



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000445

Building Address: 13375 FORSYTHE RD
 City: SYKESVILLE State: MD Zip Code: 21784
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: HOFMEISTER PROPERTY
 Lot: 2 Tax Map: 0004 Parcel: 0067

Existing Use: UNDEVELOPED
 Proposed Use: RESIDENTIAL HOME
 Estimated Construction Cost: \$ 300,000

Description of Work: CONSTRUCT MODULAR HOME
CARPORIT, DECK, SCREEN PORCH
2 BR, 2 BATH, LIVING ROOM
DINING ROOM ON CRAWL SPACE

Occupant/Tenant Name: TAYLOR
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: TAYLOR, ROBERT & BETH
 Address: 19050 NEW HAMPSHIRE AVE
 City: BRINKLOW State: MD Zip Code: 20862
 Phone: 301-787-3396 Fax: _____
 Email: BOBTAYLOR1@ME.COM

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: THE GREAT, MCB1
 Address: P.O. BOX 42
 City: CLARKSVILLE State: MD Zip Code: 21029
 Phone: 301-924-9550 Fax: 301-596-9181
 Email: MSE.TAZ@GMAIL.COM

Contractor Company: MARYLAND CASPER BUILDERS, INC
 Contact Person: TAZ GREAT
 Address: P.O. BOX 42
 City: CLARKSVILLE State: MD Zip Code: 21029
 License No.: MHEBR 381
 Phone: 301-924-9550 Fax: 301-596-9181
 Email: MSE.TAZ@GMAIL.COM

Engineer/Architect Company: FISHER, COLLINS & CARTER
 Responsible Design Prof.: STEPHANIE TURITE
 Address: 10272 BALT. NAT. PIKE
 City: ELLICOTT CITY State: MD Zip Code: 21042
 Phone: 410-461-2855 Fax: 410-750-3784
 Email: STEPHANIE@FCC-ENG.COM

Commercial Building Characteristics	Residential Building Characteristics
Height: <u>18 FT</u>	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: <u>1</u>	Depth <u>30</u> Width <u>32</u>
Gross area, sq. ft./floor: <u>1280</u>	1st floor: <u>30</u> 2nd floor: <u>N/A</u>
Area of construction (sq. ft.): <u>1280</u>	Basement: <u>N/A</u>
<u>30x32 AND 16x20</u>	<input type="checkbox"/> Finished Basement
Use group: _____	<input type="checkbox"/> Unfinished Basement
Construction type: _____	<input checked="" type="checkbox"/> Crawl Space
<input checked="" type="checkbox"/> Reinforced Concrete <u>FOUNDATION</u>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Structural Steel	No. of Bedrooms: <u>2</u>
<input type="checkbox"/> Masonry	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Wood Frame	No. of efficiency units: _____
<input checked="" type="checkbox"/> State Certified Modular	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: THE GREAT
 Email Address: MSE.TAZ@GMAIL.COM Date: 2/19/19
 Title/Company: PREP

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/15/19</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
 Rear: _____
 Side: _____
 Side St.: _____
 All minimum setbacks met? Yes No
 Is Entrance Permit Required? Yes No
 Historic District? Yes No
 Lot Coverage for New Town Zone: _____
 SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

simplified ECP
annual (PT)

Oswald, Hank

From: Mautaz Ezzat <mse.taz@gmail.com>
Sent: Friday, March 01, 2019 10:16 AM
To: Oswald, Hank
Cc: Stephanie Tuite; Williams, Jeffrey
Subject: Re: B19000445_13375 Forsythe Road_Hf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Good morning Hank,

Thank you for the email. The house plan that you attached is the plan that we are building, the remaining plans are the typical details from the modular factory.

The building permit submission did include the site plan. I will have Stephanie Tuite submit the OSDS plan.

Thank you,

Taz

Mautaz S. Ezzat, President
Maryland Custom Builders, Inc.
800-888-4915
301-924-9550
301-596-9181 (Fax)

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On Mar 1, 2019, at 10:05 AM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Good morning Mr. Ezzat:

This office is in receipt of a building permit for a 2 bedroom residence located at 13375 Forsythe Road (Hofmeister, Lot 2). The application was accompanied by 2 different sets of floor plans (FPs). I've attached the FP that best matches the description on the application. Is this the correct floor plan?

In addition, our office will need a BP Site Plan and OSDS Plan for the planned residence. I sent an email to Stephanie of FCC for more information about the property and notified them about OSDS plan requirement.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank
Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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<Floor Plans_2019030108234304.pdf>

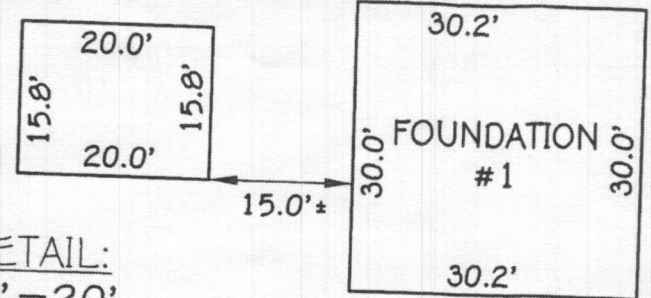
GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INSOFAR AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C0055D EFFECTIVE 11/6/2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 0.4'.
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2020.
- 6) BUILDING PERMIT #B-19000445

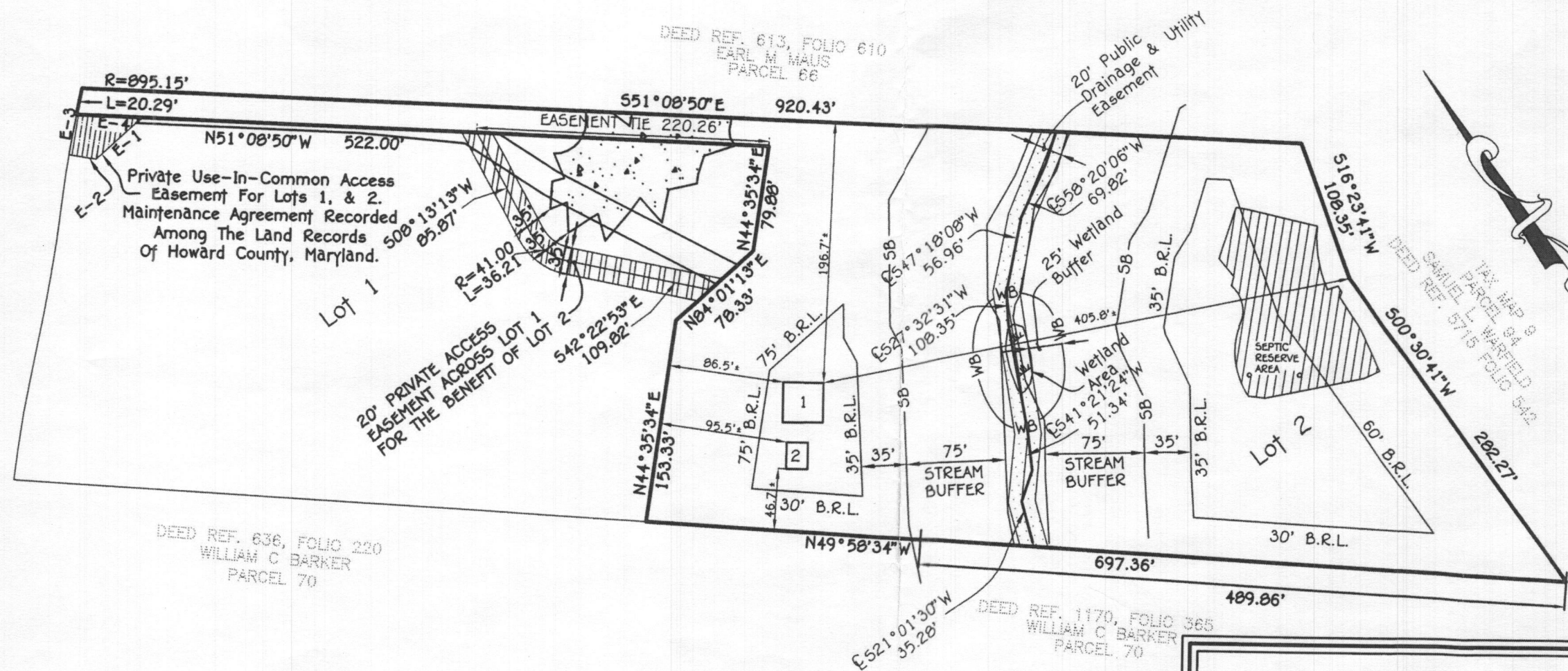
LEGEND

-  Private Use-In-Common Shared Driveway Easement For The Benefit Of Lots 1 And 2.
-  Wetland Area.
- SB — Stream Buffer
- WB — Wetland Buffer
-  Private Access Easement For The Benefit Of Lot 2.
-  Public Drainage And Utility Easement.
-  Steep Slopes In Excess Of 25%.

DETAIL:
1" = 20'



FORSYTHE ROAD
 (Minor Collector)
 (Ultimate 60' R/W)

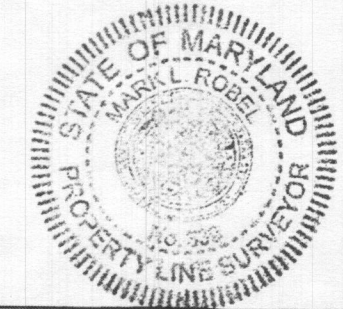


PRIVATE USE-IN-COMMON ACCESS EASEMENT	
Line	Bearing And Distance
E-1	N04°19'44"E 46.99'
E-2	S44°35'45"E 20.74'
E-3	R=095.15 L=30.09
E-4	S51°08'50"E 49.79'

LOT 2
 HOFMEISTER PROPERTY
 PLAT NO. 18450
 THIRD ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2055

#13375 FORSYTHE ROAD
 B.R.L. = BUILDING RESTRICTION LINE
 TOP OF FOUNDATION #1 ELEVATION = 527.5±
 TOP OF FOUNDATION #2 ELEVATION = 527.5±



Mark L. Robel 5/13/19
 PROFESSIONAL LAND SURVEYOR DATE
 REG. # 339

HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 5/9/19
 FINAL LOCATION: _____
 BOUNDARY SURVEY: _____

SCALE: 1" = 100'
 DATE: 5/13/19
 DRAWN BY: MD
 CHECKED BY: MLR
 PROJECT No.: 04149-6001

THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

TAYLOR

13375 FORSYTHE ROAD
SKYESVILLE, MD 21784
HOWARD COUNTY

Heath

BUILDER:

MARYLAND CUSTOM BUILDERS

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:

TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

FN	01-24-19	JPF
FN2	01-31-19	JPF
PD4	11-28-18	SAN
PD5	12-12-18	JPF
PD6	12-18-18	SAN
PD7	12-19-18	SAN

PROJECT:

41517
FREEDOM 1A

TITLE:

COVER SHEET

DRAWN BY: DLN

DATE: 11-02-18

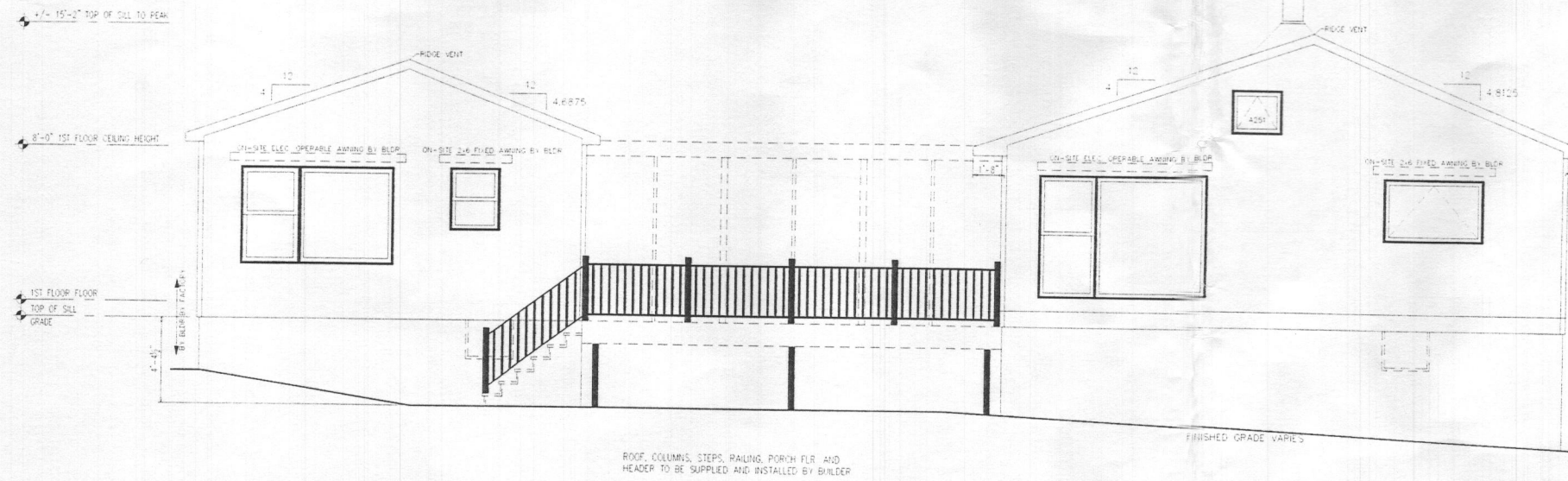
SCALE: NA

FILENAME: 41517 FN

SHEET:

COVER

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ROOF, COLUMNS, STEPS, RAILING, PORCH FLR AND
HEADER TO BE SUPPLIED AND INSTALLED BY BUILDER

FINISHED GRADE VARIES

FRONT ELEVATION

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

SITE CONDITIONS:

GROUND SNOW LOAD:	25	PSF
WIND SPEED:	115	VULT MPH
EXPOSURE:	B	
SEISMIC CATEGORY:	-	
USE GROUP:	SINGLE FAMILY	
CONSTRUCTION TYPE:	VB WOOD FRAME UNPROTECTED	

SQUARE FOOTAGE:

FIRST FLOOR:	1,200	SQ. FT.
SECOND FLOOR:	NA	SQ. FT.
BONUS ROOM:	NA	SQ. FT.
GARAGE:	NA	SQ. FT.
TOTAL:	1,200	SQ. FT.
OVERALL SIZE	71'-6"X30'-0"	
MODEL:	FREEDOM 1A	

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BRAND:
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 HOMES

BUILDER:
MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:
TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

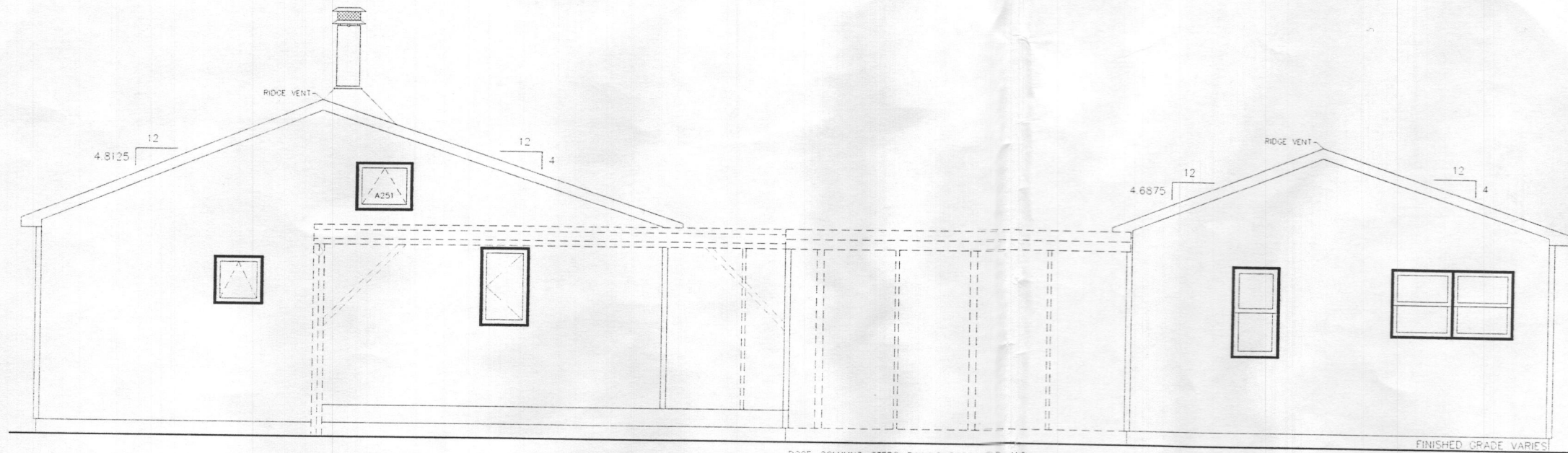
PROJECT:
**41517
 FREEDOM 1A**

TITLE:
ELEVATIONS

DRAWN BY: DLN
 DATE: 11-02-18
 SCALE: NA
 FILENAME: 41517 FN

SHEET:
ELEVATIONS

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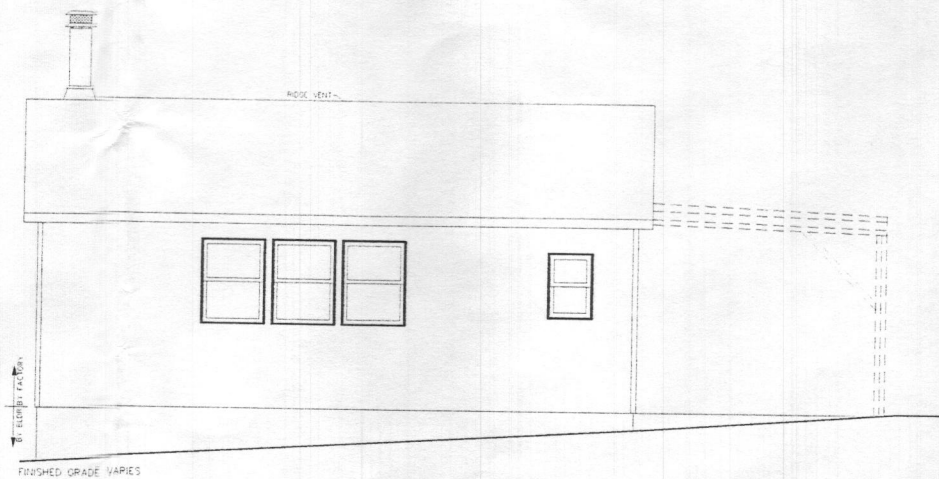


ROOF, COLUMNS, STEPS, RAILING, PORCH FLR. AND
 HEADER TO BE SUPPLIED AND INSTALLED BY BUILDER.

REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

BRAND:



BUILDER:

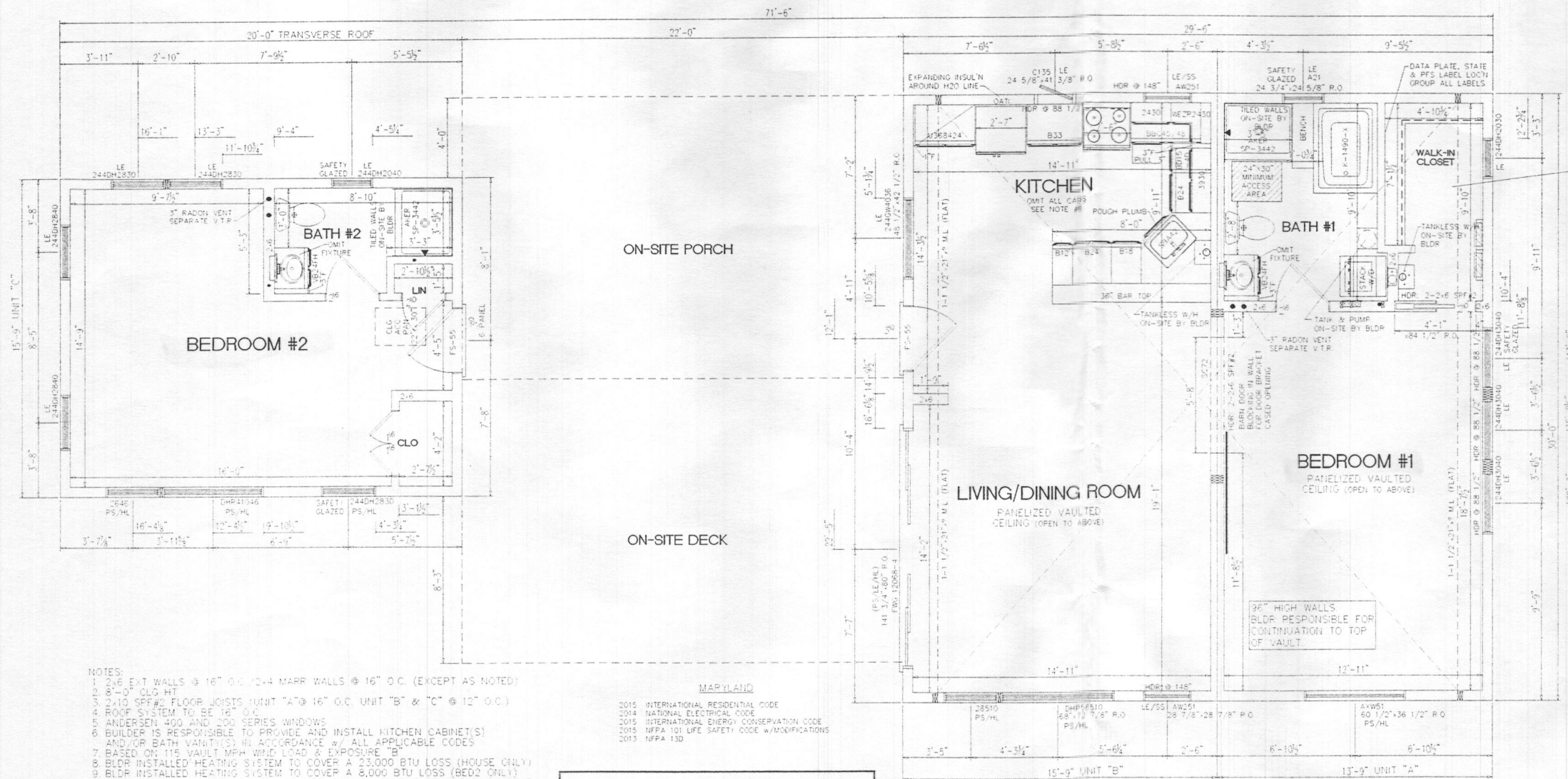
MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:

TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

BRACED WALL CALCS REQUIRED
 SPRINKLER SYSTEM REQUIRED



2x6 CEILING SYSTEM ABOVE BATH#1 AND W.I.C. IS TO BE BUILT BY FACTORY. INTERIOR CLOSE OFF FOR VAULTED CEILING IS TO BE BUILT ON-SITE BY BUILDER PER ALL APPLICABLE CODES (ACCESS THRU CLOSE OFF WALL BY THE BLDG)

APPROVERS SEAL

MODIFICATIONS

PROJECT:

41517
 FREEDOM 1A

TITLE:

FIRST FLOOR
 FLOOR PLAN

DRAWN BY: DLN

DATE: 11-02-18

SCALE: NA

FILENAME: 41517 FN

SHEET:

1ST FLR

- NOTES:
- 2x6 EXT WALLS @ 16" O.C. 1/2" MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 - 8'-0" CLG HT
 - 2x10 SFF#2 FLOOR JOISTS UNIT "A" @ 16" O.C. UNIT "B" & "C" @ 12" O.C.
 - ROOF SYSTEM TO BE 16" O.C.
 - ANDERSEN 400 AND 200 SERIES WINDOWS
 - BUILDER IS RESPONSIBLE TO PROVIDE AND INSTALL KITCHEN CABINET(S) AND/OR BATH VANITY(S) IN ACCORDANCE w/ ALL APPLICABLE CODES
 - BASED ON 115 VAULT MPH WIND LOAD & EXPOSURE
 - BLDR INSTALLED HEATING SYSTEM TO COVER A 23,000 BTU LOSS (HOUSE ONLY)
 - BLDR INSTALLED HEATING SYSTEM TO COVER A 8,000 BTU LOSS (BEDD ONLY)
 - SITE LOCATION: SKYVILLE, MD, HOWARD COUNTY; 25 PSF GROUND SNOW LOAD

MARYLAND
 2015 INTERNATIONAL RESIDENTIAL CODE
 2014 NATIONAL ELECTRICAL CODE
 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 2015 NFPA 101 LIFE SAFETY CODE w/MODIFICATIONS
 2013 NFPA 13D

SPANS, HRS & FOUNDATION TO BE CALCD AFTER SPECIAL ROOF DESIGN.

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 MODULAR



BUILDER:
MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:
TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

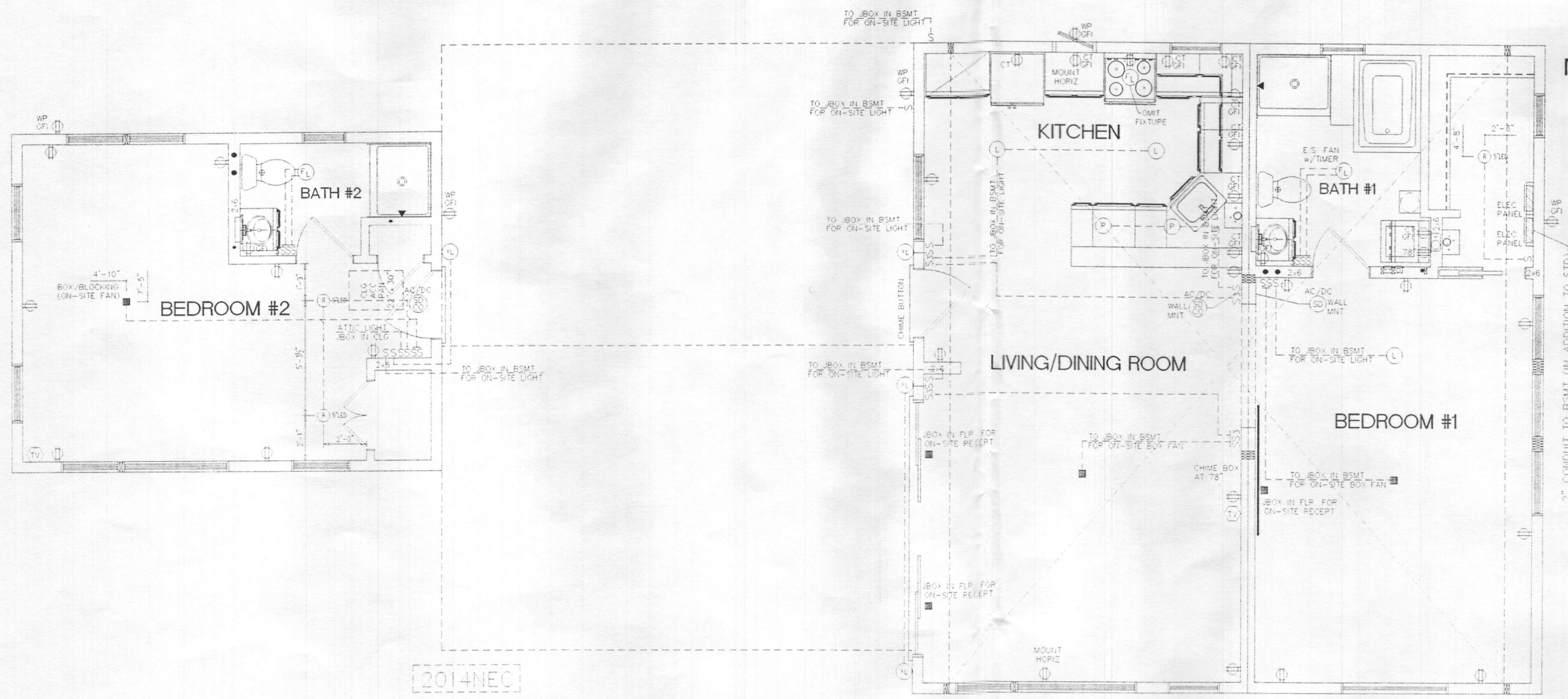
PROJECT:
**41517
 FREEDOM 1A**

TITLE:
**FIRST FLOOR
 ELECTRICAL PLAN**

DRAWN BY: DLN
 DATE: 11-02-18
 SCALE: 3/16" = 1'-0"
 FILENAME: 41517 FN

SHEET:
1ST ELEC

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2014NEC

- THIS PLAN MAY HAVE ADDITIONAL APPLIANCES/FIXTURES ADDED TO THE ELECTRICAL SCHEMATIC AND/OR PANEL BOX PROVIDING THE LOADING DOESN'T EXCEED THE MAXIMUM ALLOWED BY STATE & LOCAL CODES.
- E-CUTOFF SWITCH ON-SITE BY OTHERS PER ALL STATE & LOCAL CODES.
- ALL BRANCH CIRCUITS SUPPLYING 15 & 20 AMPERE OUTLETS IN LIVING SPACES ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.12 2014 NEC.
- PER 408.12 OF 2014 NEC ALL 125 -VOLT, 15 AND 20 AMP RECEPES INSTALLED IN AREAS SPECIFIED BY 210.52, SHALL BE LISTED TAMPER RESISTANT TYPE
- 50# LIGHT BOXES REQUIRED

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 HOMES

BUILDER:

MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:

TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

**41517
 FREEDOM 1A**

TITLE:

**FOUNDATION
 PLAN**

DRAWN BY: DLN

DATE: 11-02-18

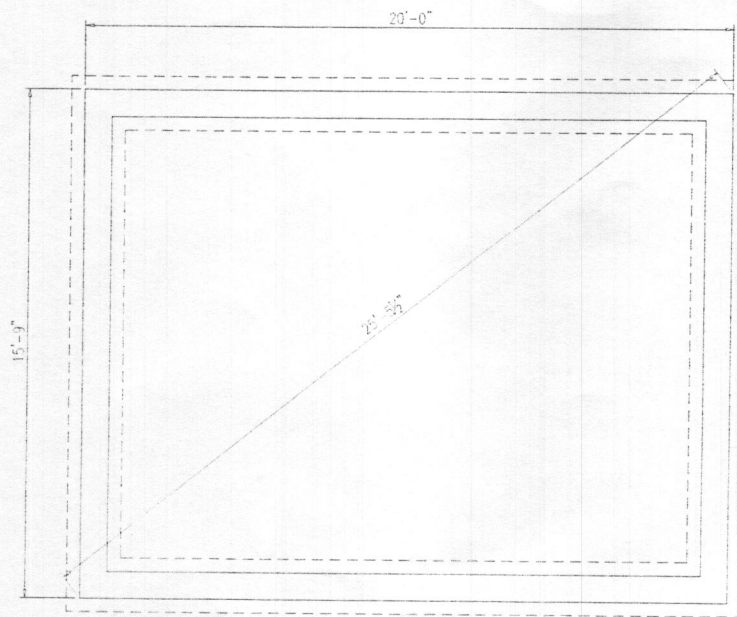
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FILENAME: 41517 FN

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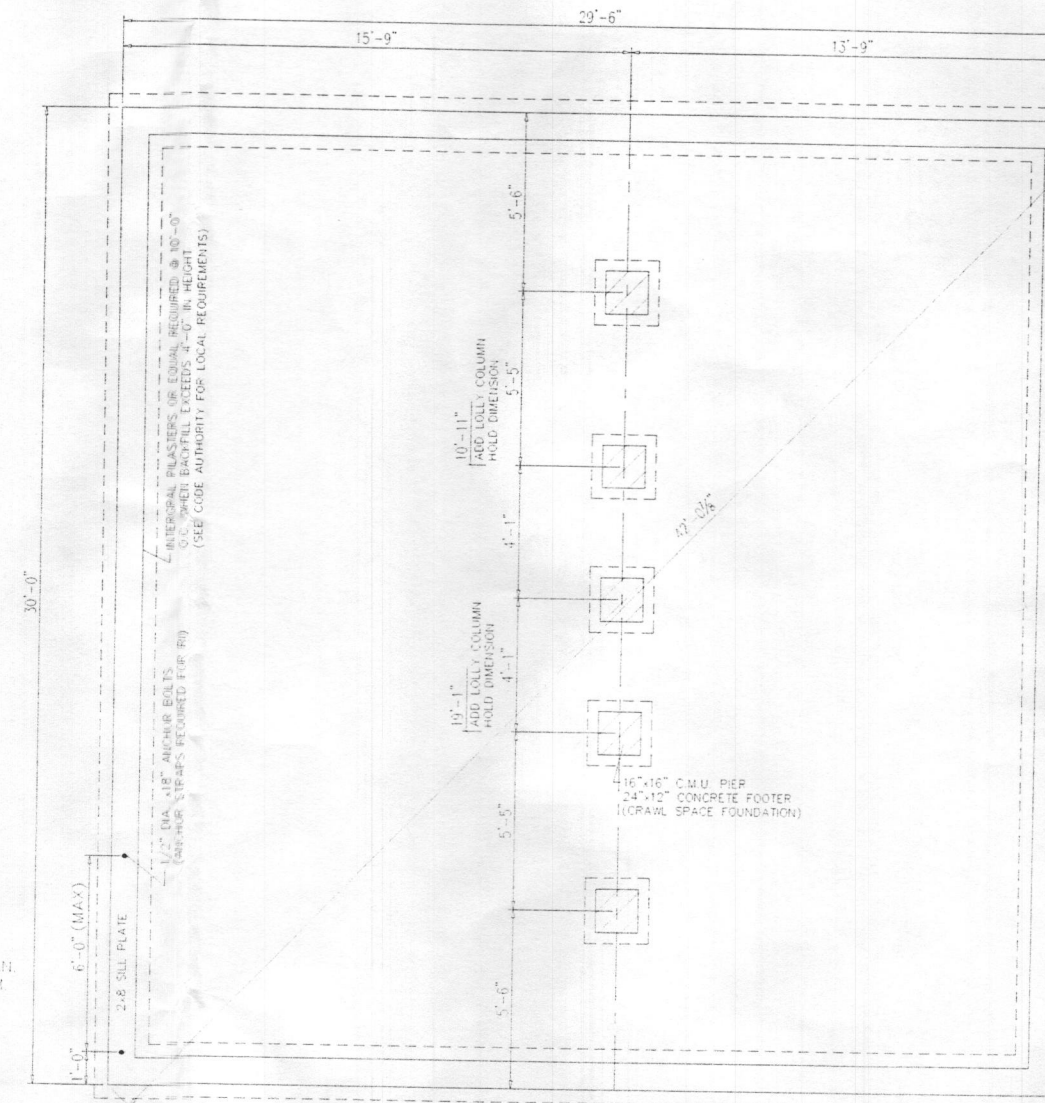
FOUNDATION

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NOTES:

- 1) THIS FOUNDATION DRAWING AND NOTES ARE FOR REVIEW ONLY. ACTUAL FOUNDATION DESIGN SHOULD BE DESIGNED FOR YOUR SPECIFIC SITE AND SHOULD BE DRAWN AND APPROVED BY A PROFESSIONAL ENGINEER OR A REGISTERED ARCHITECT.
- 2) ALL CONSTRUCTION AND MATERIALS BELOW THE BOTTOM OF THE FLOOR JOISTS IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER. FOUNDATION WALL, FOOTER, LOLLY COLUMNS & PADS ARE ALL TO BE DETERMINED ON-SITE IN ACCORDANCE WITH LOCAL CODES & CONDITIONS.
- 3) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.
- 4) LOLLY COLUMNS ARE TO BE SPACED ACCORDING TO SPAN SCHEDULE BASED ON TYPE OF HOUSE, LOCAL SNOW LOAD & WIDTH OF UNIT. ADD'L COLUMNS MAY BE REQ'D & ARE NOTED ON FLOOR PLAN. LOLLY COLUMN SPACING IS BASED ON 1/2" x 6" x 12" STEEL PLATE BETWEEN COLUMN & CENTER BEAM.
- 5) FOUNDATION IS TO BE CONSTRUCTED IN ACCORDANCE W/ ALL APPLICABLE CODES.
- 6) FOUNDATION SIZES REFLECT WOOD DIMENSIONS OF MODULAR UNITS. ALLOWING SHEATHING AND SIDING TO OVERHANG THE FOUNDATION IF STYROFOAM IS USED FOUNDATION MAY BE INCREASED IN LENGTH AND WIDTH TO ACCOMMODATE.
- 7) PERIMETER FLOOR JOISTS TO BE ATTACHED TO SILL PLATE W/ 16d NAILS AT 16" O.C.
- 8) INSTALLATION OF WASHER, DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND LOCAL CODES IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER.
- 9) SMOKE DETECTORS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL (COIL WIRE IN BSMT BY EXCEL HOMES GROUP, LLC).
- 10) CRAWL SPACE FOUNDATION REQUIRES A MINIMUM 18" x 24" ACCESS OPENING, INSECT AND RODENT PROOF CROSS VENTS WITHIN 3' OF CORNERS AND PROVIDE 1/150 OF FLOOR AREA WITH VENTILATION.
- 11) SEE EXCEL HOMES' SUBMISSION SET PAGE #6 FOR ADDITIONAL NOTES AND DETAILS.
- 12) 2000 PSF MINIMUM SOIL BEARING CAPACITY.
- 13) 3000 PSI MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH.
- 14) TYPE "S" OR "M" MORTAR REQUIRED.
- 15) ALL FOOTINGS ARE TO BE KEPT BELOW THE LOCAL FROST LINES (SEE LOCAL BUILDING OFFICIAL FOR MINIMUM DISTANCE).
- 16) SEE THE EXCEL HOMES' SET UP MANUAL FOR FASTENING OF MODULE TO SILL PLATE. IF THE FOUNDATION WALL IS NOT A POURED WALL OR BLOCK, CHECK WITH THE FOUNDATION WALL MANUFACTURER FOR ALTERNATIVE FASTENING.



FOR ESTIMATING PURPOSES ONLY - NOT FOR CONSTRUCTION

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 10642 S. SUSQUEHANNA TRAIL
 LIVERPOOL, PA 17045
 CHAMPION
 MODULAR

BRAND:



BUILDER:

MARYLAND CUSTOM BUILDERS

CUSTOMER/PROJECT:

TAYLOR

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

41517
 FREEDOM 1A

TITLE:

FOUNDATION
 PLAN

DRAWN BY: DLN

DATE: 11-02-18

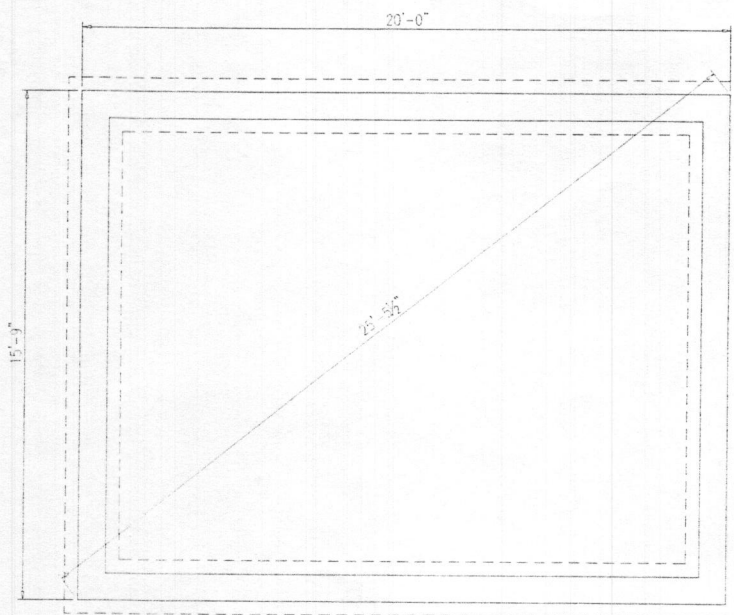
SCALE: 3/16" = 1'-0"

FILENAME: 41517 FN

SHEET:

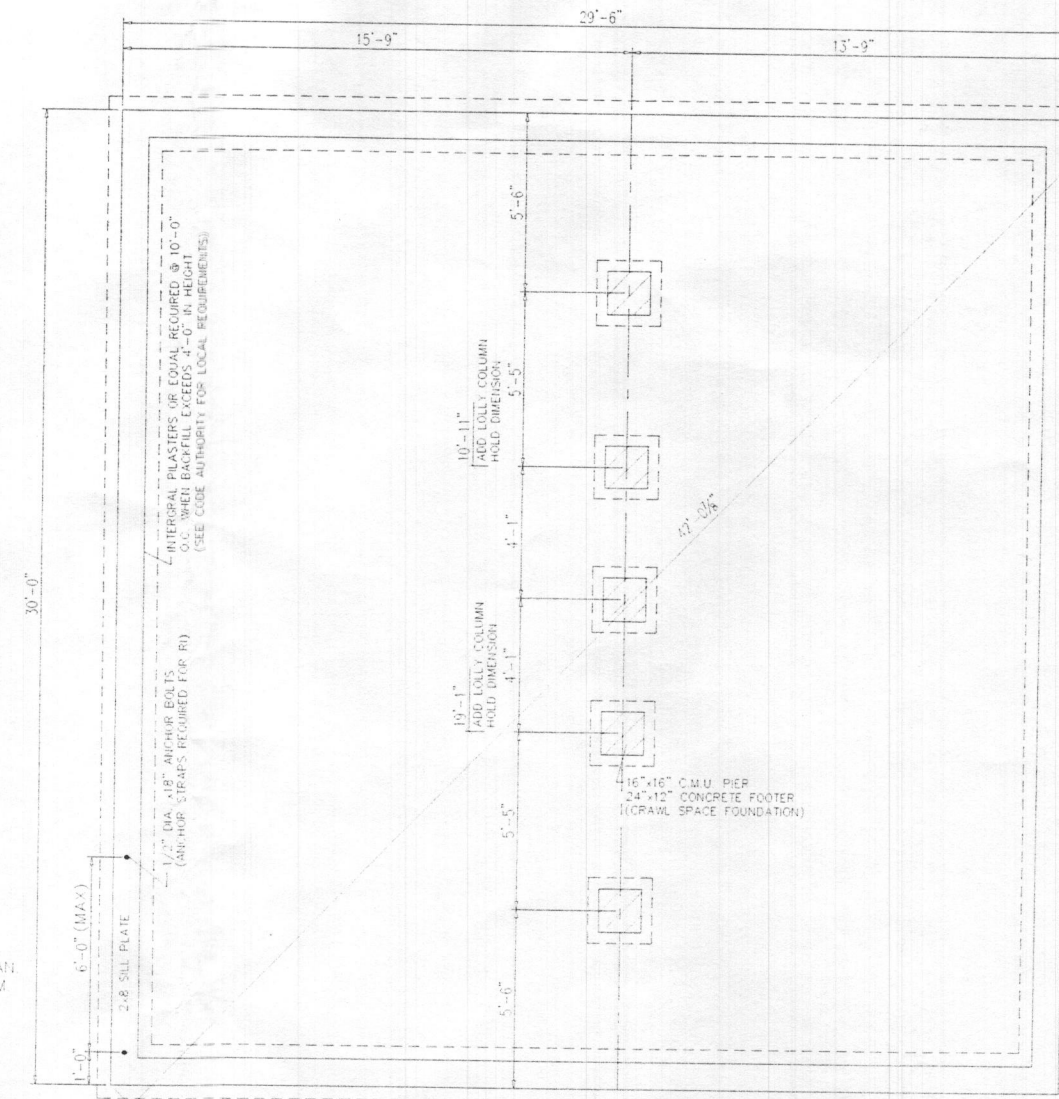
FOUNDATION

PROPRIETARY AND CONFIDENTIAL
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 PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION.
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NOTES:

- 1) THIS FOUNDATION DRAWING AND NOTES ARE FOR REVIEW ONLY. ACTUAL FOUNDATION DESIGN SHOULD BE DESIGNED FOR YOUR SPECIFIC SITE AND SHOULD BE DRAWN AND APPROVED BY A PROFESSIONAL ENGINEER OR A REGISTERED ARCHITECT.
- 2) ALL CONSTRUCTION AND MATERIALS BELOW THE BOTTOM OF THE FLOOR JOISTS IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER. FOUNDATION WALL, FOOTER, LOLLY COLUMNS & PADS ARE ALL TO BE DETERMINED ON-SITE IN ACCORDANCE WITH LOCAL CODES & CONDITIONS.
- 3) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.
- 4) LOLLY COLUMNS ARE TO BE SPACED ACCORDING TO SPAN SCHEDULE BASED ON TYPE OF HOUSE, LOCAL SNOW LOAD & WIDTH OF UNIT. ADD'L COLUMNS MAY BE REQ'D & ARE NOTED ON FLOOR PLAN. LOLLY COLUMN SPACING IS BASED ON 1/2" x 6" x 12" STEEL PLATE BETWEEN COLUMN & CENTER BEAM.
- 5) FOUNDATION IS TO BE CONSTRUCTED IN ACCORDANCE W/ ALL APPLICABLE CODES.
- 6) FOUNDATION SIZES REFLECT WOOD TO WOOD DIMENSIONS OF MODULAR UNITS, ALLOWING SHEATHING AND SIDING TO OVERHANG THE FOUNDATION IF STYROFOAM IS USED. FOUNDATION MAY BE INCREASED IN LENGTH AND WIDTH TO ACCOMMODATE.
- 7) PERIMETER FLOOR JOISTS TO BE ATTACHED TO SILL PLATE W/ 16d NAILS AT 16" O.C.
- 8) INSTALLATION OF WASHER, DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND LOCAL CODES IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER.
- 9) SMOKE DETECTORS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL (COIL WIRE IN BSMT BY EXCEL HOMES GROUP, LLC).
- 10) CRAWL SPACE FOUNDATION REQUIRES A MINIMUM 18" x 24" ACCESS OPENING, INSECT AND RODENT PROOF CROSS VENTS WITHIN 3' OF CORNERS AND PROVIDE 1/150 OF FLOOR AREA WITH VENTILATION.
- 11) SEE EXCEL HOMES' SUBMISSION SET PAGE #6 FOR ADDITIONAL NOTES AND DETAILS.
- 12) 2000 PSF MINIMUM SOIL BEARING CAPACITY.
- 13) 3000 PSI MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH.
- 14) TYPE "S" OR "M" MORTAR REQUIRED.
- 15) ALL FOOTINGS ARE TO BE KEPT BELOW THE LOCAL FROST LINES (SEE LOCAL BUILDING OFFICIAL FOR MINIMUM DISTANCE).
- 16) SEE THE EXCEL HOME'S SET UP MANUAL FOR FASTENING OF MODULE TO SILL PLATE. IF THE FOUNDATION WALL IS NOT A POURED WALL OR BLOCK, CHECK WITH THE FOUNDATION WALL MANUFACTURER FOR ALTERNATIVE FASTENING.



FOR ESTIMATING PURPOSES ONLY - NOT FOR CONSTRUCTION

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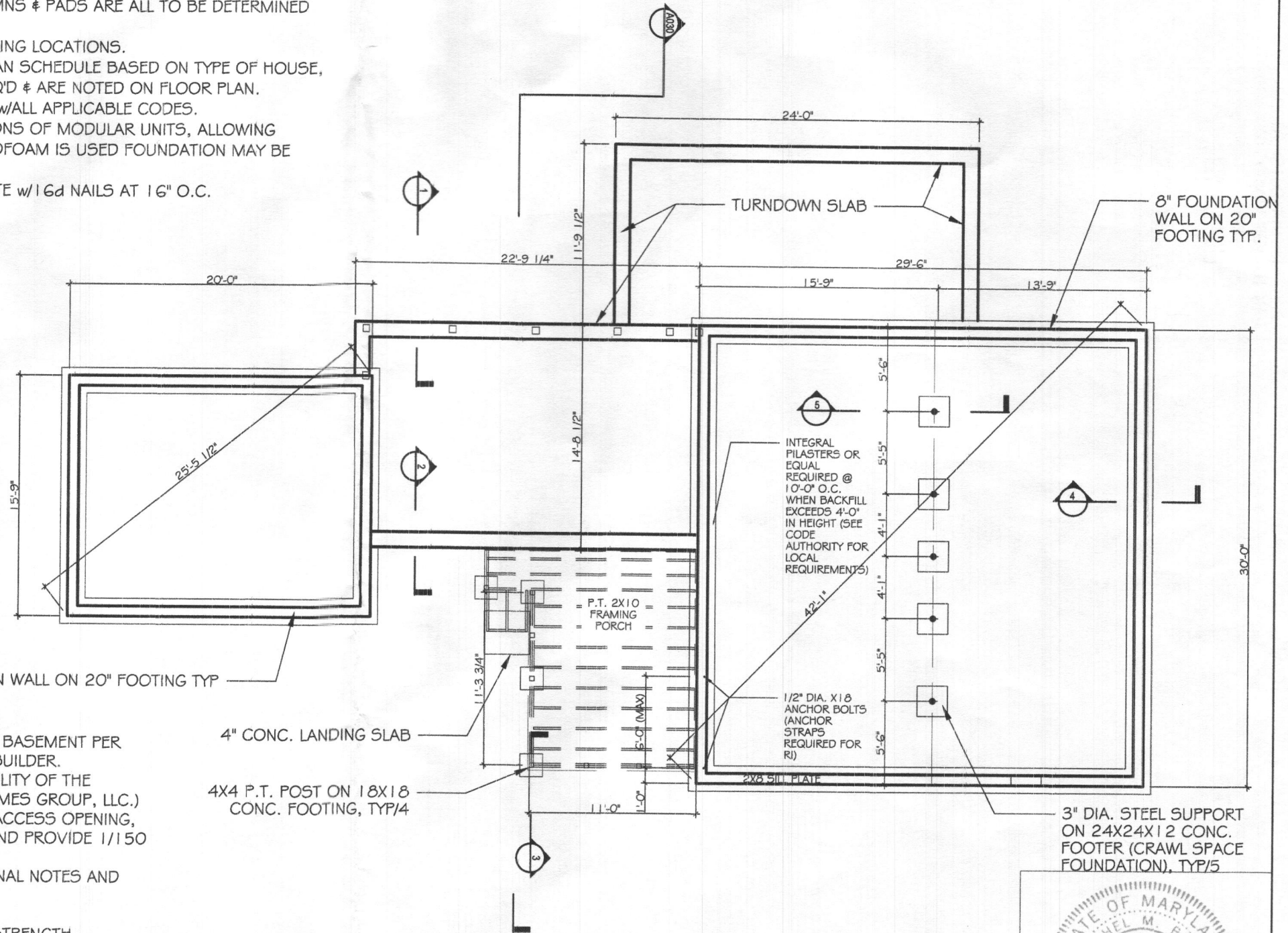
2) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.

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5) FOUNDATION SIZES REFLECT WOOD TO WOOD DIMENSIONS OF MODULAR UNITS, ALLOWING SHEATHING AND SIDING TO OVERHANG THE FOUNDATION. IF STYROFOAM IS USED FOUNDATION MAY BE INCREASED IN LENGTH AND WIDTH TO ACCOMODATE.

6) PERIMETER FLOOR JOISTS TO BE ATTACHED TO SILL PLATE w/16d NAILS AT 16" O.C.



7) INSTALLATION OF WASHER, DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND LOCAL CODES IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER.

8) SMOKE DETECTORS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL. (COIL WIRE IN BSMT BY EXCEL HOMES GROUP, LLC.)

9) CRAWL SPACE FOUNDATION REQUIRES A MINIMUM 18"x24" ACCESS OPENING, INSECT AND RODENT PROOF CROSS VENTS WITHIN 3' OF CORNERS AND PROVIDE 1/150 OF FLOOR AREA WITH VENTILATION.

10) SEE EXCEL HOMES' SUBMISSION SET PAGE #6 FOR ADDITIONAL NOTES AND DETAILS.

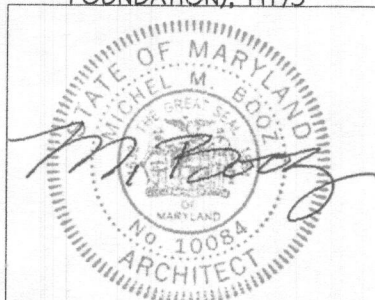
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15) SEE THE EXCEL HOMES' SET UP MANUAL FOR FASTENING OF MODULE TO SILL PLATE. IF THE FOUNDATION WALL IS NOT A POURED WALL OR BLOCK, CHECK WITH THE FOUNDATION WALL MANUFACTURER FOR ALTERNATIVE FASTENING.



MICHE BOOZ
ARCHITECT
208 Market St, Brookeville, MD 20833

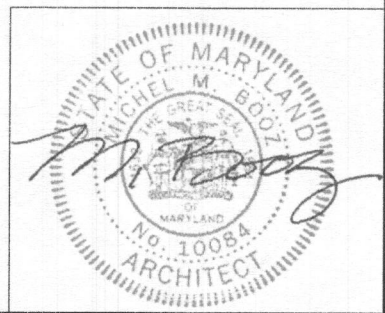
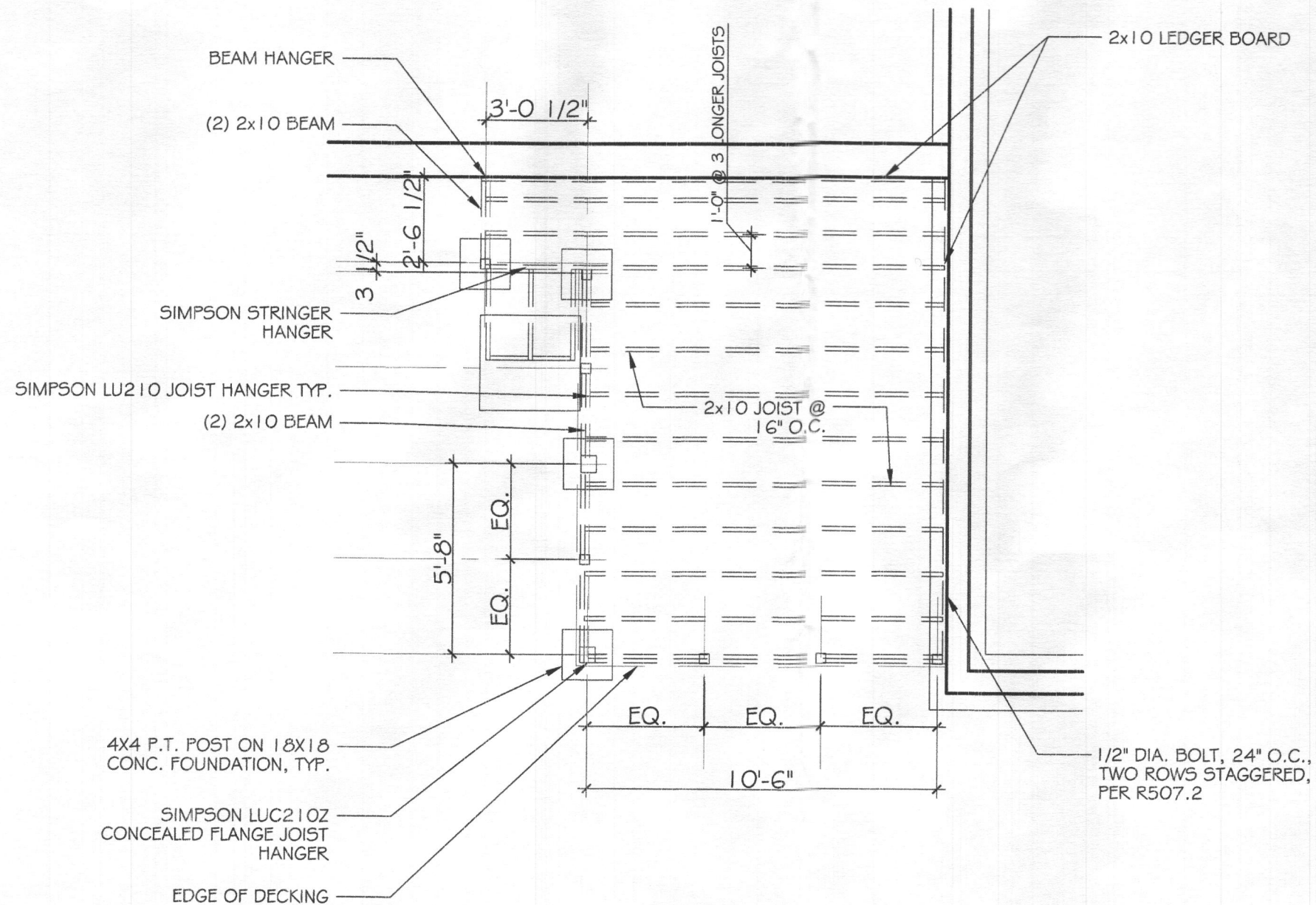
TAYLOR RESIDENCE
13375 Forsythe Road, Sykesville, MD 21784

Title: FOUNDATION PLAN

Scale: 1/8" = 1'0"

Date: 02.14.19

#5010



MICHE BOOZ
ARCHITECT
208 Market St, Brookeville, MD 20833

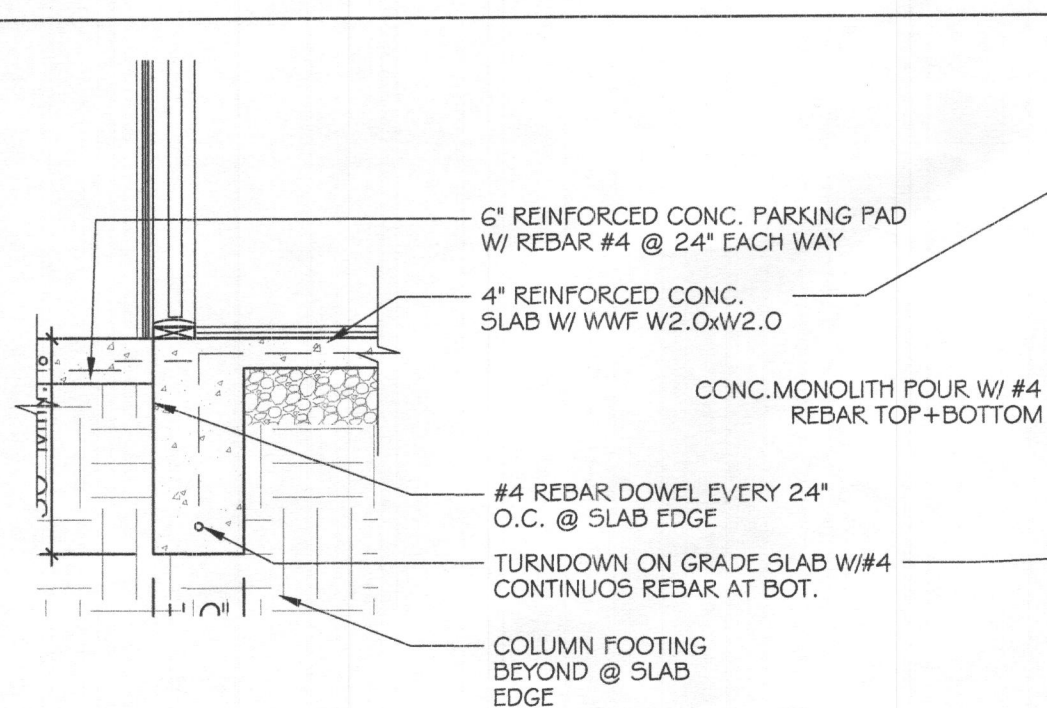
TAYLOR RESIDENCE
13375 Forsythe Road, Sykesville, MD 21784

Title: PORCH FRAMING PLAN

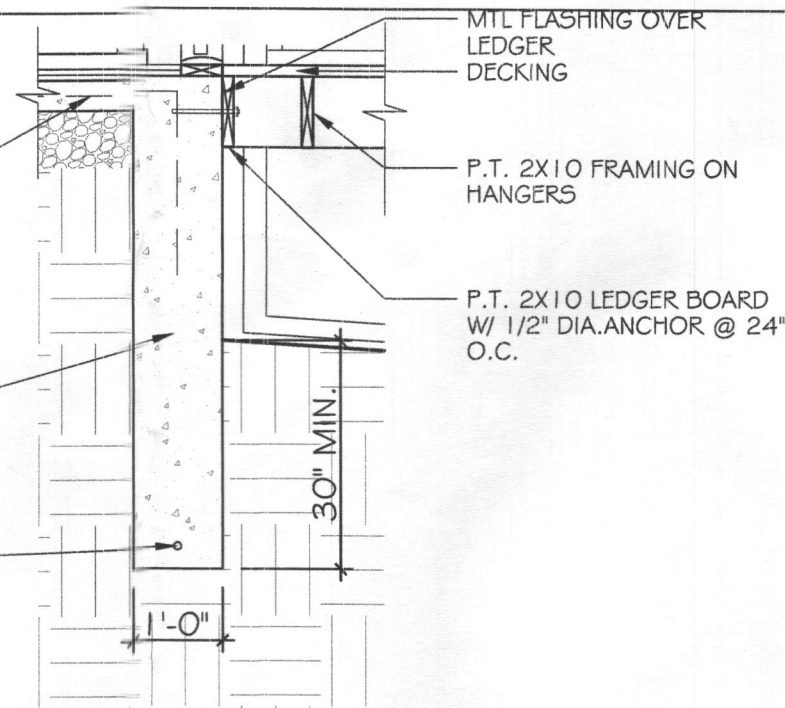
Scale: 1/4" = 1'0"

Date: 02.14.19

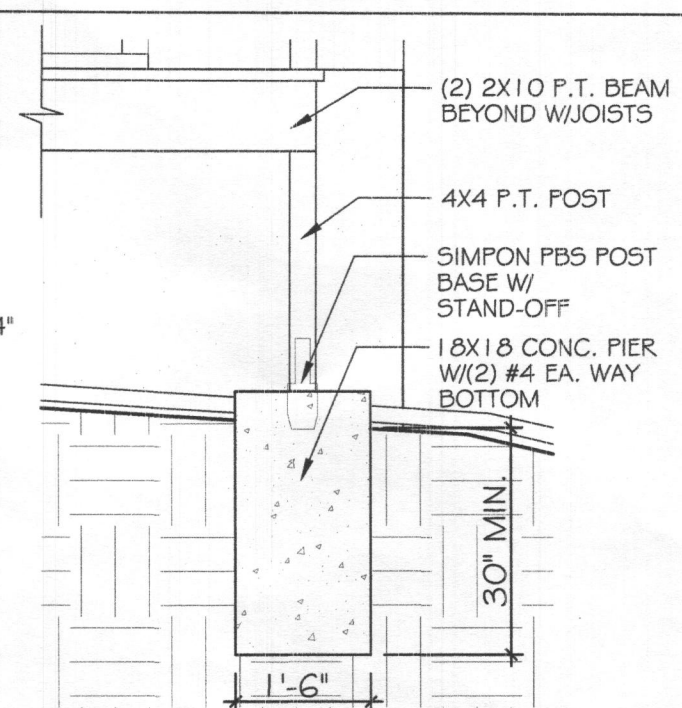
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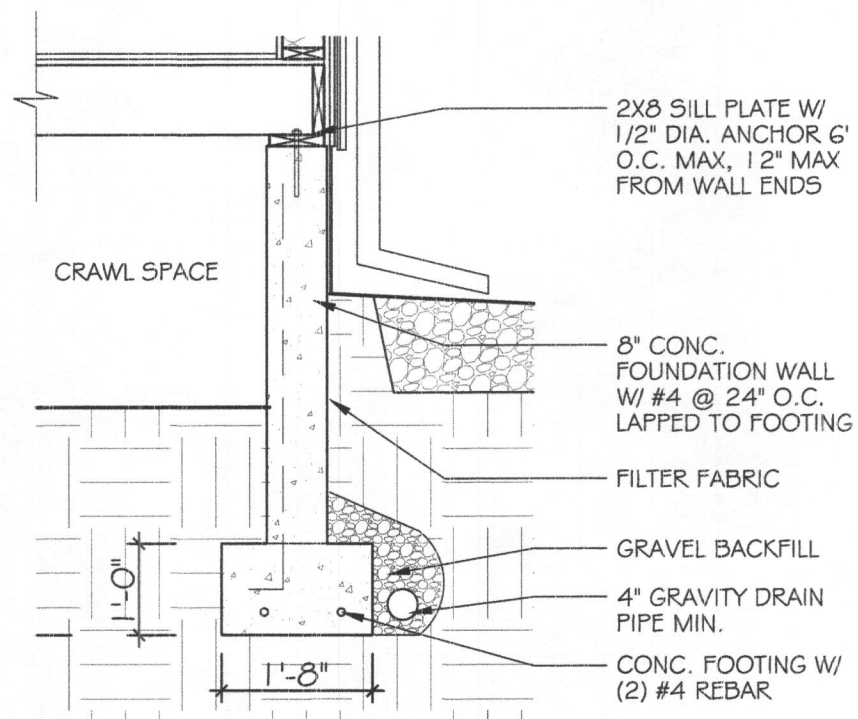
1 CAR PAD TO BREEZEWAY SECTION
SCALE: 1/2" = 1'-0"



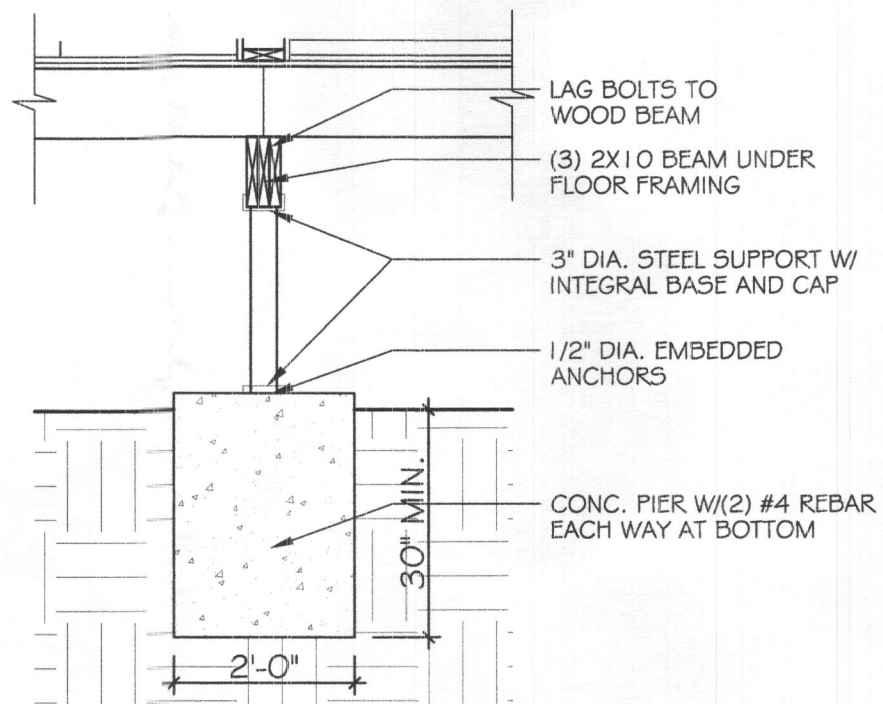
2 BREEZEWAY TO DECK SECTION
SCALE: 1/2" = 1'-0"



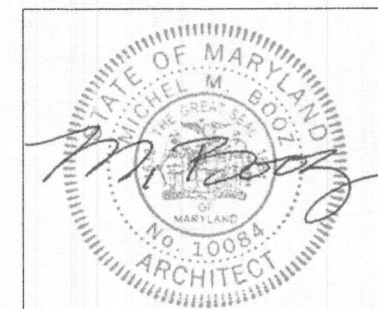
3 DECK PIER SECTION
SCALE: 1/2" = 1'-0"

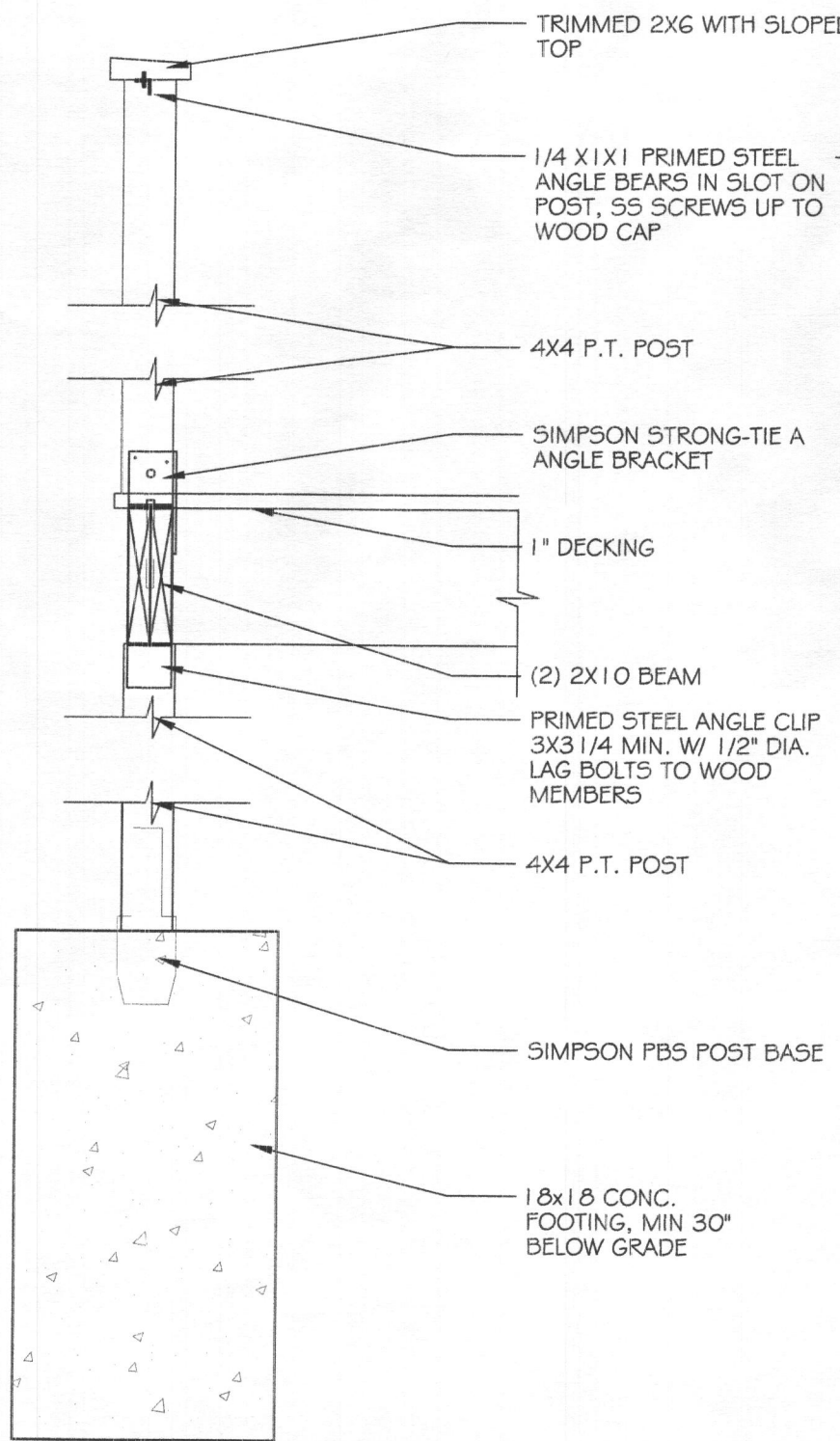


4 FOUNDATION WALL SECTION
SCALE: 1/2" = 1'-0"

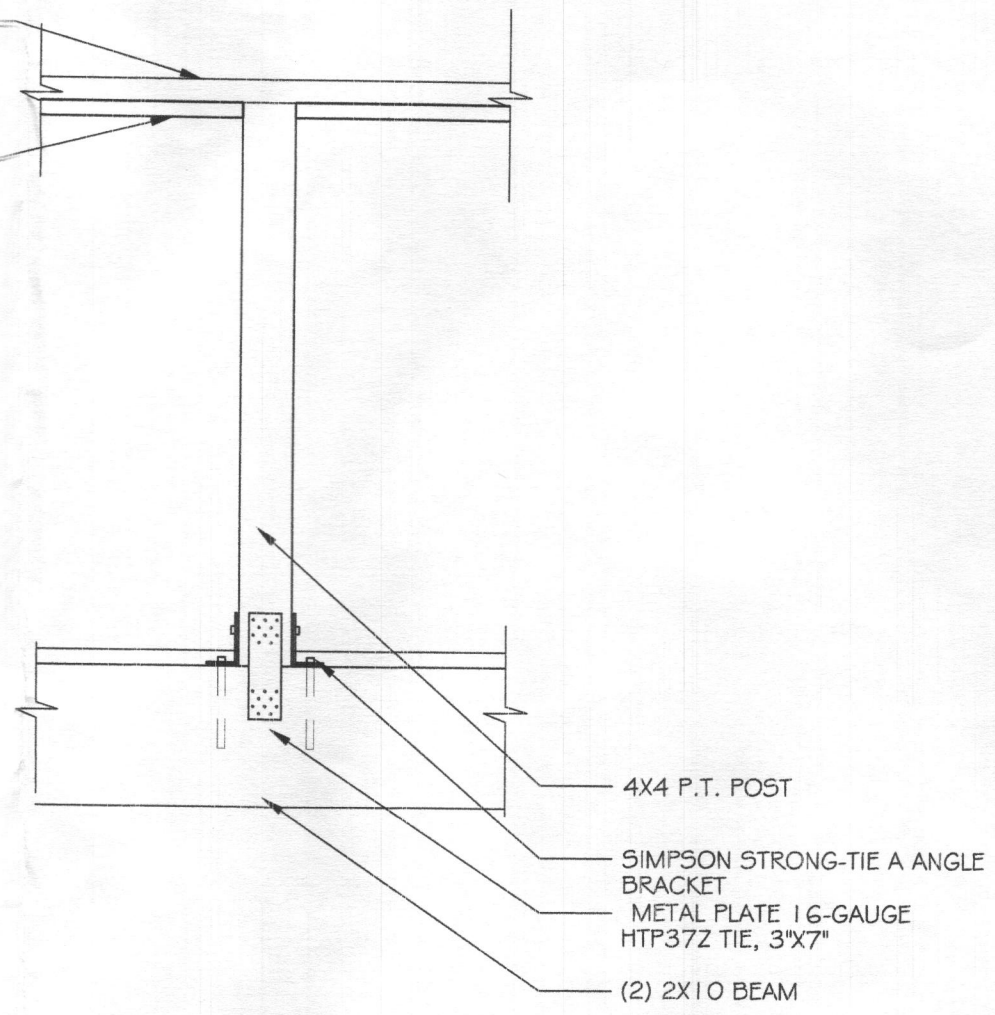


5 PIER SECTION
SCALE: 1/2" = 1'-0"



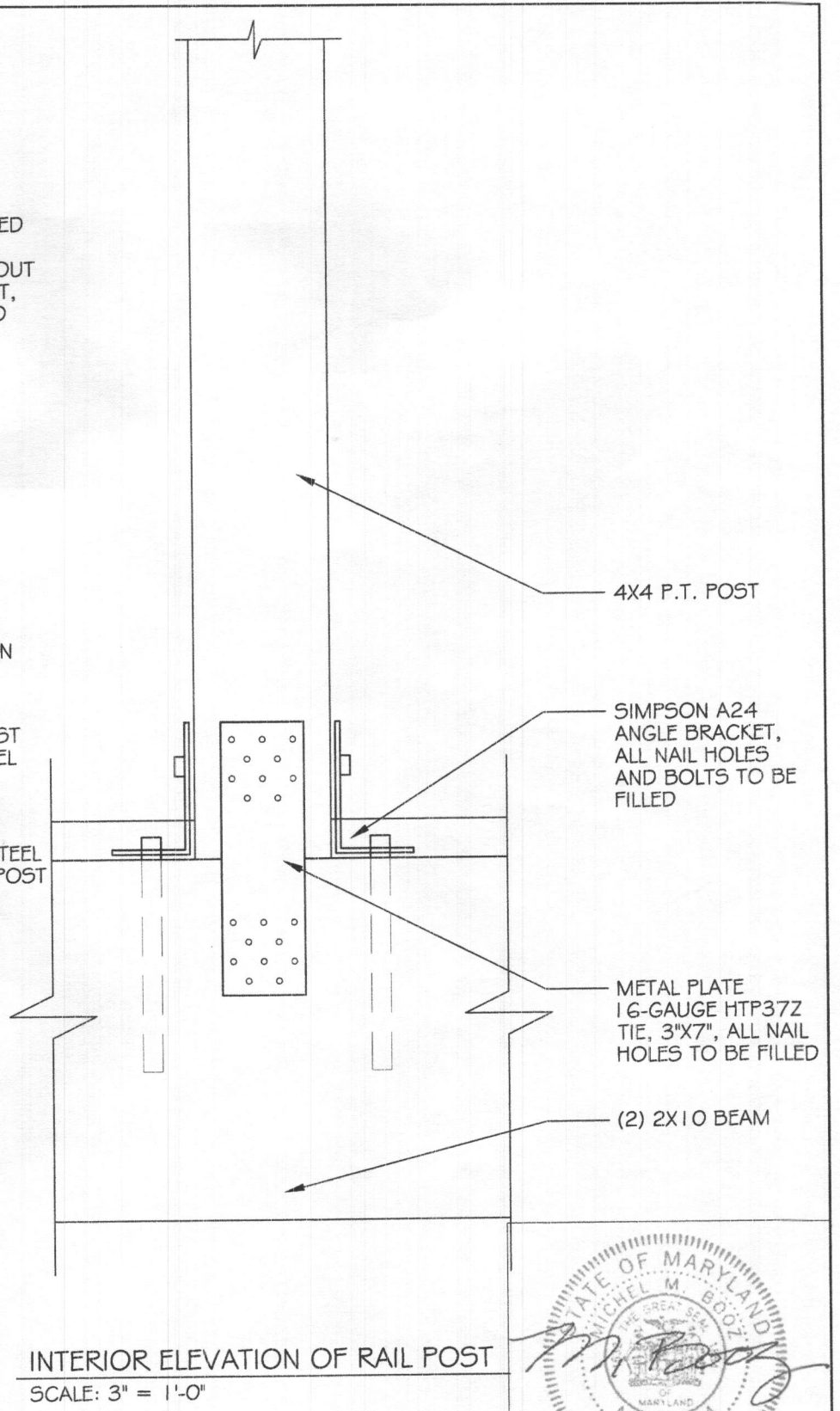
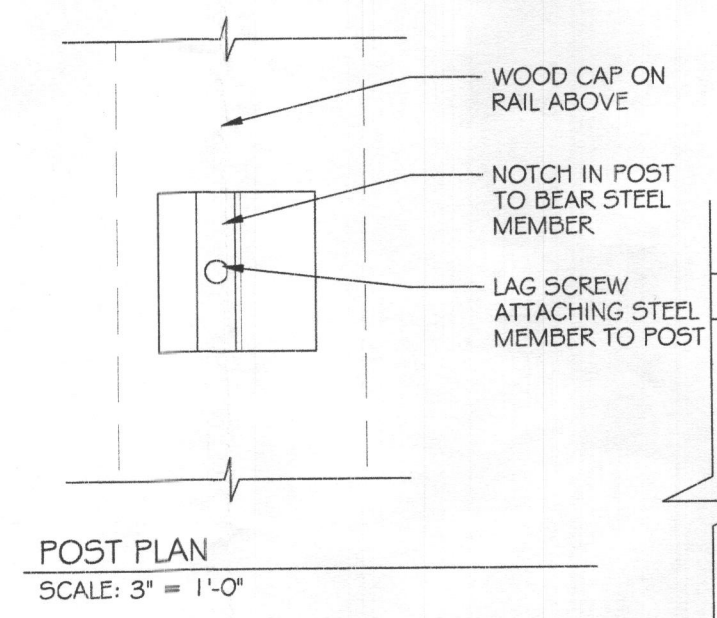
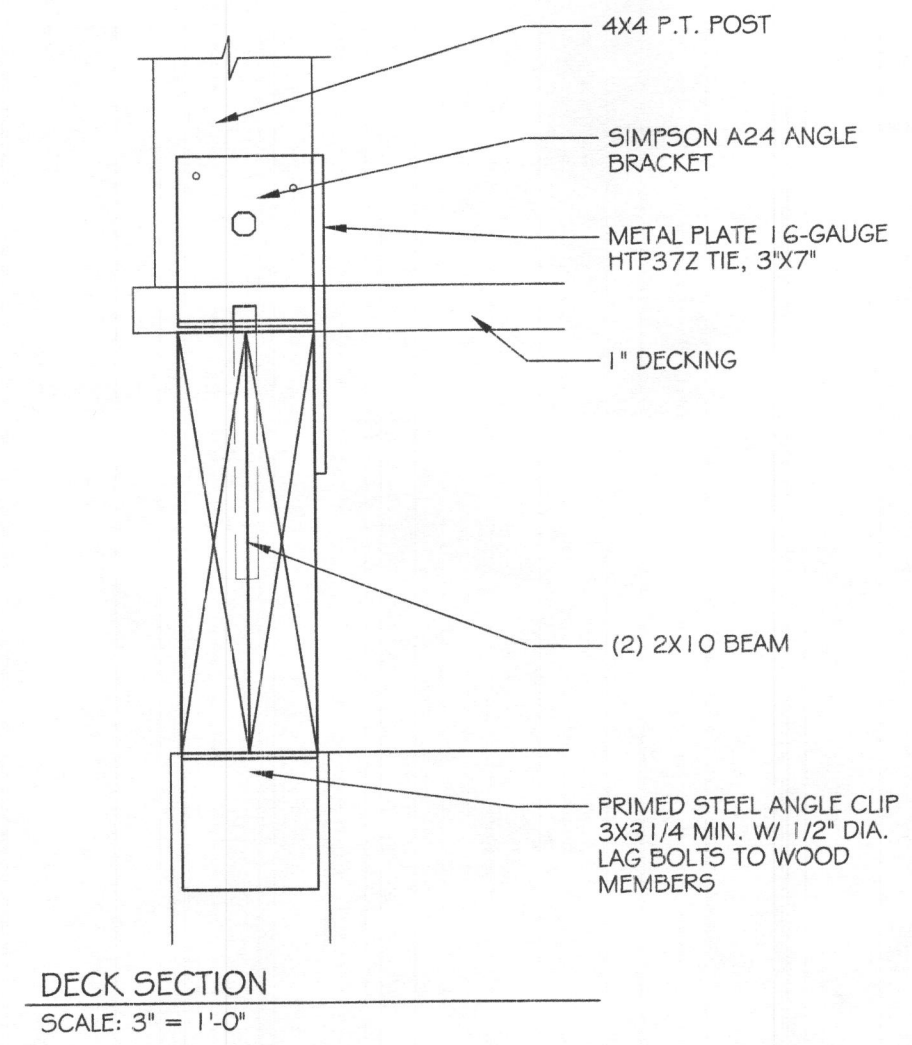
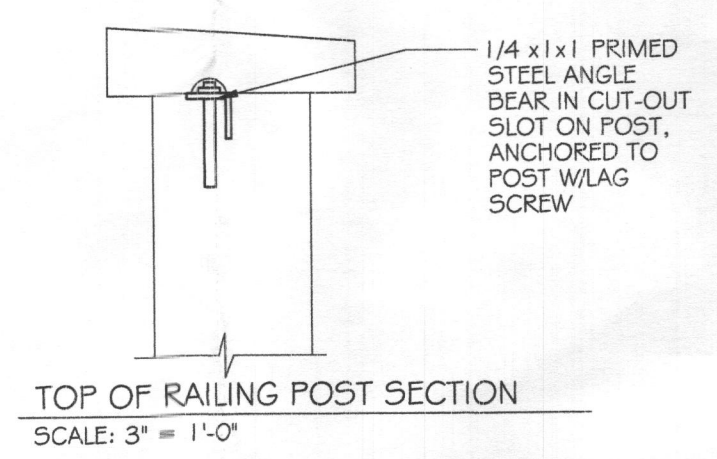
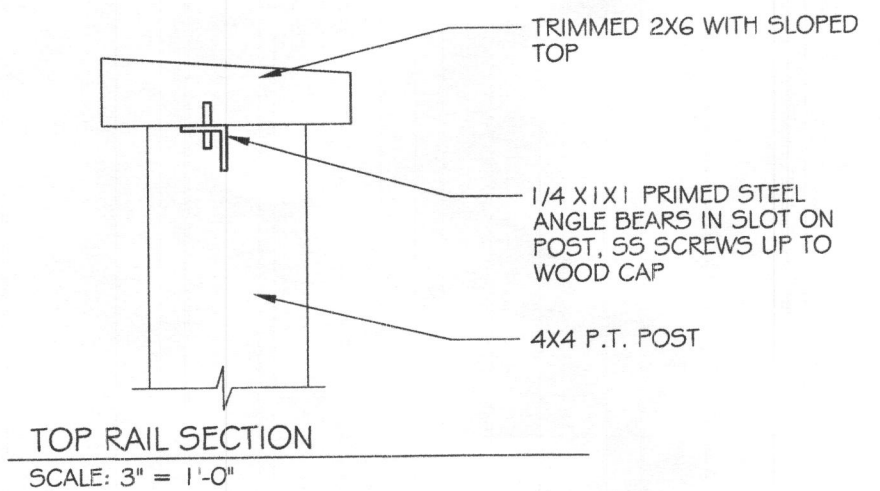


1 DECK POST TO RAILING DETAIL
SCALE: 1" = 1'-0"



2 RAILING POST CONNECTION ELEVATION DETAIL
SCALE: 1" = 1'-0"





Oswald, Hank

From: Oswald, Hank
Sent: Friday, March 01, 2019 10:05 AM
To: 'MSE.TAZ@GMAIL.COM'
Cc: Stephanie Tuite (Stephanie@fcc-eng.com); Williams, Jeffrey
Subject: B19000445_13375 Forsythe Road_Hf
Attachments: Floor Plans_2019030108234304.pdf

Good morning Mr. Ezzat:

This office is in receipt of a building permit for a 2 bedroom residence located at 13375 Forsythe Road (Hofmeister, Lot 2). The application was accompanied by 2 different sets of floor plans (FPs). I've attached the FP that best matches the description on the application. Is this the correct floor plan?

In addition, our office will need a BP Site Plan and OSDS Plan for the planned residence. I sent an email to Stephanie of FCC for more information about the property and notified them about OSDS plan requirement.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
hoswald@howardcountymd.gov

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