED RESIDENCE
12465 Lime Kiln Road, Fulton, Maryland 20759

REVISIONS

2-7-16	FROM
2-7-16	REVIEW
2-7-16	ISSUE

ISSUE DATE:
2-7-16

SCALE: 1/4" = 1'-0"
FOUNDATION
2.01
PLOT DATE:
Tuesday, September 23, 2019

H
Herrington Group
Professional Engineers
1000 North 10th Street
P.O. Box 1000
Greenville, SC 29615
Phone: 864.671.1111
Fax: 864.671.1112
www.herringtongroup.com

DATE: 05/17/17
PROJECT: ZIMMERMAN PROPERTY (P.L. 2015-001)
DRAWN BY: L. K. BIRD
CHECKED BY: J. S. BIRD
SCALE: AS SHOWN

Lot 6

System Type	System No.	System Name	System Description
Sanitary	1	Sanitary	Sanitary
Storm	2	Storm	Storm

System Type Information

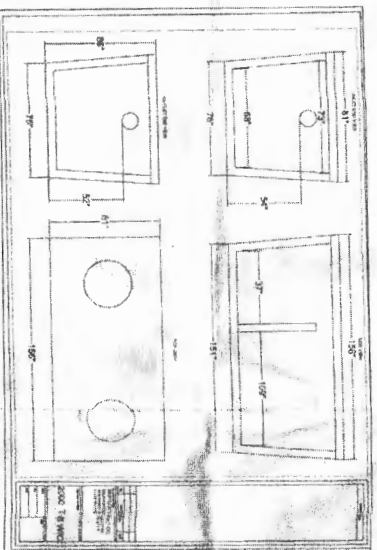
System Type	System No.	System Name	System Description
Sanitary	1	Sanitary	Sanitary
Storm	2	Storm	Storm

Proposed Septic System Calculations

Parameter	Value
Number of Bedrooms	3
Number of Bathrooms	3
Number of Full Bathrooms	3
Number of Half Bathrooms	0
Number of Living Units	1
Number of Units per Lot	1
Number of Units per Acre	1
Number of Units per 1000 sq. ft.	1
Number of Units per 1000 sq. ft. (Maximum)	1
Number of Units per 1000 sq. ft. (Minimum)	1
Number of Units per 1000 sq. ft. (Average)	1

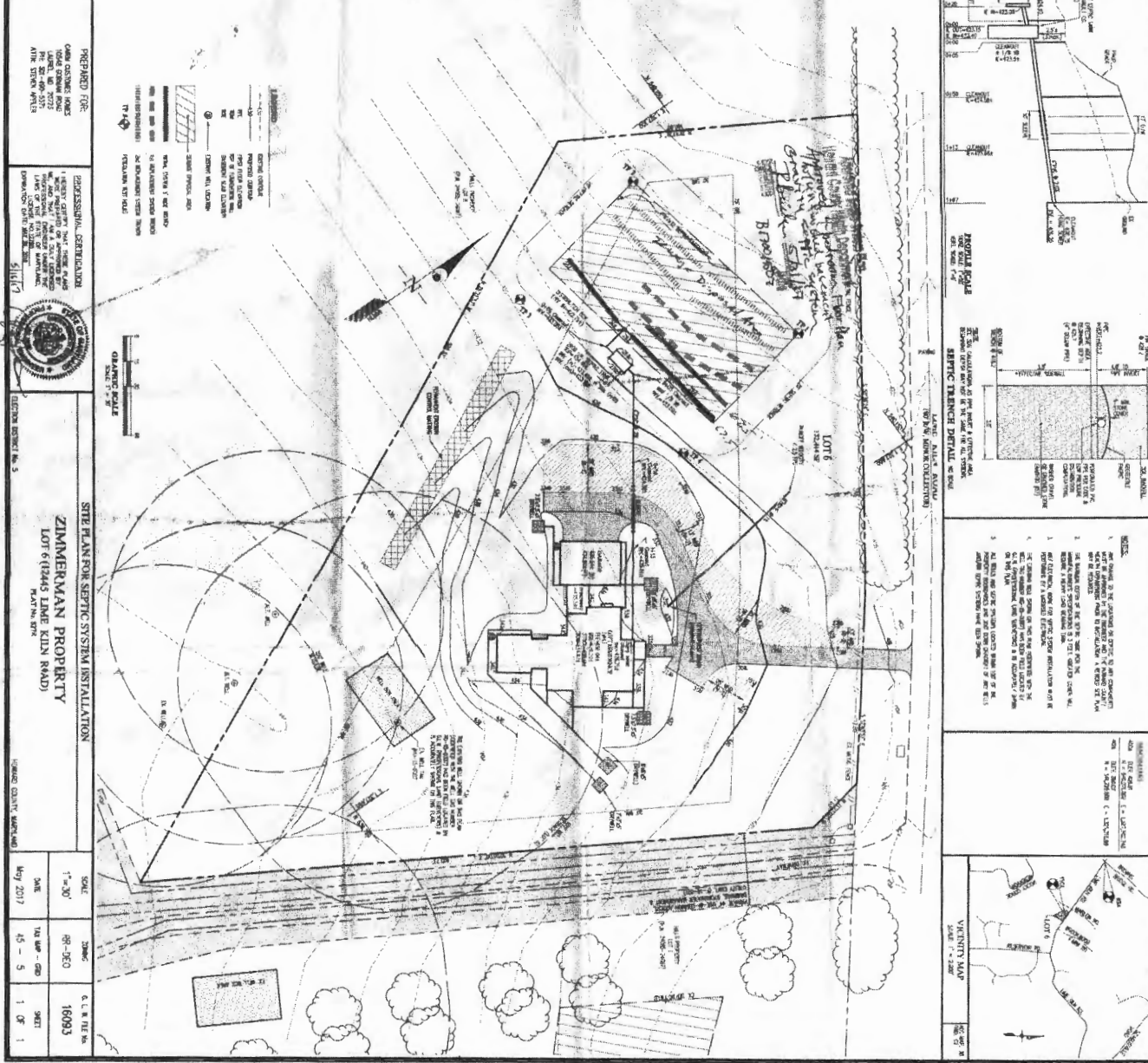
Final Septic System Design

Parameter	Value
Number of Units	3
Number of Units per Lot	3
Number of Units per Acre	3
Number of Units per 1000 sq. ft.	3
Number of Units per 1000 sq. ft. (Maximum)	3
Number of Units per 1000 sq. ft. (Minimum)	3
Number of Units per 1000 sq. ft. (Average)	3



GIW
Geotechnical Engineering
1000 North 10th Street
P.O. Box 1000
Greenville, SC 29615
Phone: 864.671.1111
Fax: 864.671.1112
www.giw.com

DATE: 05/17/17
PROJECT: ZIMMERMAN PROPERTY (P.L. 2015-001)
DRAWN BY: L. K. BIRD
CHECKED BY: J. S. BIRD
SCALE: AS SHOWN



PREPARED FOR:
OWNER: ZIMMERMAN PROPERTY
1000 North 10th Street
P.O. Box 1000
Greenville, SC 29615
Phone: 864.671.1111
Fax: 864.671.1112
www.giw.com

PROFESSIONAL CERTIFICATION:
I, the undersigned, being a duly licensed Professional Engineer in the State of South Carolina, do hereby certify that I am the author of the design and content of this drawing and that I am a duly licensed Professional Engineer in the State of South Carolina.

DATE: 05/17/17
SIGNATURE: [Signature]

SCALE: 1" = 30'

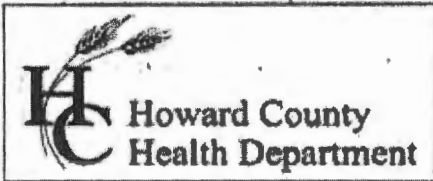
DATE: May 2017

PROJECT: ZIMMERMAN PROPERTY
LOT 6 (2345 LIME KIDN ROAD)
P.L. 2015-001

SCALE: 1" = 5'

DATE: May 2017

PROJECT: ZIMMERMAN PROPERTY
LOT 6 (2345 LIME KIDN ROAD)
P.L. 2015-001



Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12/13/17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 562359-A

APPROVAL DATE: 1/16/18 (SEC) **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 12404 Hillcrest

SUBDIVISION: Zimmerman Property LOT: 6 TAX ID: 05-387213

CONTRACTOR: South Carroll Backhoe EMAIL: scbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Dana R and Laurie B Gift EMAIL: sarah@calmcustomhomes.com

OWNER ADDRESS: 5421 Lynx Lane, Unit 216, Columbia, MD 21044 PHONE: _____

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault or equivalent

PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE 1.2

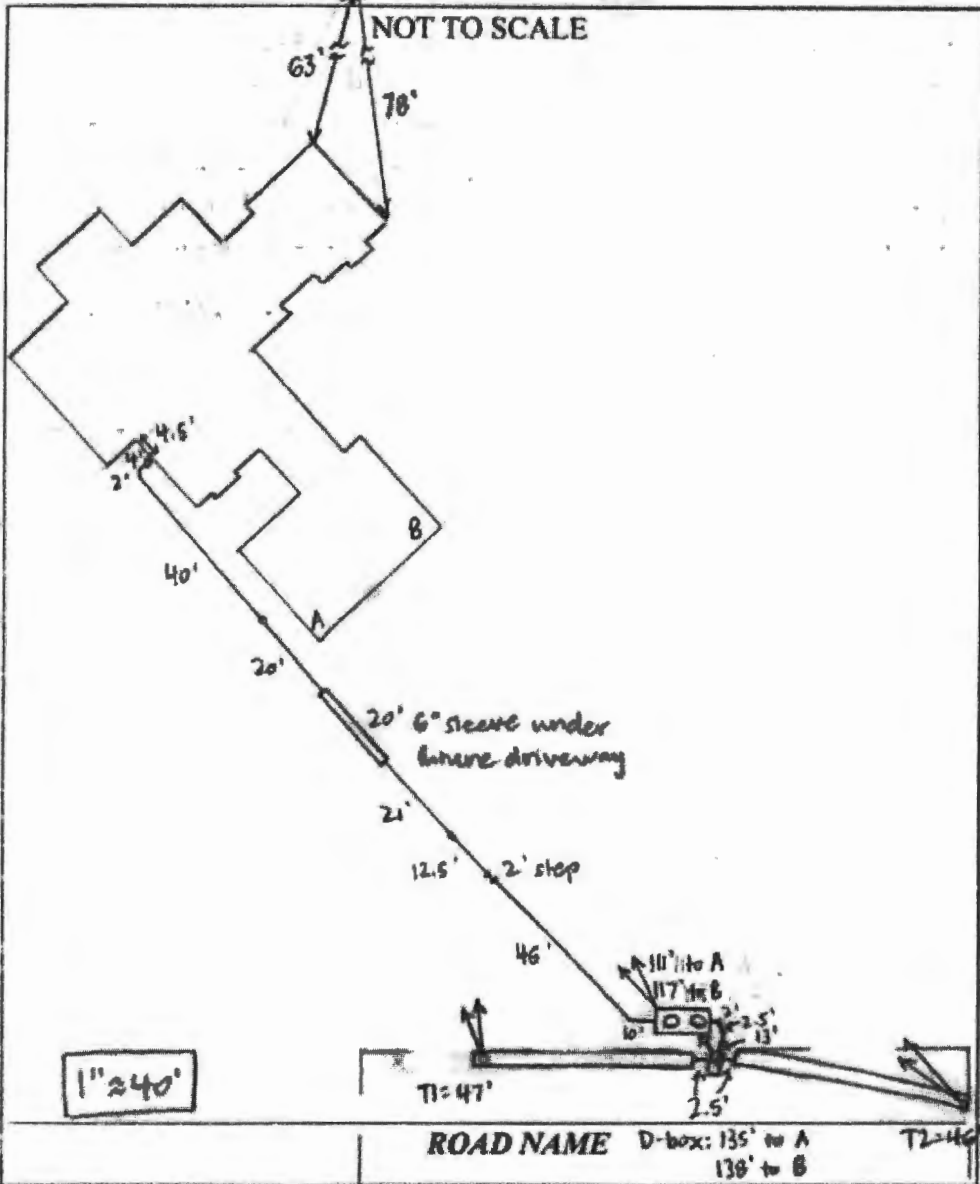
TRENCHES:	LINEAR FEET REQUIRED: <u>94-8</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Install 2 x 58' trenches on contour 47'	

I Kevin Wolf ISSUE DATE: 12/13/17 EXPIRATION DATE: 12/13/18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

10-15-0307



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES	2	
TOTAL LENGTH	93'	
ABSORPTION AREA	279' + SIDEWALL	
DISTRIBUTION BOX LEVEL	YES	
DISTRIBUTION BOX BAFFLE	YES	
DISTRIBUTION BOX PORT	YES	

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABILON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	1-2'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	10-17-17
PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

1" = 40'

ROAD NAME D-box: 135' to A
138' to B

PRE-CONSTRUCTION: 1/12/18 Met S. Carroll on site for layout. SDA corners + trenches staked. Shot contour and laid out 2-47' trenches - keep @ W edge to conserve SDA. (S)

INSTALLATION: 1/16/18 Tank set, house connection made. T1 finished + left open for inspection. 3' wide, 3.5' to stone. T2 dug, S. Carroll starting to add stone. 3' wide, 8' bottom. Using laser to check depths. Levelled speed levelers in D-box. (S)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 1/16/18

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

2800 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MD 20886

TEL: 301-421-4024 BAL: 410-389-1820 DCVA: 201-889-2524 FAX: 301-421-4186

LETTER OF TRANSMITTAL

TO: BUREAU OF ENVIRONMENTAL HEALTH
8930 STANFORD BLVD.
COLUMBIA, MD 21045

ATTN: KEVIN M. WOLF

DATE	1-15-18	JOB NO	16093
PROJECT	ZIMMERMAN PROPERTY		
	WALLCHECK		
	kwolf@howardcountymd.gov		

WE ARE SENDING THE FOLLOWING ITEMS:

ATTACHED

UNDER SEPARATE COVER

MYLARS

PRINTS

COST ESTIMATES

DESCRIPTIONS

GRADE SHEETS

COPY OF LETTER

APPLICATIONS

COMPUTATIONS

OTHER _____

VIA:

MAIL

OVERNIGHT

GLW COURIER

COURIER

OTHER _____

COPIES	DATE	PAGES	DESCRIPTION
2	1-15	2	WALLCHECK SKETCH LOT 6 (REVISED TO NEW SCALE)

THESE ARE TRANSMITTED as checked below:

FOR APPROVAL

SIGN & RETURN

FOR YOUR USE

AS SUBMITTED TO _____

FOR REVIEW & COMMENT

AS REQUESTED BY _____

PER YOUR REQUEST

REMARKS:

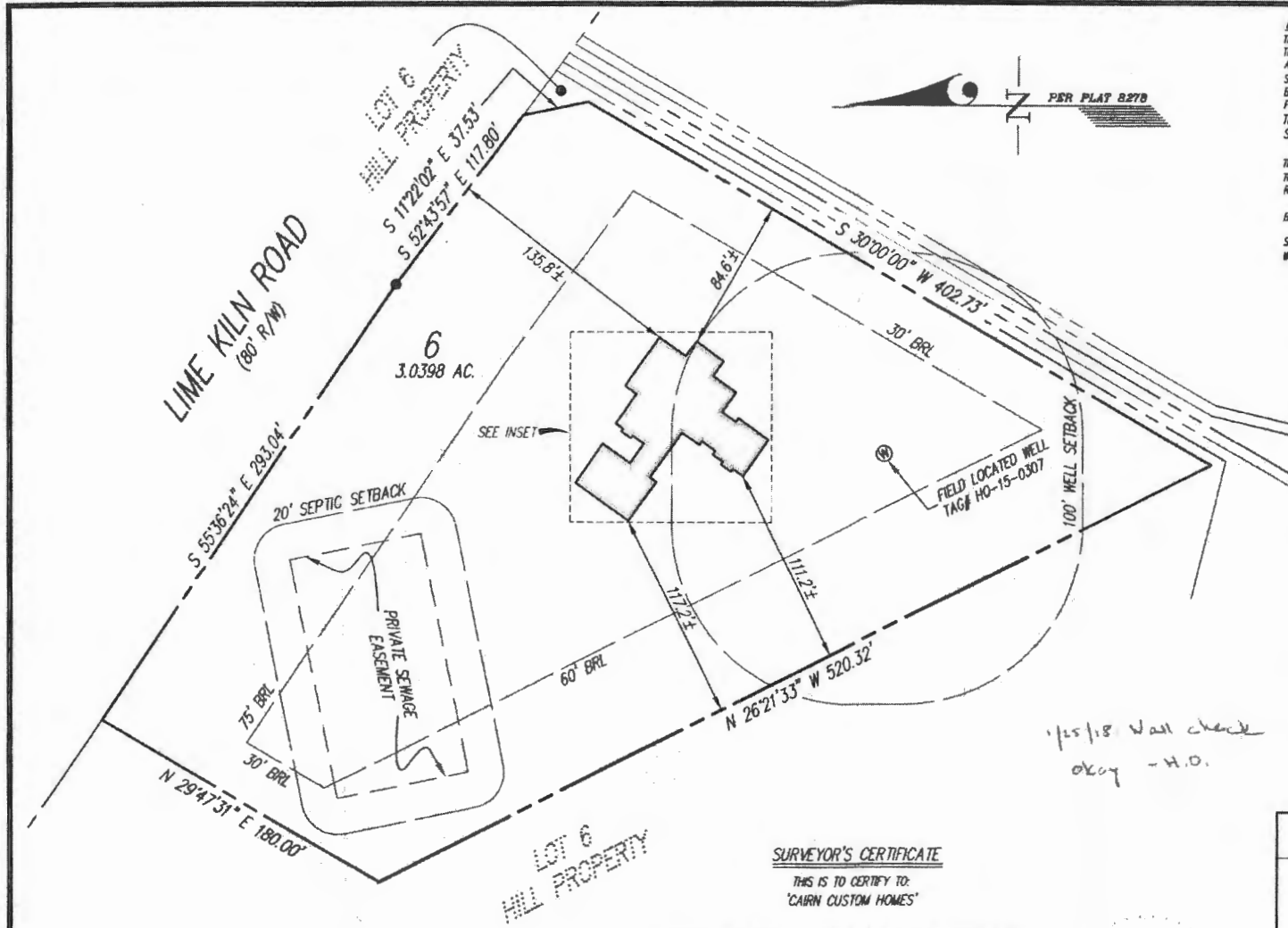
COPY TO:

SIGNED:

Adam Cook

If enclosures are not as noted, kindly notify us at once.

S:\Survey Drawings\WALLCHECK\ZIMMERMAN-PROP-16093\WCK\16093WCK-6.dwg, 11/15/2018 8:52:30 AM, User: t1

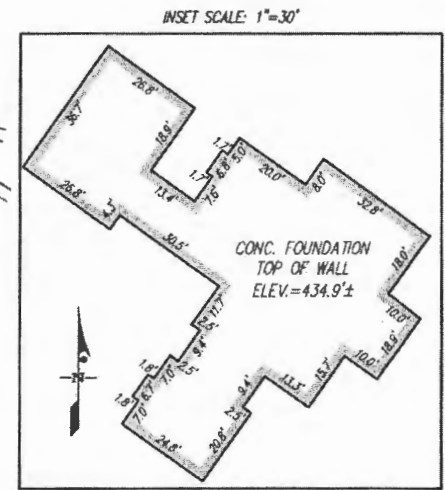


NOTES:
 THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
 THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBER 24027C01400, EFFECTIVE DATE NOVEMBER 6, 2013.

BUILDING SETBACKS (BRL'S) SHOWN HEREON PER PLAT No. 8278

SETBACK DISTANCES SHOWN HEREON ARE TO THE OUTERMOST FACE OF THE FOUNDATION WALLS AND HAVE AN ACCURACY OF ± 0.1' FOOT.



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY TO:
 'CAIRN CUSTOM HOMES'

THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE POSITION OF THIS BUILDING FOUNDATION HAS BEEN ESTABLISHED BY ACCEPTED FIELD PRACTICES.

[Signature] 11/15/2018
 For Gutschick, Little and Weber, P.A.:
 Thomas C. O'Connor, Jr.,
 Professional Land Surveyor, No. 10954 (EXP. DATE: 07/03/2018)

THIS WALLCHECK IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE SURVEYOR.

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3009 NATIONAL DRIVE - SUITE 250 - BURTCHVILLE OFFICE PARK
 BURTCHVILLE, MARYLAND 20888

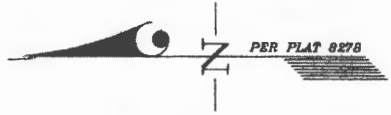
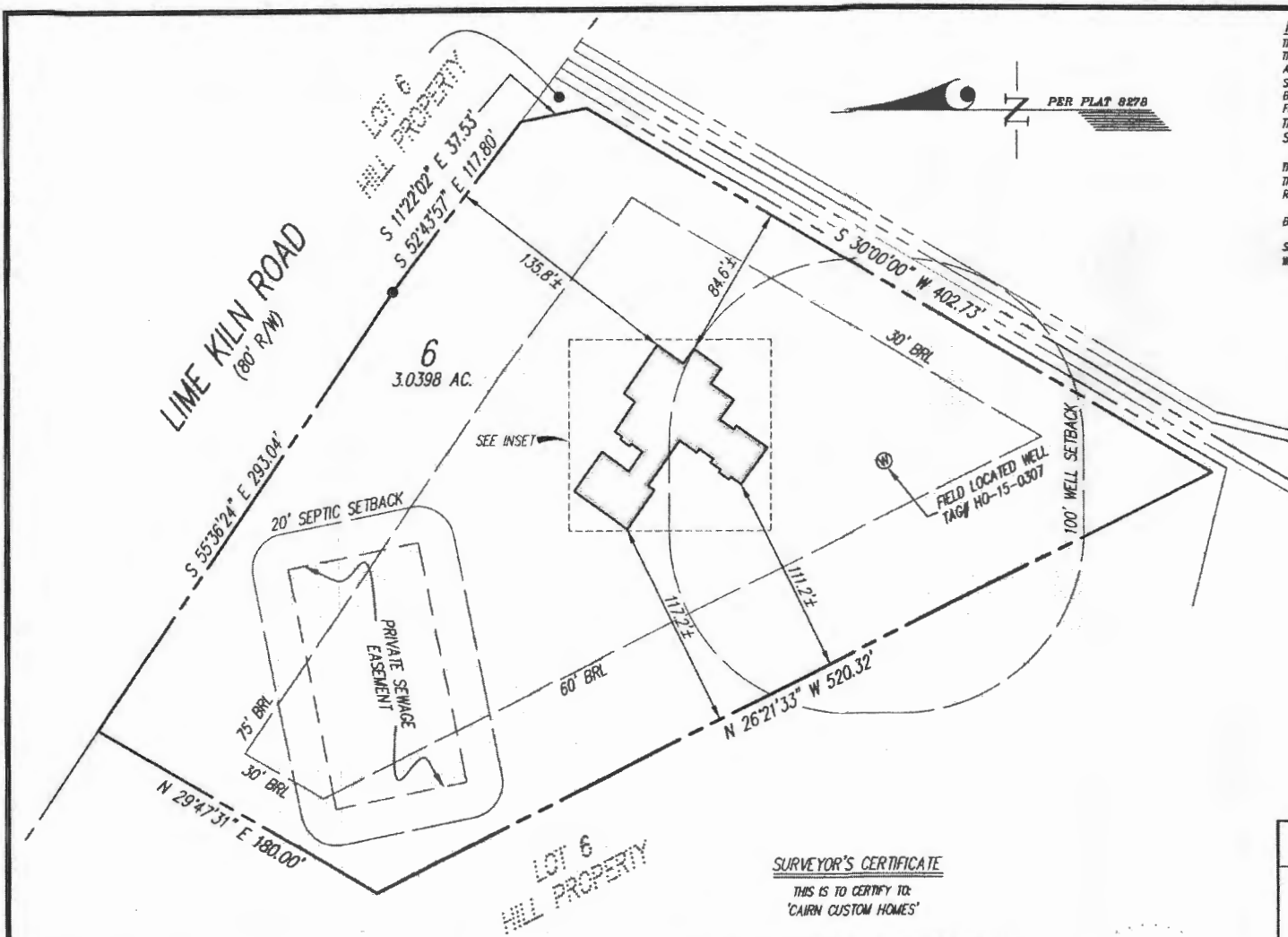
TEL: 301-421-4224 FAX: 410-582-1822 SC/FX: 301-421-2524 FAX: 301-421-4228

S:\Survey Drawings\WALLCHECK\ZIMMERMAN-PROP-16093\WCK\16093WCK-6.dwg

DES.	PREPARED FOR: CAIRN CUSTOM HOMES 10548 GORMAN ROAD LAUREL, MD 20723
DRN. AR	
CHK.	

WALLCHECK (SPECIAL PURPOSE SURVEY)	
ZIMMERMAN PROPERTY	
LOT 6	
12404 HILL CREST	
HOWARD COUNTY, MARYLAND	
DATE OF LATEST FIELD WORK: 07-12-2017	G.L.W. FILE No. 16093
REFERENCE: PLAT No.: 8278	SCALE: 1"=60'

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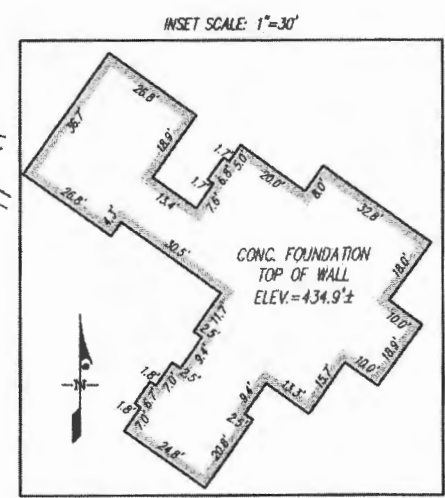


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BUILDING SETBACKS (BRL'S) SHOWN HEREON PER PLAT No. 8278

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SURVEYOR'S CERTIFICATE

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 'CAIRN CUSTOM HOMES'

THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF,
 THE POSITION OF THIS BUILDING FOUNDATION
 HAS BEEN ESTABLISHED BY ACCEPTED FIELD PRACTICES.

[Signature] 1/15/2018
 For Gutschick, Little and Weber, P.A.:
 Thomas C. O'Connor, Jr.,
 Professional Land Surveyor, No. 10954 (EXP. DATE: 07/03/2018)

THIS WALLCHECK IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE SURVEYOR.

GLWGUTSCHICK LITTLE & WEBER, P.A.

ONE ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3009 NATIONAL DRIVE - SUITE 200 - BETHESDA OFFICE PARK
 BETHESDA, MARYLAND 20814
 TEL: 301-421-6024 FAX: 410-893-1520 DC/VA: 301-289-2324 FAX: 301-421-6188

DES. DRN. AR. CHK.
 PREPARED FOR:
 CAIRN CUSTOM HOMES
 10548 GORMAN ROAD
 LAUREL, MD 20723

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© GLW 2018

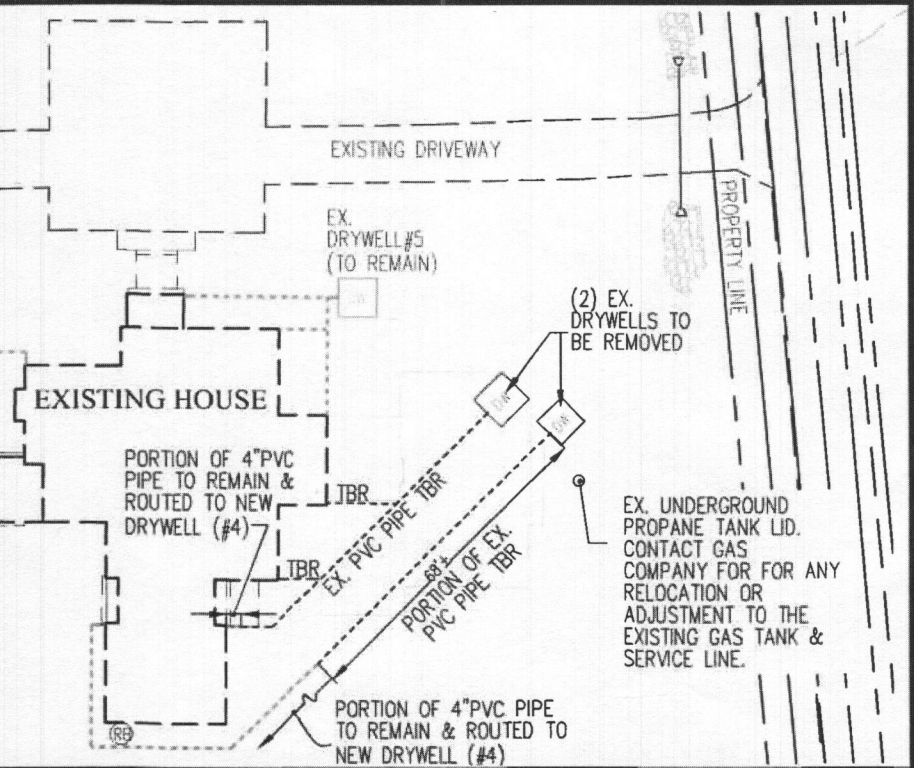
WALLCHECK (SPECIAL PURPOSE SURVEY)	
ZIMMERMAN PROPERTY	
LOT 6	
12404 HILL CREST	
HOWARD COUNTY, MARYLAND	
DATE OF LATEST FIELD WORK: 07-12-2017	G.L.W. FILE No. 16093
REFERENCE: PLAT No.: 8278	SCALE: 1"=60'

**EXISTING DRYWELL (M-5)
TO REMAIN - SIZE CHART**

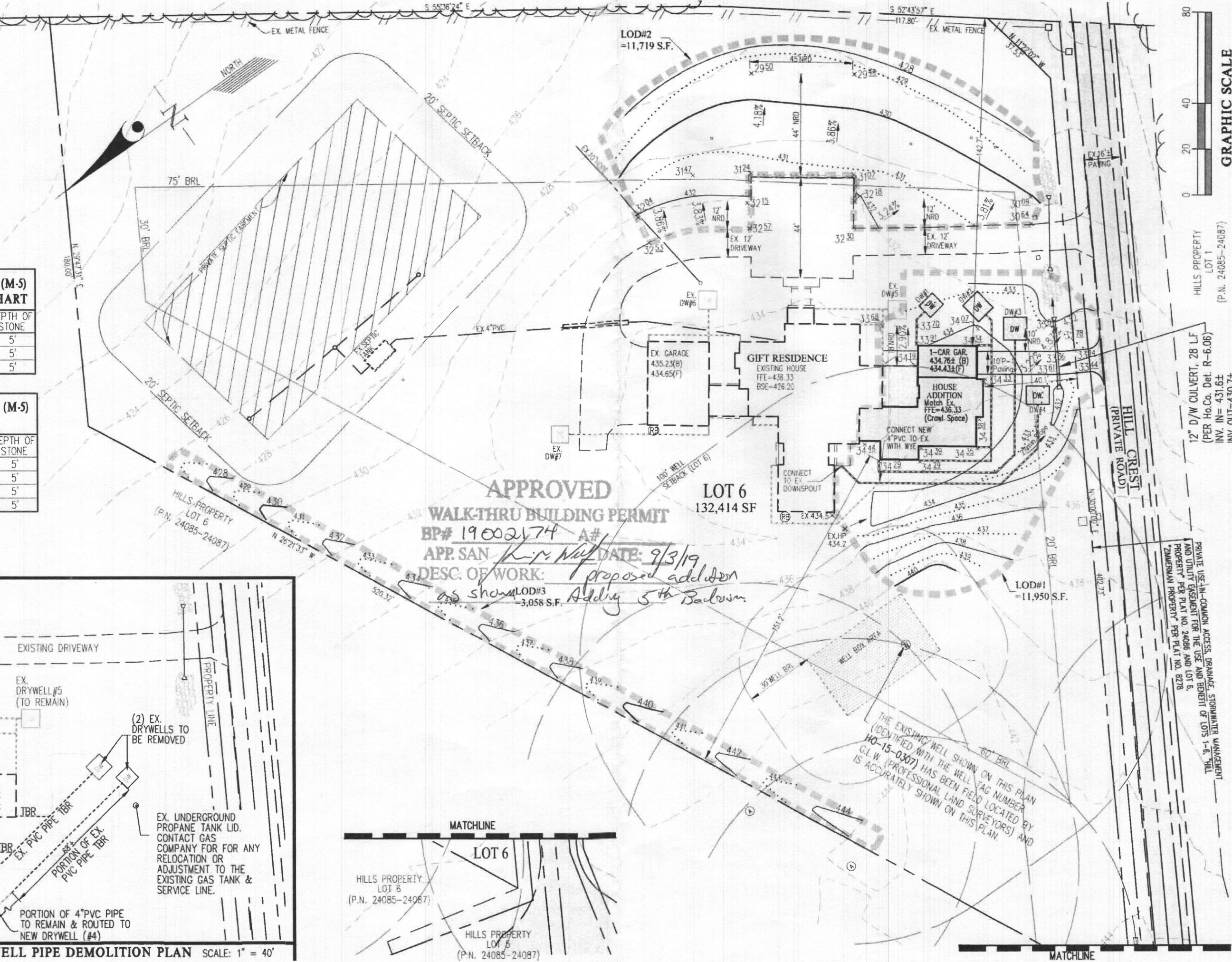
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
5	8'x8'	5'
6	8'x8'	5'
7	7.5'x7.5'	5'

**PROPOSED DRYWELL (M-5)
SIZE CHART**

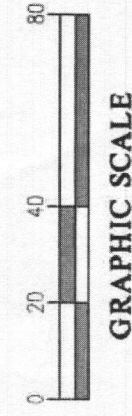
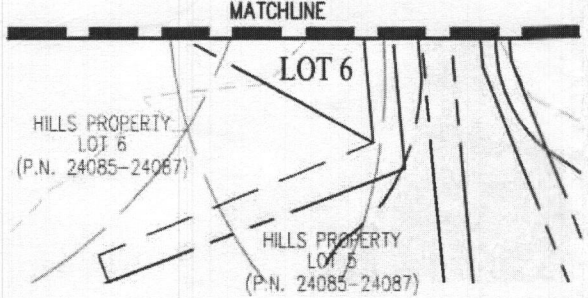
DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	7'x8'	5'
2	9'x10'	5'
3	10'x10'	5'
4	8'x10'	5'



DRYWELL & DRYWELL PIPE DEMOLITION PLAN SCALE: 1" = 40'



APPROVED
WALK-THRU BUILDING PERMIT
BP# 19002174 A#
APP. SAN *K.M. Wolf* **DATE: 9/3/19**
DESC. OF WORK: *proposed addition as shown LOD#3*
Adding 5th Bedroom



GRAPHIC SCALE

HILLS PROPERTY LOT 1
(P.N. 24085-24087)
12" D/W CULVERT, 28 L.F.
(PER Ho.Co. Det. R-6.06)
INV. IN= 431.6±
INV. OUT=430.7±

THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-15-0307) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

PRIVATE USE-IN-COMMON ACCESS, DRAINAGE, STORMWATER MANAGEMENT AND UTILITY EASEMENT FOR THE USE AND BENEFIT OF LOTS 1-6, "HILLS PROPERTY" PER PLAT NO. 24086 AND LOT 5, "ZIMMERMAN PROPERTY" PER PLAT NO. 8278.

BUILDING PERMIT FOR HOUSE ADDITION

G. L. W. No.	19028
ZONING	RR-DEO
TAX MAP/GRID	45 - 5
DATE	JUNE 2019
SCALE	1" = 40'
SHEET	1 OF 1

GIFT RESIDENCE
12404 HILL CREST
Zimmerman Property - Lot 6 (PLAT No. 8278)

PREPARED FOR:
DANA and LAURIE GIFT
12404 HILL CREST
FULTON, MD 20759

DES.
DRN.
CHK.

