



14516

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2019 APR 5 04:10:03

Date Received: _____

Permit No.: B19000983

Building Address: 1900 Old Frederick Road
 City: Cockeysville State: MD Zip Code: 21723
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: 1 Tax Map: _____ Parcel: _____

Existing Use: SFD
 Proposed Use: Heating and cooking
 Estimated Construction Cost: \$ 3380

Description of Work: Install underground 1000gallon tank for heating and cooking purposes
propane

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Cokeysville Homes
 Address: 11175 Stratfield Ct
 City: Hamlettsville State: MD Zip Code: 21109
 Phone: 410-432-2211 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Thompson Gas
 Contact Person: J Randall Thompson
 Address: 6708 Old National Pike
 City: Boonsboro State: MD Zip Code: 21715
 License No.: 60003
 Phone: 301-432-6617 Fax: _____
 Email: stefan@thompsongas.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling	<input type="checkbox"/> SF Townhouse
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
 Email Address: randall@thompsongas.com
 Title/Company: Service Tech Thompson Gas

Print Name: [Signature]
 Date: April 5, 2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

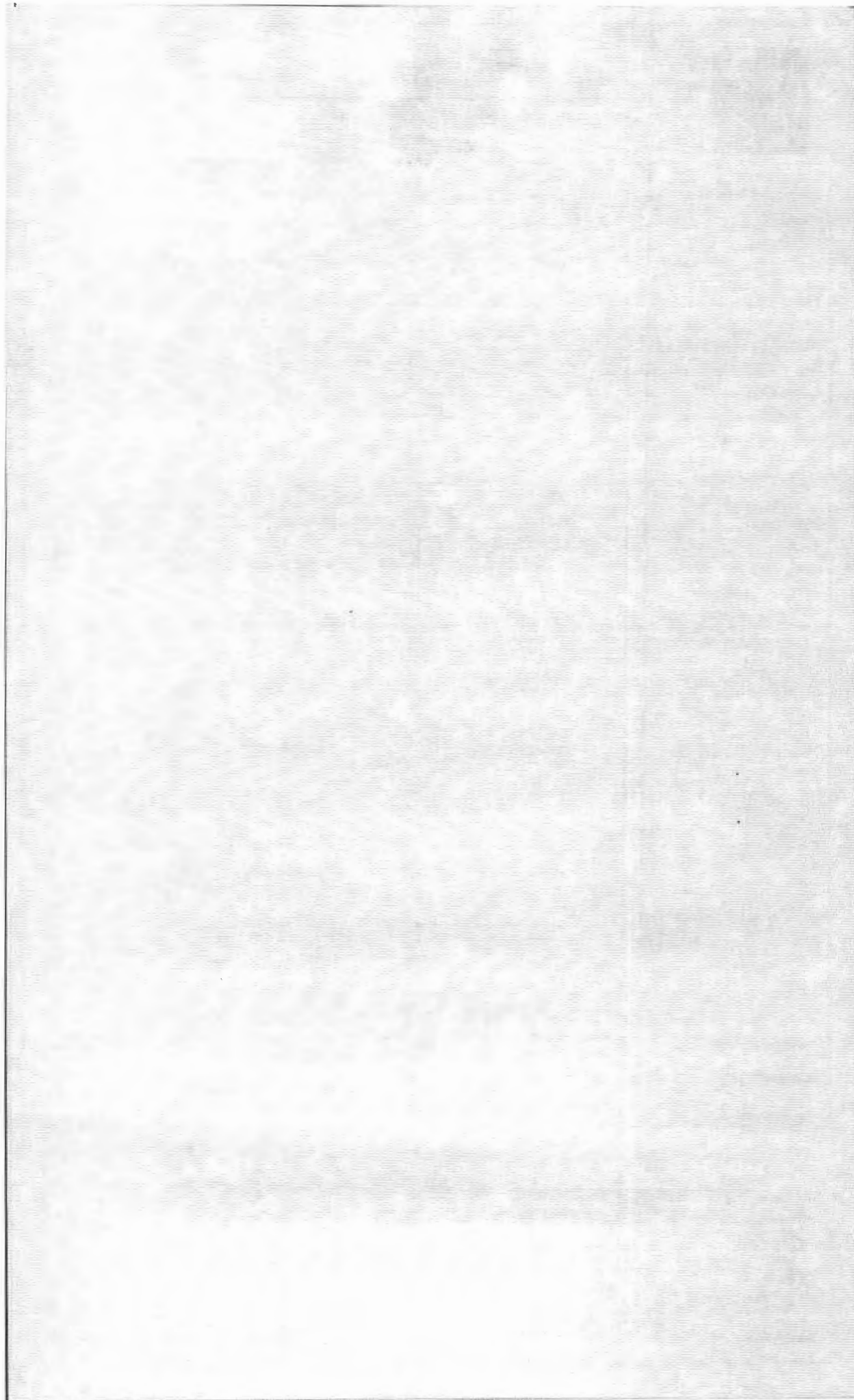
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/30/19</u>	<u>[Signature]</u>

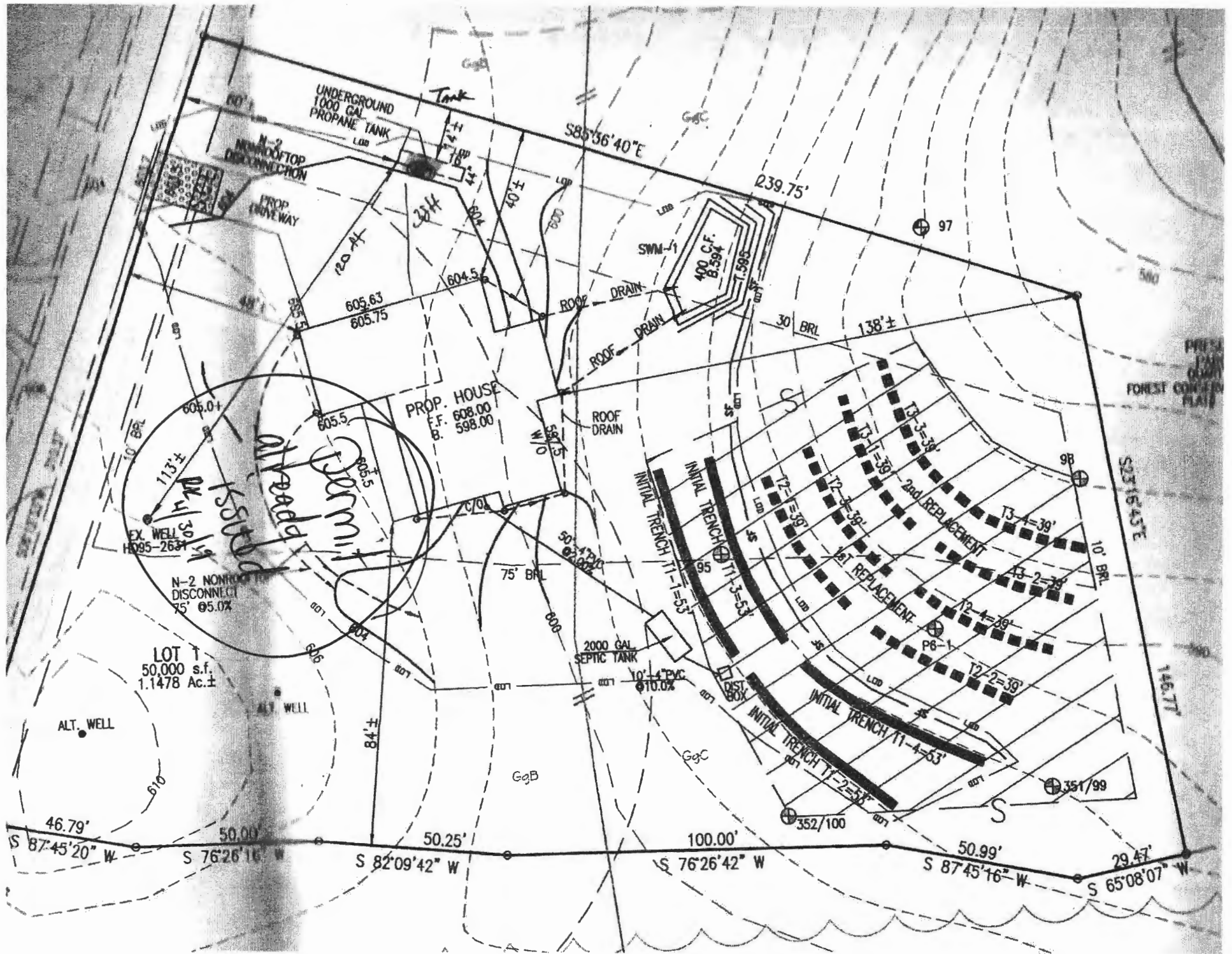
Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

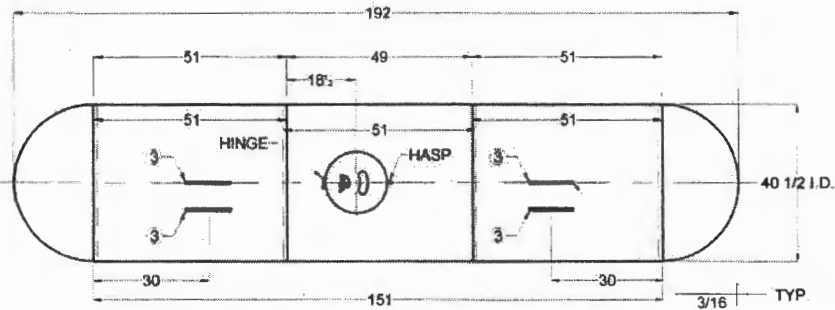
Filing Fee	\$ <u>110.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>011812</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

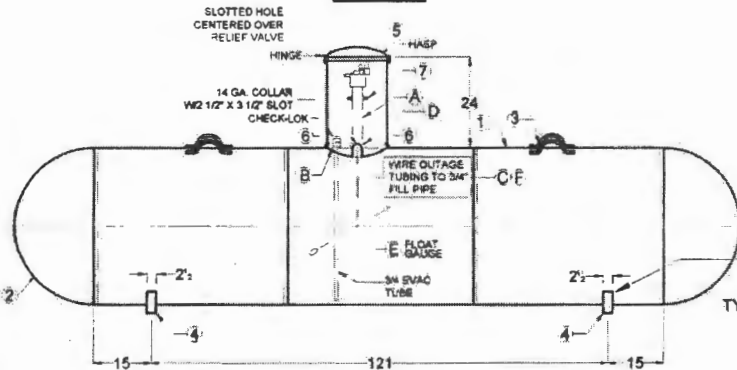




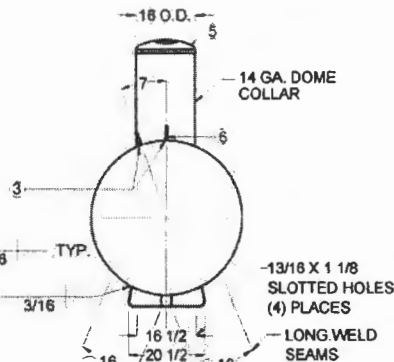
THIS VESSEL IS DESIGNED FOR THE STORAGE
OF LIQUEFIED PETROLEUM GAS ONLY



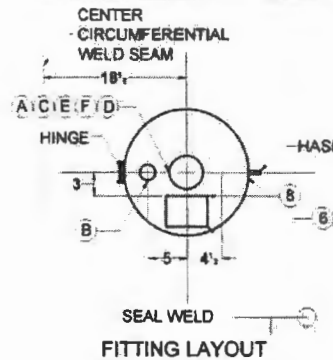
TOP VIEW



SIDE ELEVATION



END VIEW



FITTING LAYOUT

TANKS SOLD WITH COMPOSITE
DOME MUST HAVE UL MARK REMOVED
AND DATA REPORT CORRECTED

SER. NO. *SY
CERTIFIED BY: AMERICAN WELDING & TANK LLC
FREMONT, OHIO - WEST JORDAN, UTAH

MAX. ALLOW. WORK. PRESS. **250 PSI** AT **400 °F.**
M.D.M.T. **-20 °F.** AT **250 PSI** PLANT NO. *****

YEAR BUILT **201** SER. NO. ***SY**

LENGTH **192** IN. OUTSIDE DIA. **41** IN.
HEAD THK. **202** IN. SHELL THK. **238** IN.
UNDER GROUND TYPE **AWT-UG** SURFACE AREA **172** SQ. FT.
LISTED CONTAINER ASSEMBLY FOR LP GAS HEAD D.R. **HEMI**
WATER CAPACITY **1000** GALLONS

THIS CONTAINER SHALL NOT CONTAIN A PRODUCT HAVING A VAPOR PRESSURE IN EXCESS OF 218 PSI AT 100°F. DIP TUBE LENGTH - 86% FULL AT 50°F. D.T. = 8.9 IN.

DATA PLATE DETAIL

GENERAL NOTES:

- LIFTING LUGS DESIGNED FOR TOTAL LIFTING WEIGHT OF 2700#
- TOTAL EMPTY WEIGHT IS 179#
- ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED
- COMPLETE TANK DRIED TO REMOVE ALL MOISTURE
- ALL WEIGHTS AND CAPACITIES ARE APPROXIMATE
- EXTERIOR OF TANK TO BE GRIT BLASTED
- PAINT PER SHOP ORDER
- VACUUM PURGE TANK
- DIMENSIONS ARE SUBJECT TO CHANGE WITH OUT NOTICE (NON-PRESSURE RETAINING COMPONENTS ONLY)
- THREADS OF ALL FITTINGS TO BE COATED WITH COMPOUND SUITABLE FOR USE WITH LP GAS
- FLOAT GAUGE TO BE INSTALLED WITH FLOAT ARM 45 ° OFF LONGITUDINAL CENTERLINE OF TANK
- DOUBLE LIFTING LUGS ON LONG RISER TANKS ONLY

GENERAL SPECIFICATIONS

WATER CAPACITY (GALLONS)	1000
ALLOWABLE WORKING PRESSURE (PSIG)	250
JOINT EFFICIENCY:	ASME UW-51 LONG SEAM 100 % ASME UW-52 HEAD TO SHELL 80 %
HYDROSTATIC TEST PRESSURE (PSIG)	325
SURFACE AREA (SQ. FT.)	172
RELIEF VALVE SETTING (PSIG)	250
RELIEF DISCHARGE RATE - (CFM REQ'D.)	1096
HEAT TREATMENT NOT REQUIRED	
CODE:	ASME SECTION VIII DIV. 1
STANDARDS:	UNDERWRITERS LABORATORIES INC. MH-3127
	N.F.P.A. 58 LP GAS CODE
MATERIAL SPECS	TANK FLANGES SA-105 or SA-181 ADAPTOR SA-105 PIPE - SA53B OR SA106B

PART NO: 0110003X
0110004X

MARK	QTY.	SIZE	TYPE	FITTINGS		SERVICE	MARK	QTY.	DESCRIPTION	DWG NO
				REGO	SHERWOOD					
A	1	2 1/2	WOBED 30 PIPE	BQ8475RL24 1	PV2098PT	MULTIVALVE	1	2	SHELL - 0 238" X 51" X 127 5/16" - SA455 / SA414G	
A (ALT)	1	2 1/2	WOBED 30 PIPE TO 6 3/4" I.D. & DOME HT = 19"	BQ8475RL24 1	PV2098PT	MULTIVALVE	2	2	HEADS - 40 1/2" I.D. X 0 202" - HEMI, SA414C	
B	1	3/4	3/4" PLS W/INAC TUBE	7590U	PVE5136	CHECK-LOK	3	4	LIFTING LUGS	D - 2
C	1	3/4	SCH. 40 PIPE (T.O.E.)			FILL/PURGE ATTACHMENT	4	2	TANK LEGS (SINGLE PIECE LEG)	D - 3
D	1	2 1/2	XX SOCKET WELD FLO			RESER PIPE ATTACHMENT	4 (OPT)	4	TANK LEGS, 1/4" X 2 1/2"	D - 2
E	1	1 1/4	4 - BOLT SPLY			FLCKT GAUGE	6	1	DOME, 2 PIECE, HINGED	D - 5
						OUT. USE TUBE 17" W/ 24 3/16" I.D.	0	2	SNAP-LOCK CLIPS	D-294D-30
F	1	1/8	BRASS TUBE				7	2	ANODE ATTACHMENT (ROUND DISK W/ WIRE)	D - 7
							8	1	DATA PLATE, 1000 GAL., UG	

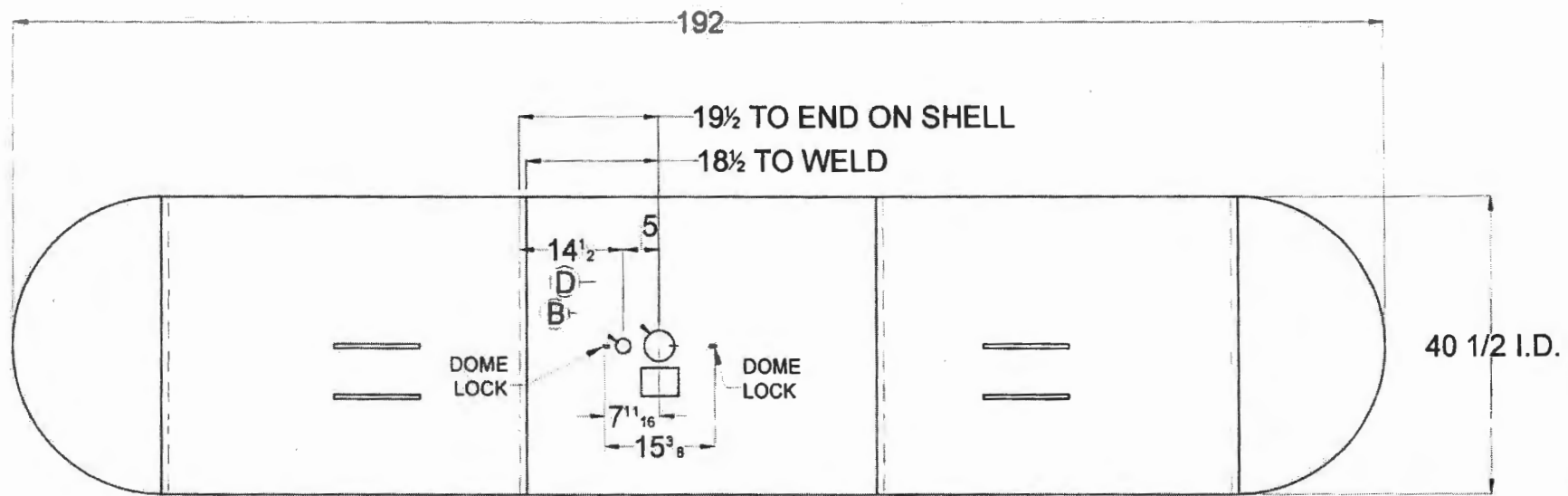
REV	BY	DESCRIPTION	DATE
21	CDH	CORRECTED MARK "1" TO TWO SHELLS	4/15/02
22	CDH	REVISED MDMT PRESSURE TO 250 PSI	8/13/02
23	CDH	DELETED DOME LUGS, ADDED SNAP LOCKS	9/2/02
24	CDH	REPOSITIONED SNAP-LOCK DETAIL	10/18/02
25	CDH	ADDED NOTE FOR S/C IN SIDE ELEVATION	3/11/03
26	CDH	ADDED FLOAT GAUGE DESCRIPTION	5/6/03
27	CDH	CORRECTED SHELL LENGTH	11/12/03
28	wio	ADDED SA414G SHELL OPTION	8/17/04
29	wio	ADDED OPTION FOR SA181 FLANGES	8/4/05
30	wio	REVISED COMPANY NAME	12/08/07
31	wio	CHANGED TO NARROW PLATE	03/09/09
32	wio	UPDATE NAME PLATE	08/08/12

1000 W.G. UNDERGROUND
PROPANE TANK-TYPE-AWT-UG

AMERICAN WELDING & TANK LLC

DATE:	01/03/00	DESIGNED BY:	RAC	APPROVED BY:	CDH	REVISED BY:	32	QUANTITY:	R - 1000MW
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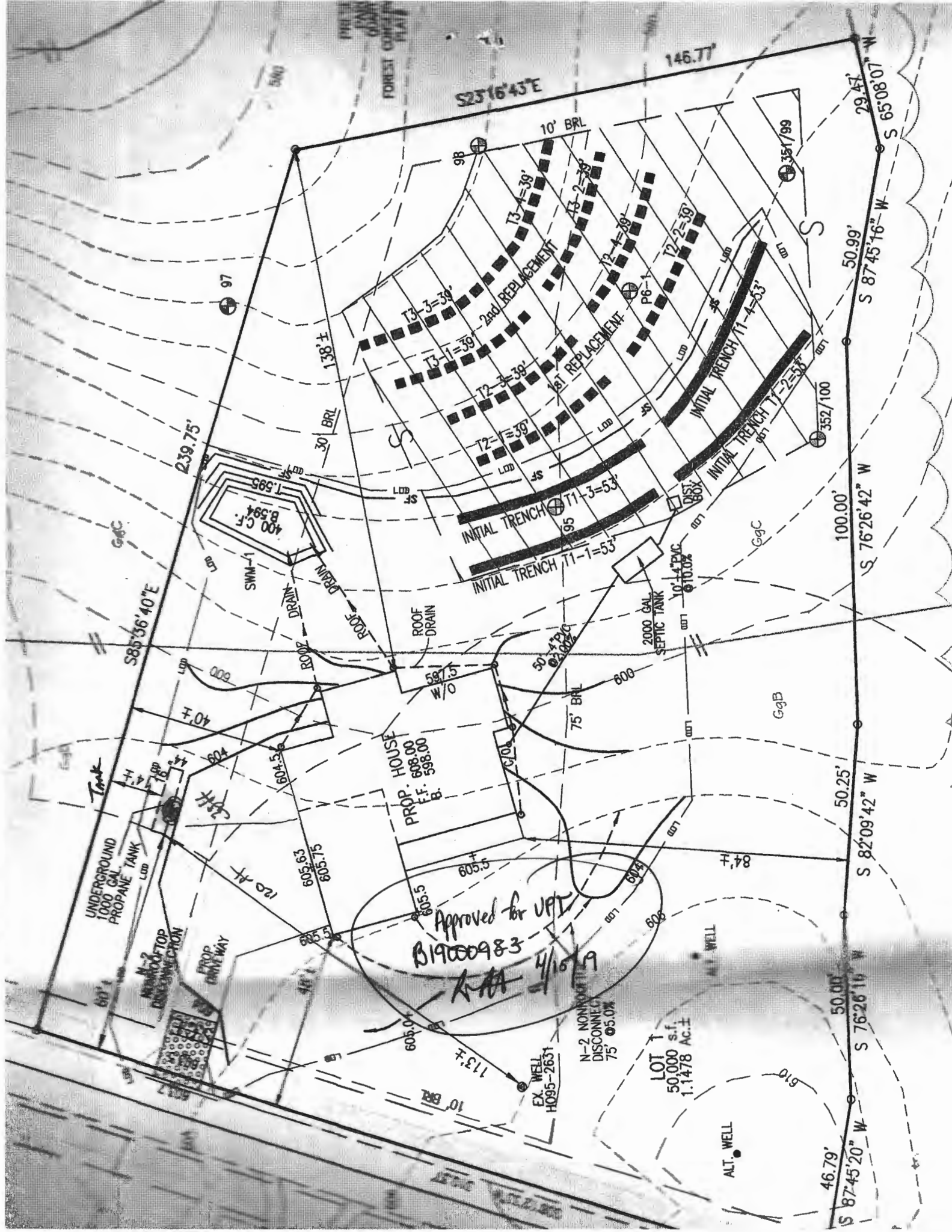
UG STANDARD



TOP VIEW

MARK	QTY.	SIZE	HOLE DIAMETER
B	1	3/4	1 9/16
D	1	2 1/2	3 3/16

1000 W.G. UNDERGROUND PROPANE TANK-TYPE-AWT-UG				
AMERICAN WELDING & TANK LLC FITTING LAYOUT				
DATE 01 / 03 / 00	DESIGN BY RAC	APPROVED BY CDH	REVISION 32	DRAWING NO. R - 1000MW





Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000108

Building Address: 14510 OLD FREDERICK RD
 City: CROFTVILLE State: MD Zip Code: 21743
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: QUARTZ HILLS II
 Lot: 1 Tax Map: 000B Parcel: 0407

Existing Use: VACANT LOT
 Proposed Use: SFD
 Estimated Construction Cost: \$ 350,000
 Description of Work: 4,400 SQ FT 1.5 STORY
3.5 BATHS

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: ANTONOVILLI HOLDINGS LLC
 Address: 11175 EASTWOOD CT
 City: CRANFORD State: MD Zip Code: 21114
 Phone: 410-442-2211 Fax: 410-442-2211
 Email: ANTONOVILLI@GMAIL.COM

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: WATSON SUB CONTRACTORS LLC
 Contact Person: PAUL WATSON
 Address: 11175 EASTWOOD CT
 City: CRANFORD State: MD Zip Code: 21114
 License No.: 12242235 MHP# 110
 Phone: 410-442-2211 Fax: 410-442-2211
 Email: _____

Engineer/Architect Company: ARCHITECTURAL DESIGN GROUP
 Responsible Design Prof.: LISA WATSON
 Address: _____
 City: CRANFORD State: MD Zip Code: 21114
 Phone: 410-722-0291 Fax: 410-722-0291
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling	<input type="checkbox"/> SF Townhouse
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
Area of construction (sq. ft.):	2 nd floor:	
Use group:	Basement:	
Construction type:	<input type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	No. of 1 BR units:	
Roadside Tree Project Permit # _____	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
	Footings:	
	Roof:	
	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

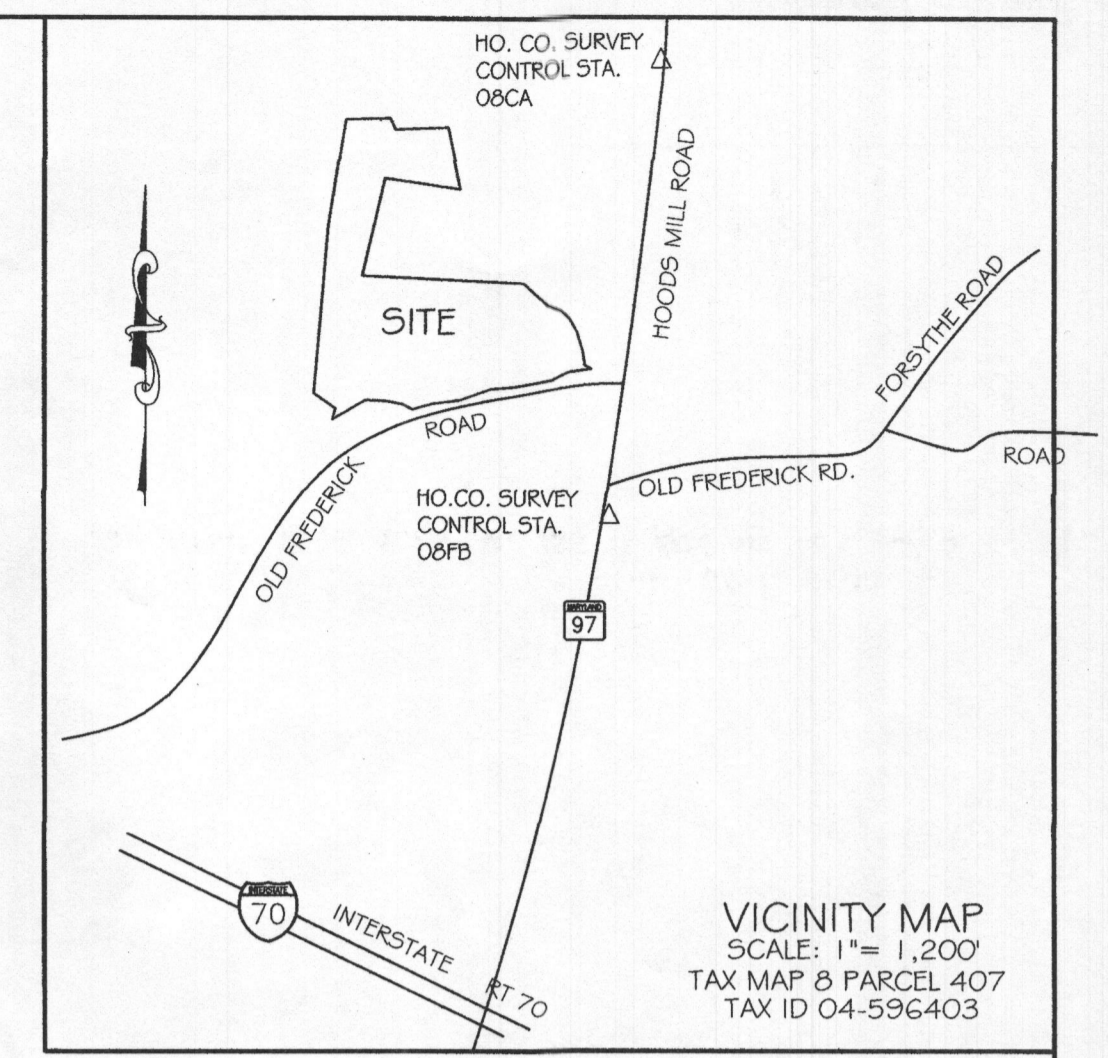
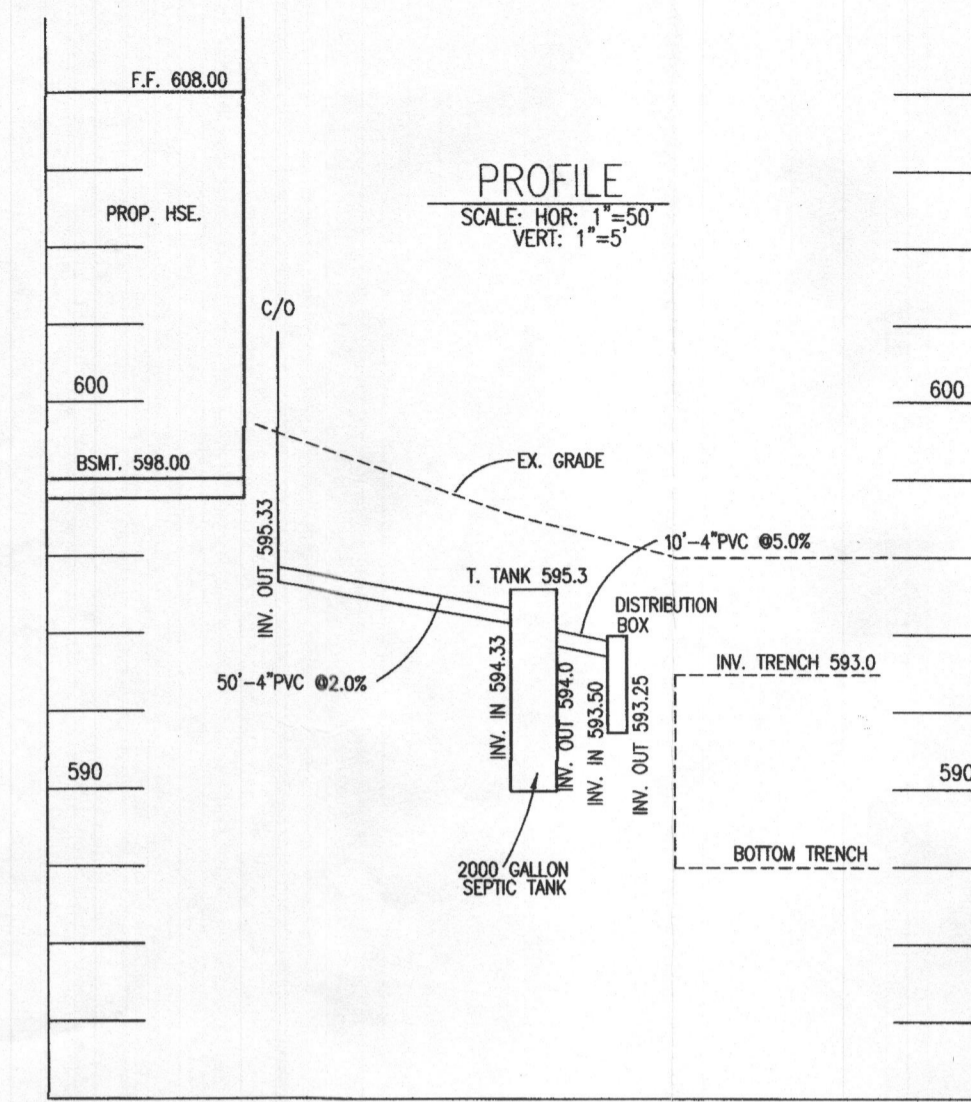
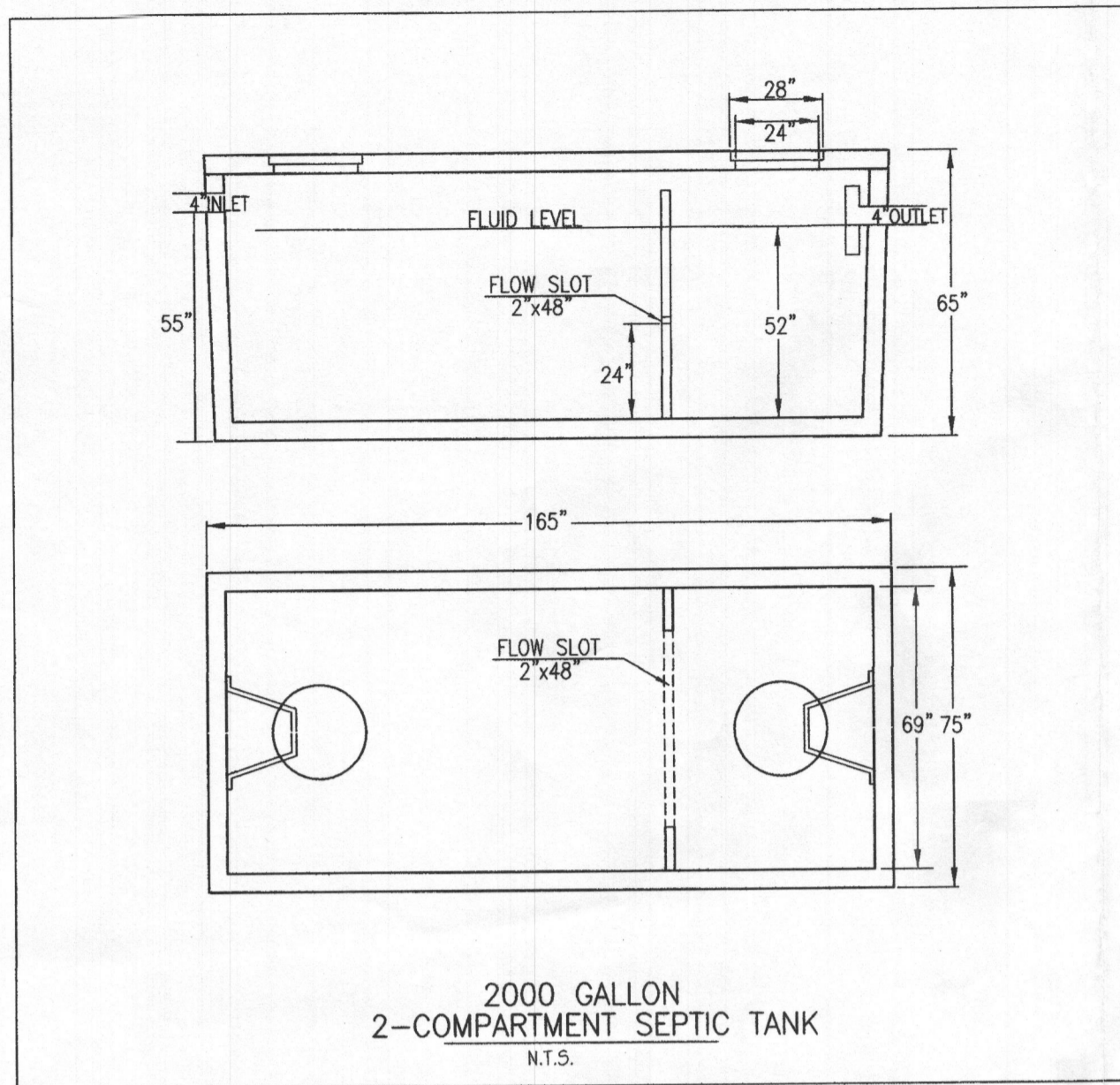
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name _____

Email Address _____

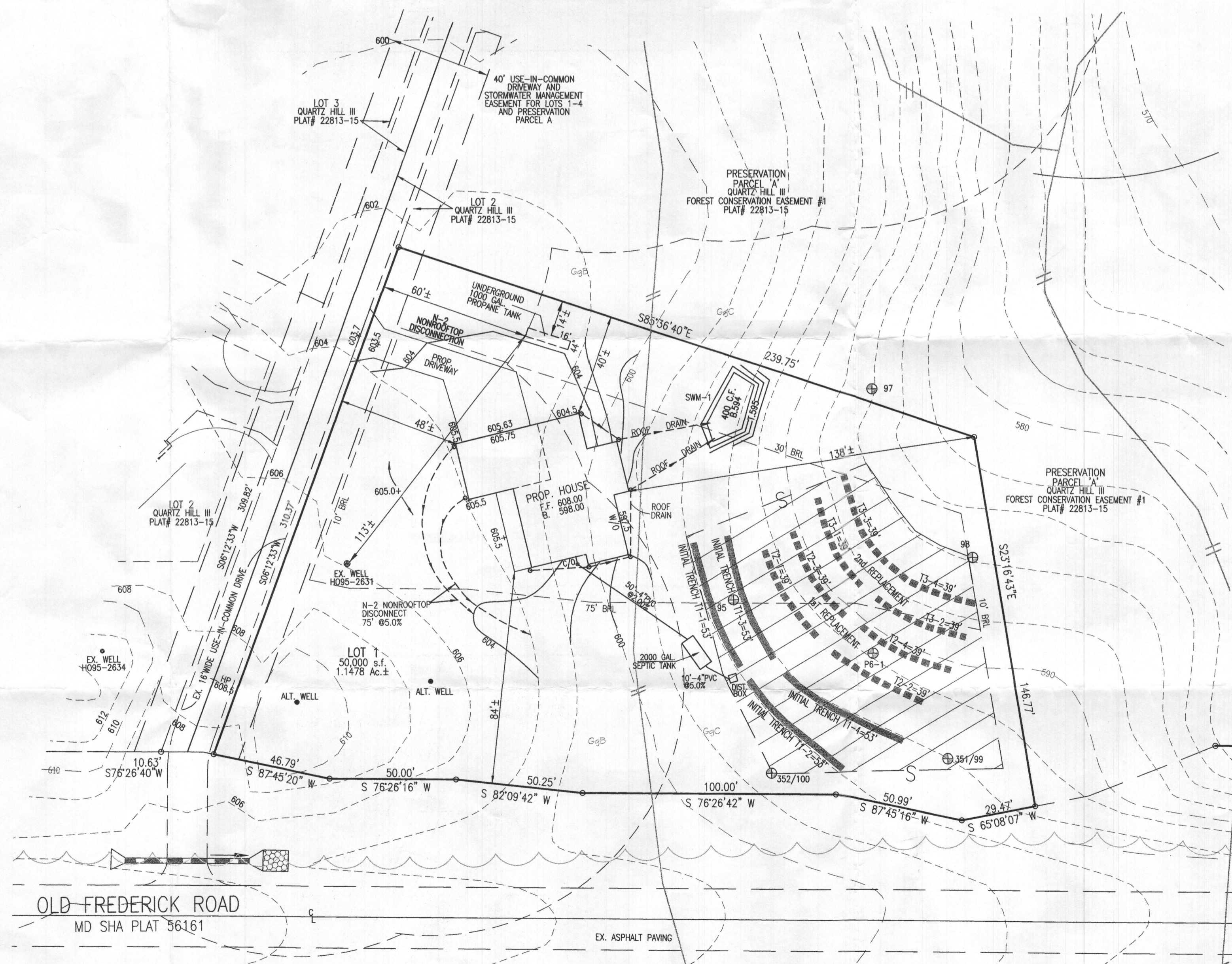
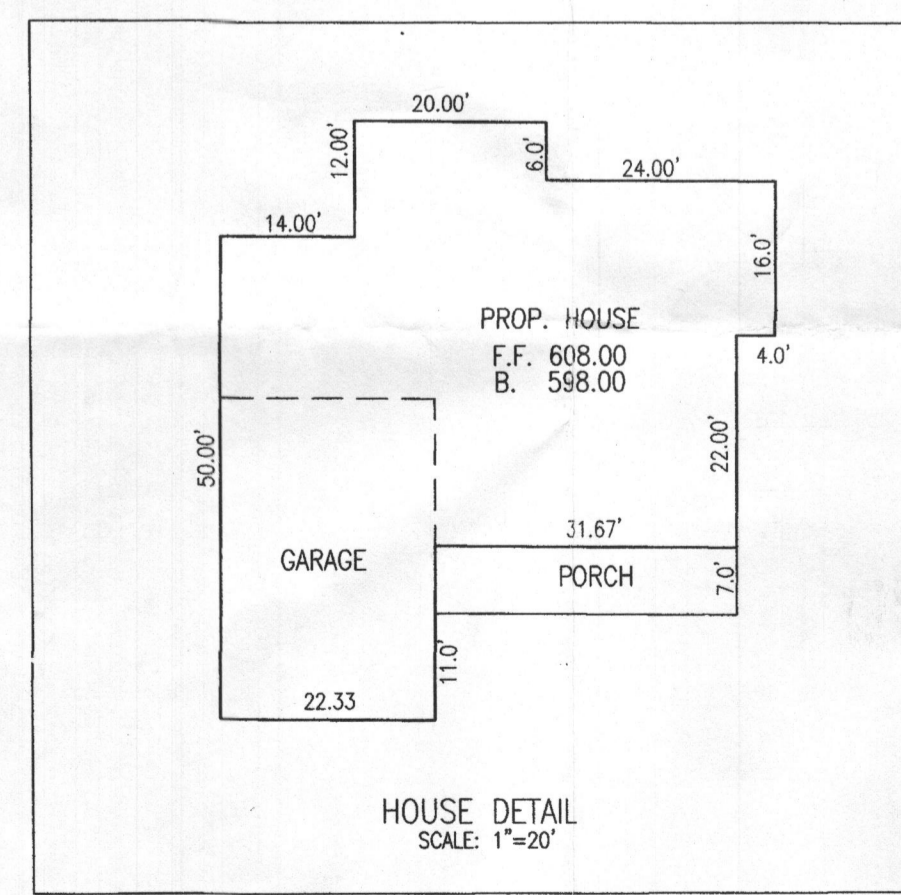
Date _____



- GENERAL NOTES:**
- TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
 - THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.
 - ZONING DISTRICT: RC-DEO
 - LIMIT OF DISTURBANCE (LOD) = 19,700 SQ.FT.
 - THERE ARE NO STREAMS, PONDS, FLOODPLAINS OR WETLANDS ON THIS LOT.
 - STORM WATER MANAGEMENT FOR THIS LOT IS PROVIDED BY N-1 ROOFTOP DISCONNECTION, N-2 NON-ROOFTOP DISCONNECTION AND M-3 LANDSCAPE INFILTRATION.

- SEPTIC SYSTEM TRENCH DESIGN**
- INITIAL REPLACEMENT**
- INITIAL NUMBER OF BEDROOMS = 5
 - APPLICATION RATE = 0.6 GPD / sq.ft.
 - DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
 - 750 GPD / 0.6 GPD/sq.ft. = 1250 sq.ft.
 - 1250 sq.ft. / 3 ft. WIDE TRENCH = 417 LF TRENCH
 - 417 LF TRENCH X 0.50 REDUCTION CREDIT = 209 LF TRENCH
 - TRENCH T1-1 EX. GRD=596.0 -INV. TRENCH=593.0 -B. TRENCH=588.0
 - TRENCH T1-2 EX. GRD=596.0 -INV. TRENCH=593.0 -B. TRENCH=588.0
 - TRENCH T1-3 EX. GRD=594.0 -INV. TRENCH=591.0 -B. TRENCH=586.0
 - TRENCH T1-4 EX. GRD=594.0 -INV. TRENCH=591.0 -B. TRENCH=586.0
- 1st REPLACEMENT**
- APPLICATION RATE = 0.8 GPD / sq.ft.
 - DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
 - 750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
 - 937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
 - 312.5 LF TRENCH X 0.50 REDUCTION CREDIT = 156.25 LF TRENCH
 - TRENCH T2-1 EX. GRD=592.5 -INV. TRENCH=590.5 -B. TRENCH=584.5
 - TRENCH T2-2 EX. GRD=592.5 -INV. TRENCH=590.5 -B. TRENCH=584.5
 - TRENCH T2-3 EX. GRD=590.5 -INV. TRENCH=588.5 -B. TRENCH=582.5
 - TRENCH T2-4 EX. GRD=590.5 -INV. TRENCH=588.5 -B. TRENCH=582.5
- 2nd REPLACEMENT**
- APPLICATION RATE = 0.8 GPD / sq.ft.
 - DESIGN FLOW: 150 GPD X 5 BEDROOMS = 750 GPD
 - 750 GPD / 0.8 GPD/sq.ft. = 937.5 sq.ft.
 - 937.5 sq.ft. / 3 ft. WIDE TRENCH = 312.5 LF TRENCH
 - 312.5 LF TRENCH X 0.50 REDUCTION CREDIT = 156.25 LF TRENCH
 - TRENCH T3-1 EX. GRD=588.7 -INV. TRENCH=586.7 -B. TRENCH=580.7
 - TRENCH T3-2 EX. GRD=588.7 -INV. TRENCH=586.7 -B. TRENCH=580.7
 - TRENCH T3-3 EX. GRD=587.3 -INV. TRENCH=585.3 -B. TRENCH=579.3
 - TRENCH T3-4 EX. GRD=587.3 -INV. TRENCH=585.3 -B. TRENCH=579.3

- SITE PLAN NOTES:**
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - MAXIMUM COVER OVER THE TANK IS 3 FEET. GREATER DEPTH WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 - THE WELL (TAG #HO-95-2631) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 - ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 3-18-18.

Approved Septic System Plan
Howard County Health Department
2000-gal, 2-chamber Septic Tank
& Gravity drainfield (4x53')

R. Bickel
Signature
2/18/19
Date
B19000108

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/New/SFD	B19000106	01/10/2019
Description of Work		
SFD/ MODEL 'RYLEIGH/		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
14510	OLD FREDERICK	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		77.0156	39.3378
City	State	Zip Code	Primary
COOKSVILLE	MD	21723	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1102527	401	1.15	111800	111800	0	RURAL
Legal Description						
LOT 1 1.1478 A.[114510 OLD FREDERICK RD] QUARTZ HILL III						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Supervisor Dist	Map #	DAP Zone	Primary
	1	604001	5				Yes
Plan Area	State Tax Id	Subdivision Name					
	1404596400	Quartz Hill III					
Section	Area	Tax Map					
		8					
Grid	Zoning District	ADC Map					
B-11	RC-DEO	4692-H6					
SDP No.	Final Plan No.	WP File No.					
	ECP-12-068						
Record Plat No.	WS Contract No.	FDP No.					
22813-2281							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-02	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

CATONSVILLE HOMES LLC

Address Line 1

11175 STRATFIELD COURT

Address Line 2

Address Line 3

Mail City

MARRIOTTSVILLE

Mail State

MD

Mail Zip Code

21104

Phone

410-442-2211

Primary

Yes

E-mail

PWALTER@CATONSVILLEHOMES.COM	
Cell Number	Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
990	CATONSVILLE HOMES, LLC		
License Type *	First Name	Middle Name	Last Name
Home Bldr	FRANK		POTEPAN
Primary	Address Line 1		
Yes	11175 STRATFIELD COURT		
	Address Line 2		
	City	State	ZIP Code
	MARRIOTSVILLE	MD	21104
	Phone 1	Phone 2	Fax
	410-442-2211		410-442-2215
	E-mail		
	FPOTEPAN@CATONSVILLEHOMES.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	FRANK		POTEPAN
Relationship	Full Name		
Applicant	FRANK POTEPAN		
Primary	Organization Name		
No	CATONSVILLE HOMES, LLC		
	Street Address		
	11175 STRATFIELD COURT		
	Address Line 2		
	City	State	Zip Code
	MARRIOTSVILLE	MD	21104
	Phone	Cell	Fax
	410-442-2211		410-442-2215
	E-mail *		
	FPOTEPAN@CATONSVILLEHOMES.COM		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	FRANK		POTEPAN
Relationship	Full Name		
Licensed Professional	FRANK POTEPAN		
Primary	Organization Name		
Yes	CATONSVILLE HOMES, LLC		
	Street Address		
	11175 STRATFIELD COURT		
	Address Line 2		
	City	State	Zip Code
	MARRIOTSVILLE	MD	21104
	Phone	Cell	Fax
	410-442-2211		410-442-2215
	E-mail		
	FPOTEPAN@CATONSVILLEHOMES.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
350000	1	1	No
Construction Type			
101 - Single Family Houses Detached			

BUILDING INFORMATION

BUILDING INFORMATION

Capital Project-No Fee * Yes No Capital Project Number [] Fee Exempt * Yes No Guaranty Fund Required * Yes No Roadside Tree Project Permit Yes No

Roadside Tree Project Permit # [] Condominium Yes No Existing Use [] 1st Floor Width [] FT 1st Floor Depth [] FT

2nd Floor Width [] FT 2nd Floor Depth [] FT Basement Width [] FT Basement Depth [] FT Height [] FT Total Square Footage * [] SQFT Occupiable Square Footage * [] SQFT Bedrooms * []

Full Baths [] Half Baths [] Foundation [] Basement [] Other Structure [] Building Construction Type []

W&S Fees Paid * Yes No Water Supply * [] Sewage Disposal * [] Utilities * [] Heating System * [] Sprinkler System * []

No of Fireplaces [] Type of Fireplace [] Entrance Permit Required Yes No Road Frontage [] Location Survey Approval Date [] Expiration Date []

U&O Issued On [] U & O Comments []

check spelling

LOK' reB 2/21/19

GRADING INFORMATION

Grading Permit No [] Grading Certification Required Yes No Grading Certification Received in DILP On [] Grading Certification Received in CID On []

Grading Certification Comments [] Seasonal Surety Comments []

check spelling

Seasonal Grading Surety Depositor [] Driveway Apron Surety Depositor [] Stormwater Surety Depositor []

GREEN NEIGHBORHOOD INFORMATION

Check List Points Goal [] Check List Points Achieved [] Date of Certification []

PAYMENT INFORMATION

Check 1 [] Payee 1 [] Check 2 [] Payee 2 [] SAP Doc No [] SAP Entered []

PRIVATE ON LOT SWM FACILITIES

Green Roofs A1 Yes No Permeable Pavements A2 Yes No Reinforced Turf A3 Yes No

Disconnection of Rooftop Runoff N1 [] Disconnection of Non Rooftop Runoff N2 Yes No Sheetflow to Conservation Areas N3 Yes No

Rainwater Harvesting M1 [] Submerged Gravel Wetlands M2 [] Landscape Infiltration M3 [] Infiltration Berms M4 []

Dry Wells M5 [] Micro Bioretention M6 [] Rain Gardens M7 [] Swales M8 [] Enhanced Filters M9 [] PSWM Certification Received in CID on []

Related Records

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
G19000014	Residential Grading Permit	Issued	14510	OLD FREDERICK	01/18/2019	QUARTZ HILL/ GRADING AND SEDIMENT CONT
B19000108	Residential New Single Family Dwelling Permit	Review In Process	14510	OLD FREDERICK	01/10/2019	SFD/ MODEL 'RYLEIGH/

Submit Cancel

3

Project No.: C18.09
Date: 12/18
Scale: 1/4"=1'-0"

Drawing: FIRST FLOOR PLAN
Project: CATONSVILLE HOMES
RYLEIGH
QUARTZ HILL LOT 1

Notes:

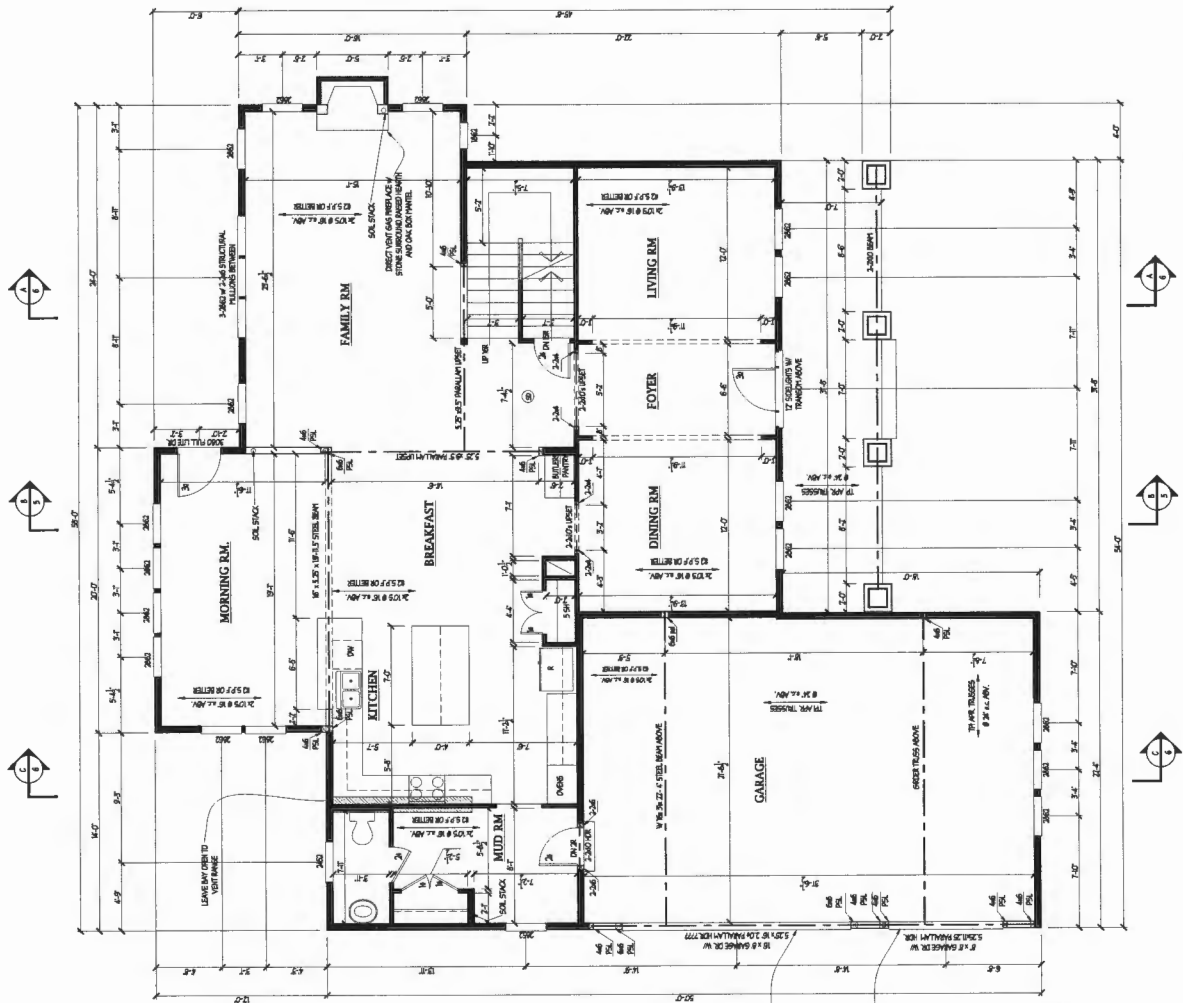
Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229 - 410-788-0281
PlymouthRoadArchitects.com

BID AND PERMIT SET 1/2/19

Page 4 of 27

1/2/2019 9:24 AM

5hp.gsm



NOTE: WINDOW HEADERS ARE 2x6/4\"/>

TYPE 1 WINDOW WALL DETAIL

TYPE 2 WINDOW WALL DETAIL

4

Project No.: C18.09
Date: 12/18
Scale: 1/4"=1'-0"

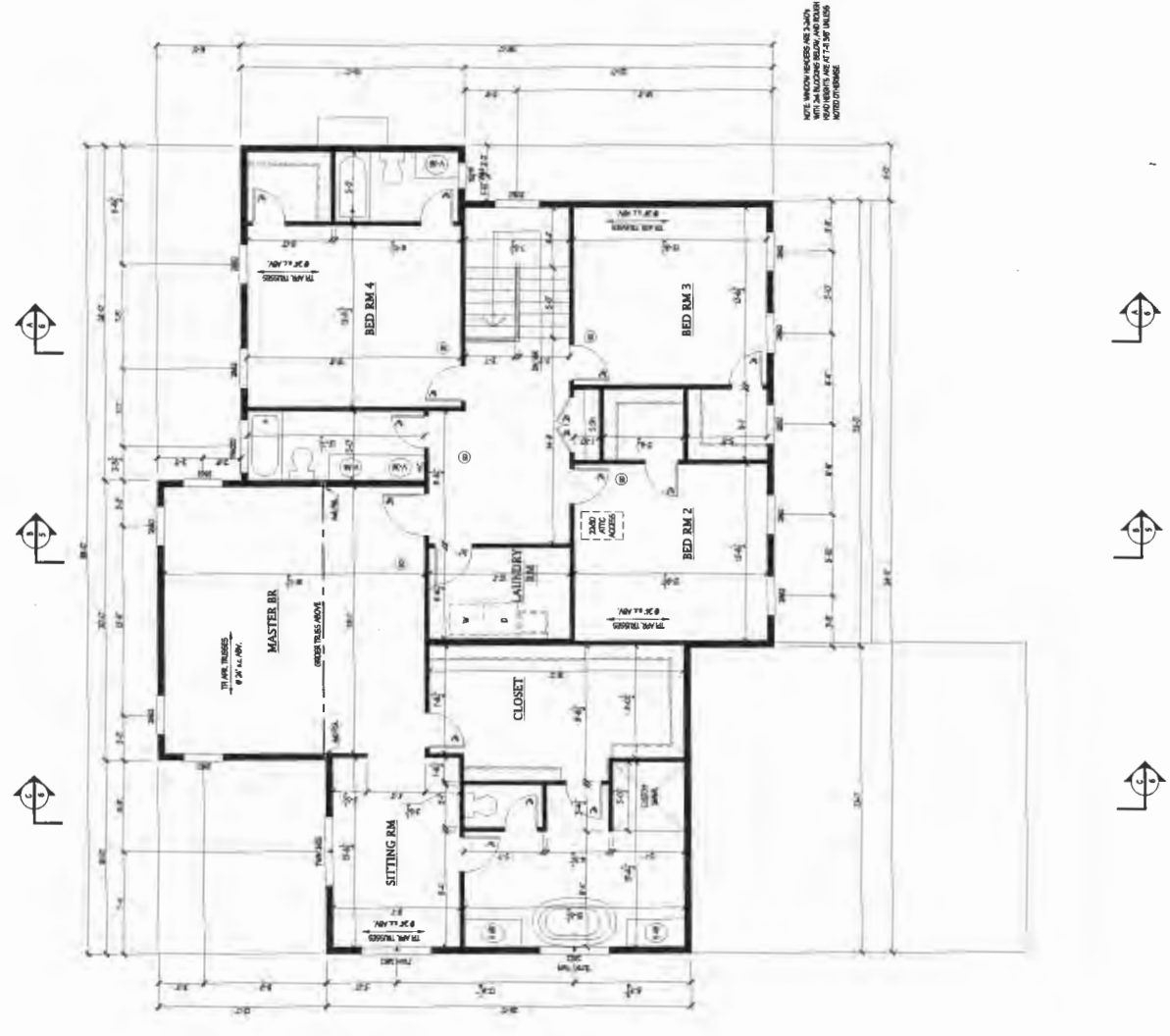
Drawn: SECOND FLOOR PLAN
Project: CATONSVILLE HOMES
RYLEIGH
QUARTZ HILL LOT 1

Notes:

Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229, 410-788-0281
PlymouthRoadArchitects.com

BID AND PERMIT SET 1/2/19

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in plan
MapInfoCAD.dwg



B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition: The process of preparing the soils to sustain adequate vegetative stabilization.

- Conditions Where Practice Applies: Where vegetative stabilization is to be established.
- Criteria: A. Soil Preparation 1. Temporary Stabilization

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition: The application of seed and mulch to establish vegetative cover.

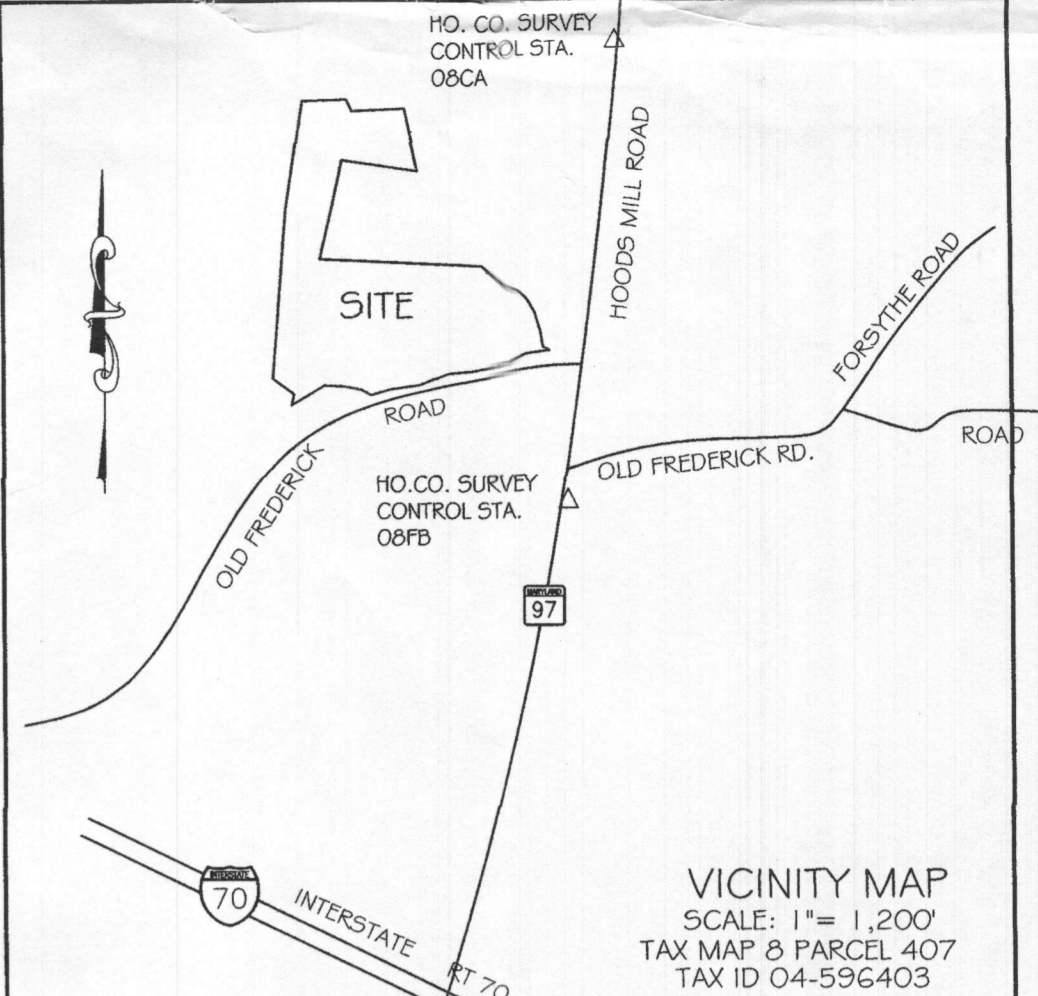
- Criteria: A. Seeding 1. Specifications a. All seed must meet the requirements of the Maryland State Seed Law.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1) A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1885 after the future L100 and protected areas marked clearly in the field.
- 2) Prior to the start of earth disturbance...
- 3) Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days...

B-4-5 STANDARDS AND SPECIFICATIONS PERMANENT STABILIZATION

- Definition: To stabilize disturbed soils with permanent vegetation.
- Criteria: A. Seed Mixtures 1. General Use a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone...



- GENERAL NOTES: 1. TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANAMAR ASSOCIATES, INC.
- 2. THE EXISTING WELLS ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANAMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.

Table with 5 columns: No., Species, Application Rate (lb/oc), Seeding Dates, Seeding Depths. Includes rows for Annual Ryegrass and Fescue Mixture.

Table with 5 columns: No., Species, Application Rate (lb/oc), Seeding Dates, Seeding Depths. Includes rows for Kentucky Bluegrass and Fescue Mixture.

DUST CONTROL: DUST CONTROL METHOD FOR THIS SITE TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES...

STANDARD STABILIZATION NOTE: FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER DIKES, SWALES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL...

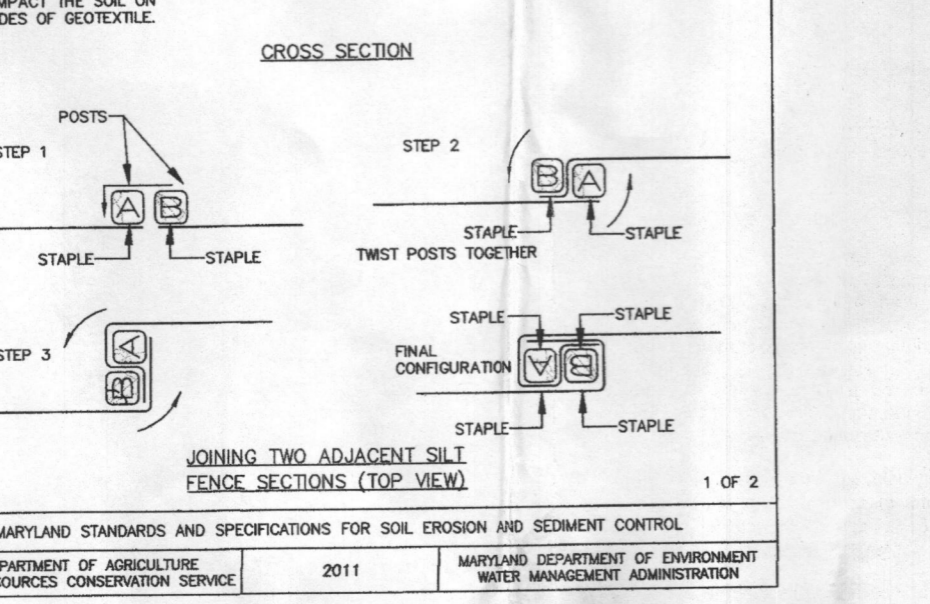
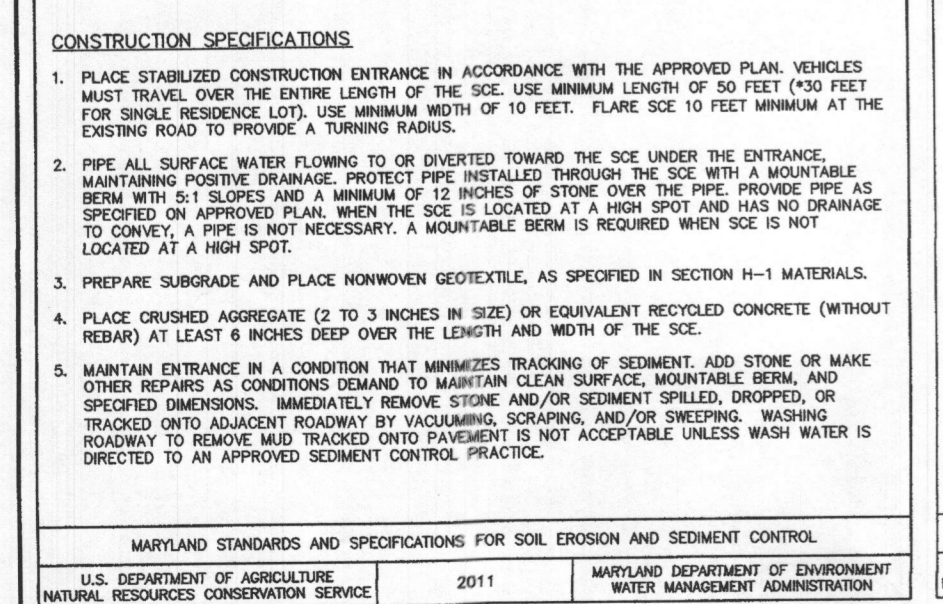
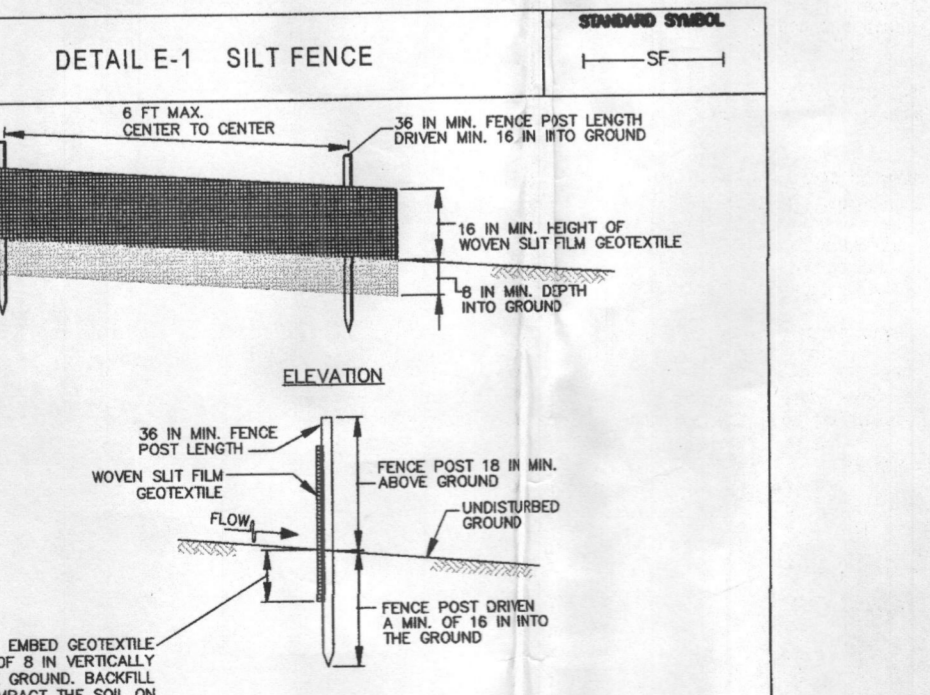
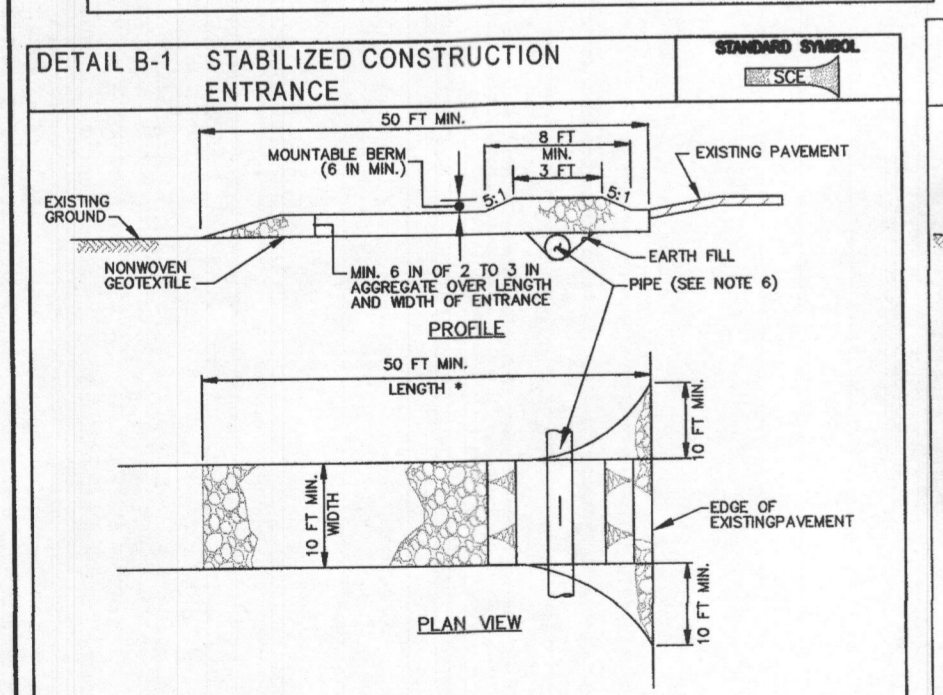
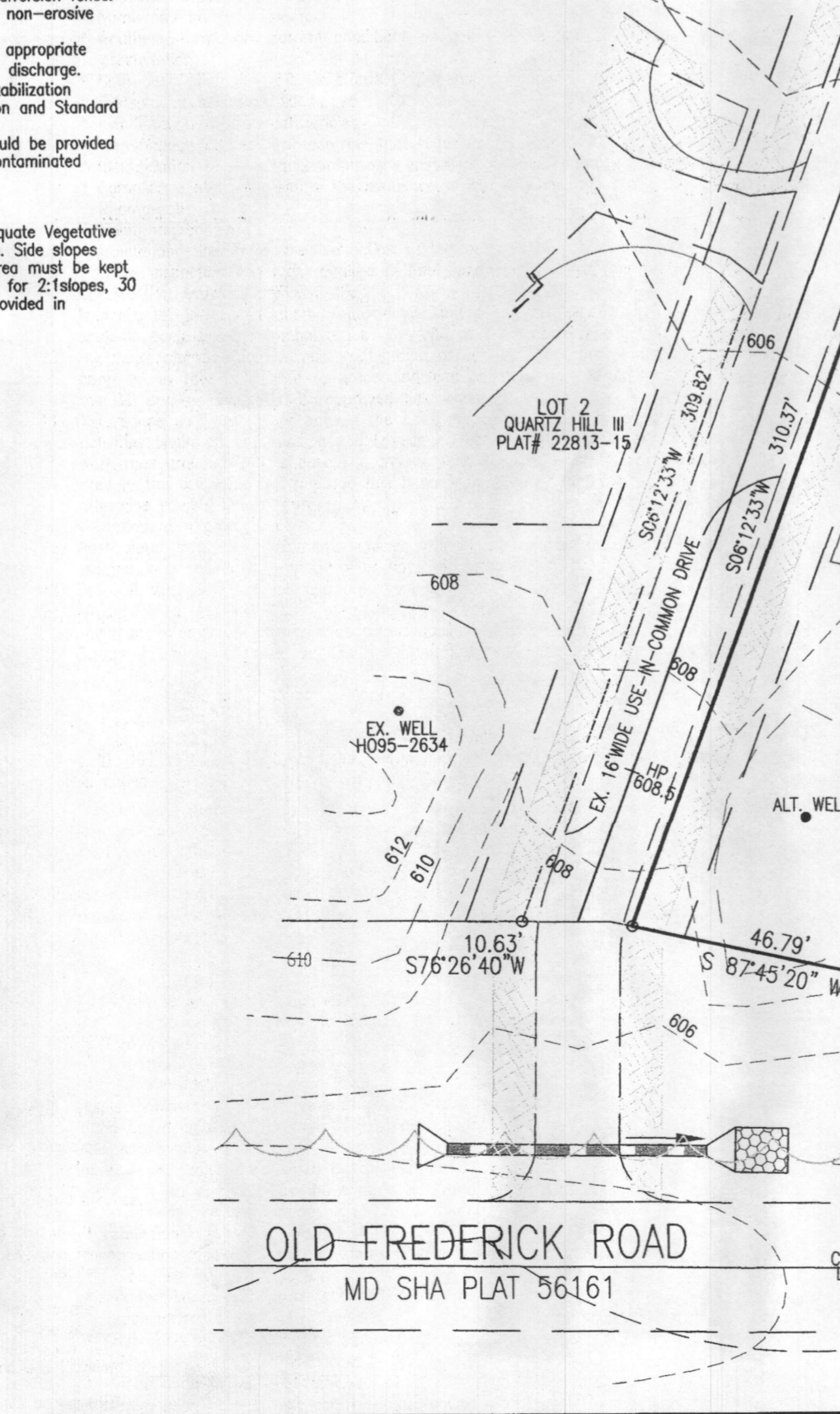
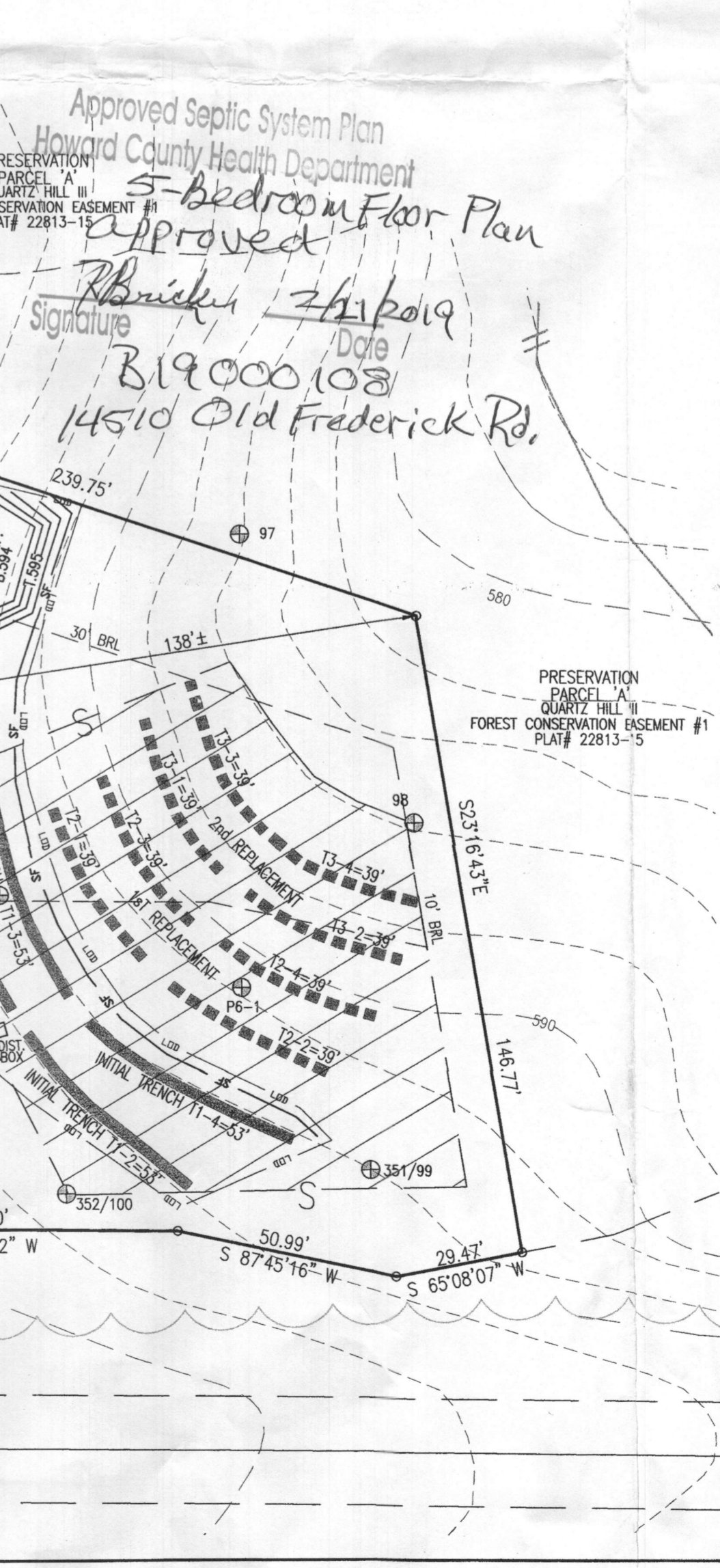


Table with 2 columns: Area, Description. Includes rows for Total Area of Site, Area Disturbed, Area to be vegetatively stabilized, etc.

Conditions Where Practice Applies: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.



Approved Septic System Plan: Howard County Health Department 5-Bedroom Floor Plan Approved. Signature: B. Buckle, Date: 7/11/2019.



TEMPORARY STOCKPILE NOTE: SITE EARTHWORK HAS BEEN BALANCED SUCH THAT A TEMPORARY STOCKPILE SHOULD NOT BE NECESSARY. SHOULD CONTRACTOR DECIDE TO USE A STOCKPILE, CONTRACTOR SHALL PLACE STOCKPILE ON SUITABLE AREA OF THE SITE AND FOLLOW TEMPORARY STABILIZATION NOTES.

DEVELOPER'S CERTIFICATE: I HEREBY CERTIFY THAT CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT.

ENGINEER'S CERTIFICATE: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGN IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, AND THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

OWNER / DEVELOPER: CATONVILLE HOMES 11175 STREET LIGHTS RD. CT. MARRIOTTVILLE, MD. 21104 410-442-2211

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 18417, Expiration Date: 9-18-19.

DATE REVISIONS: Table with 2 columns: DATE, REVISIONS.

PLOT PLAN AND SEDIMENT CONTROL PLAN 14510 OLD FREDERICK ROAD LOT 1 QUARTZ HILL III PLAT No. 22813-22815. Includes contact information for Vanmar Associates, Inc. and a professional seal for Ronald E. Thompson, P.E.

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/2-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; F _c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.8.8.9; vertical loading (H-10 or H-20); allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

Specifications for Micro-Bioretenation, Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretenation practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:
 Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
 Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
 Clay Content - Media shall have a clay content of less than 5%.

pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoers to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base. When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

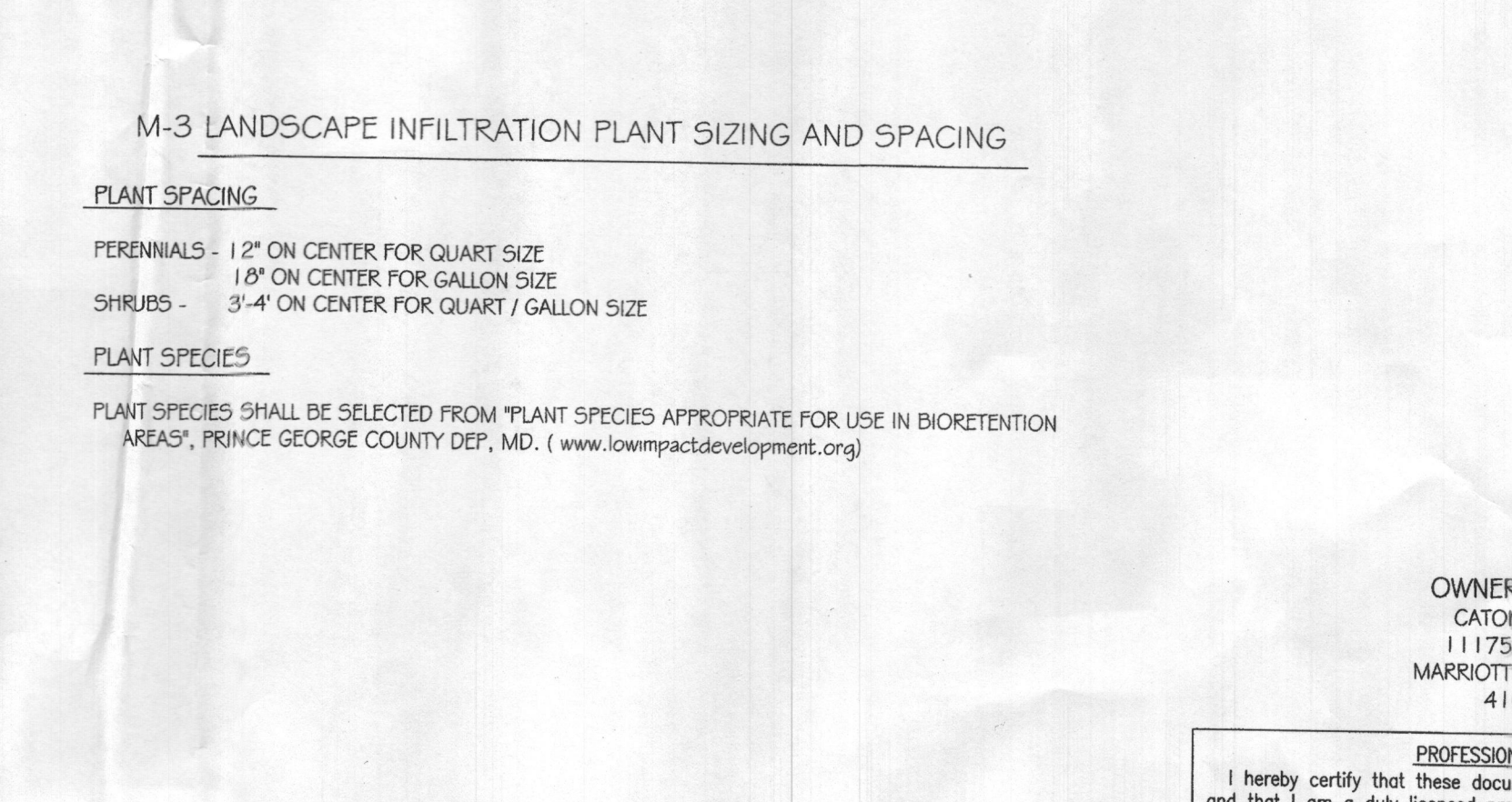
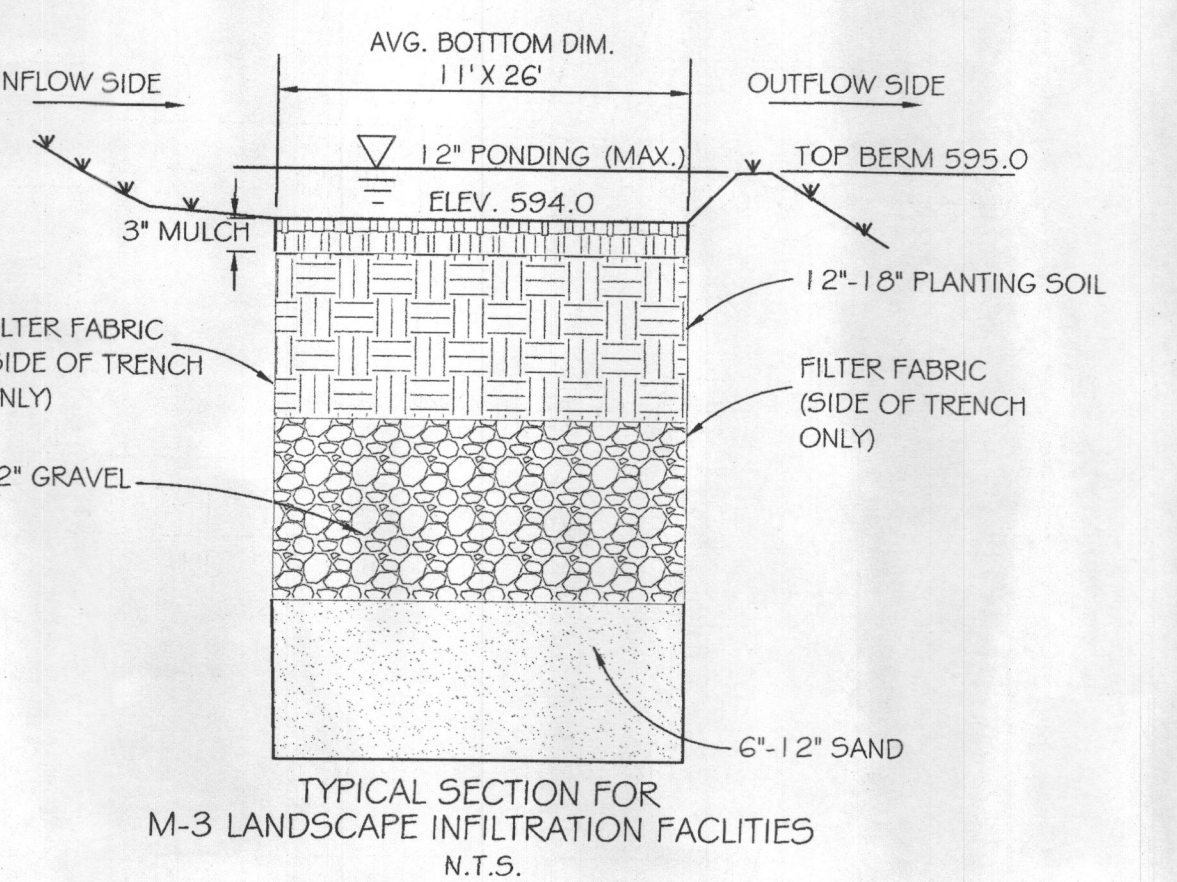
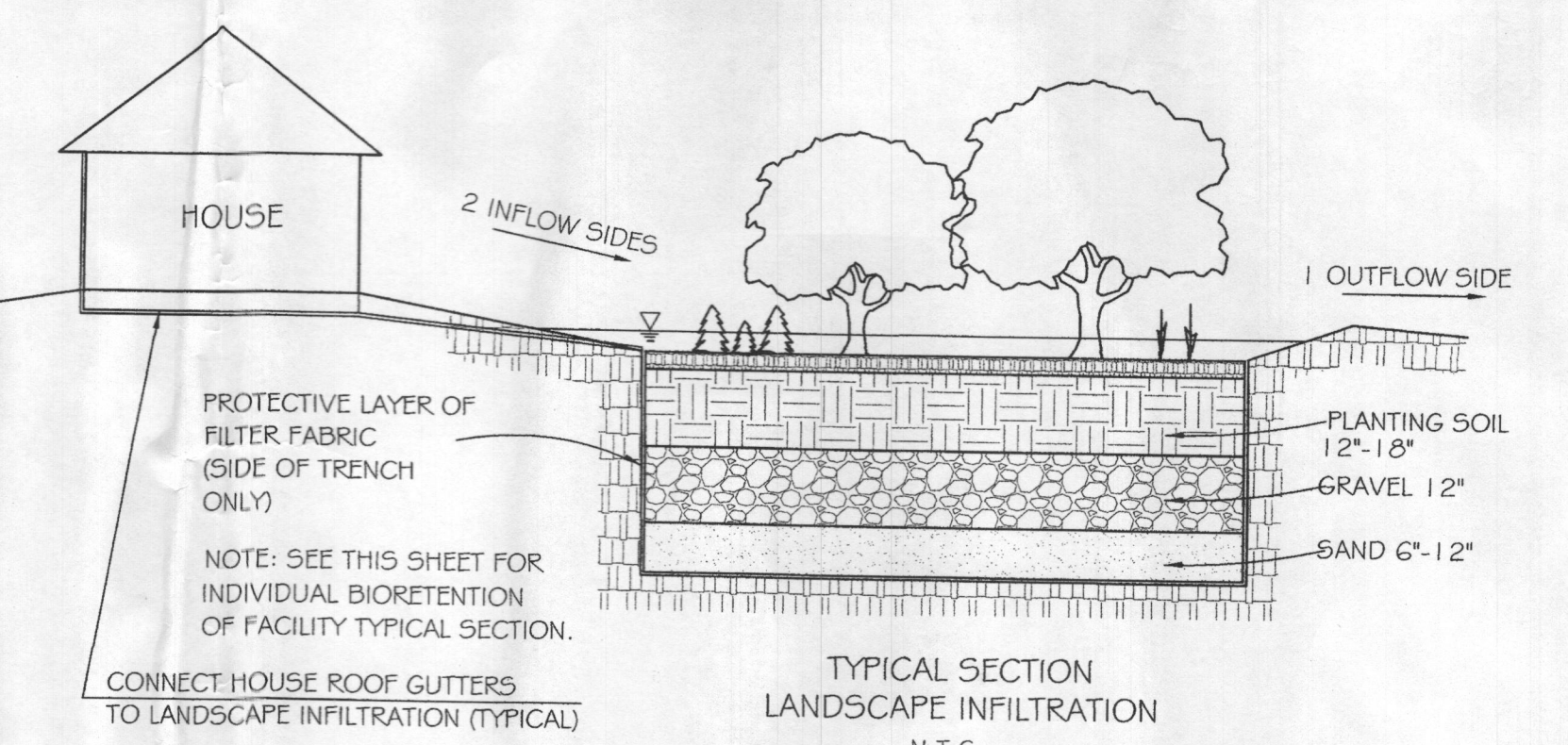
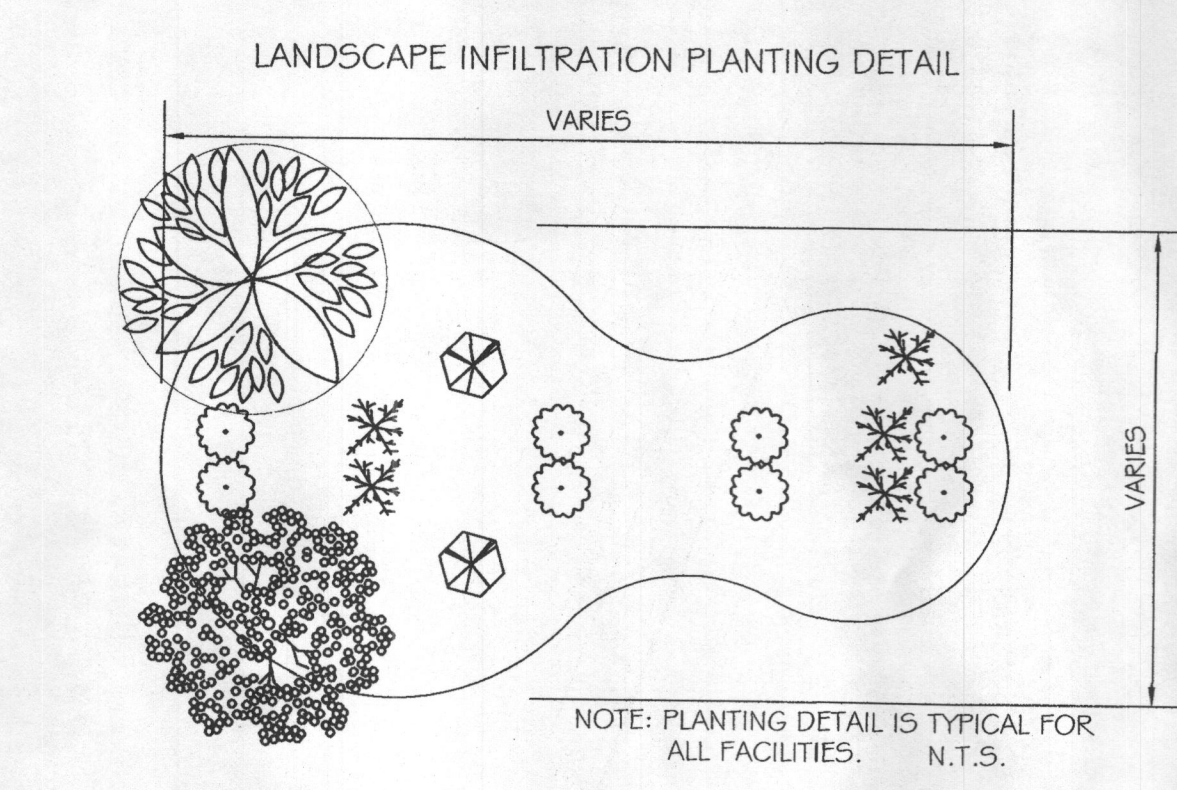
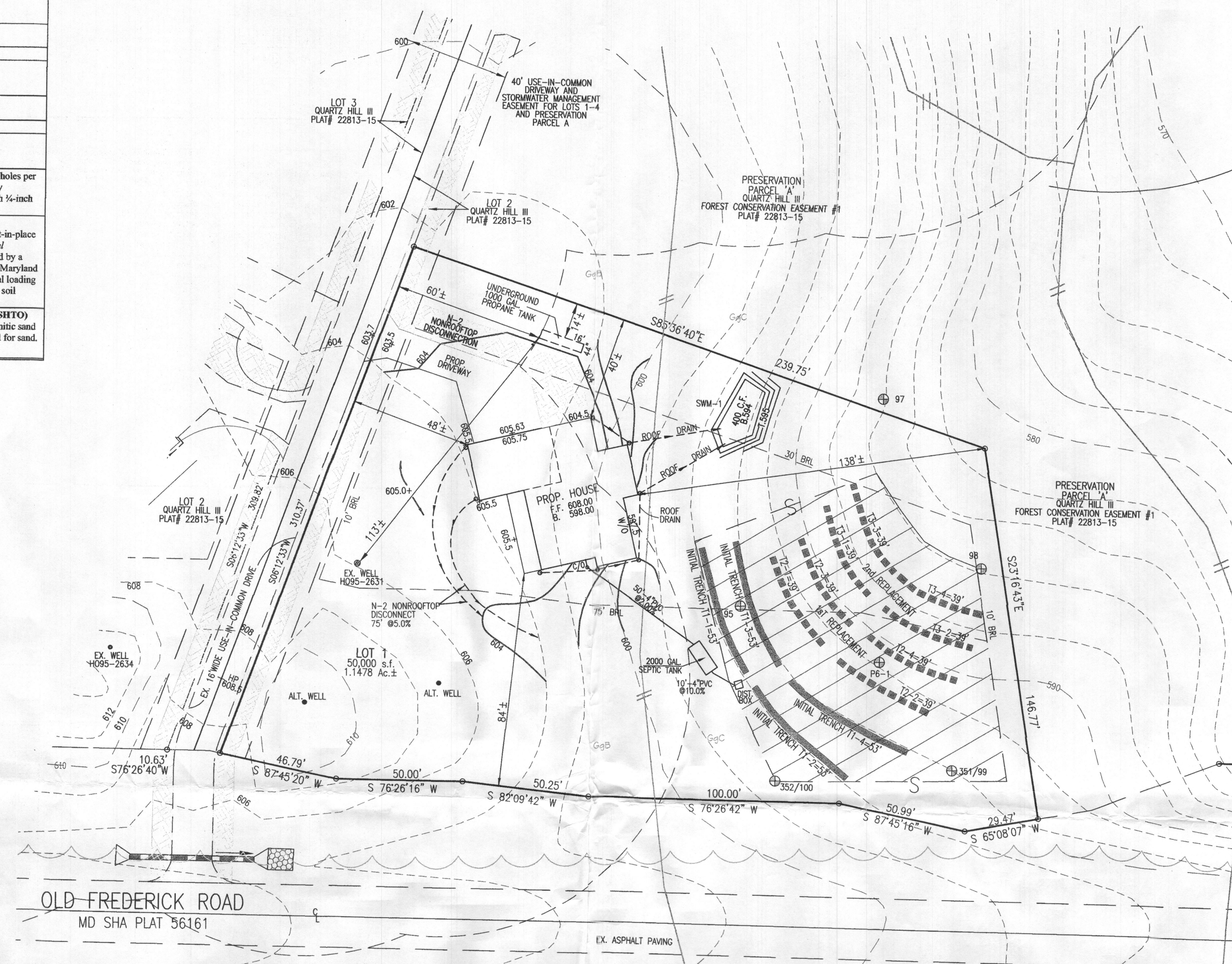
Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, defecats, or a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

MAINTENANCE CRITERIA

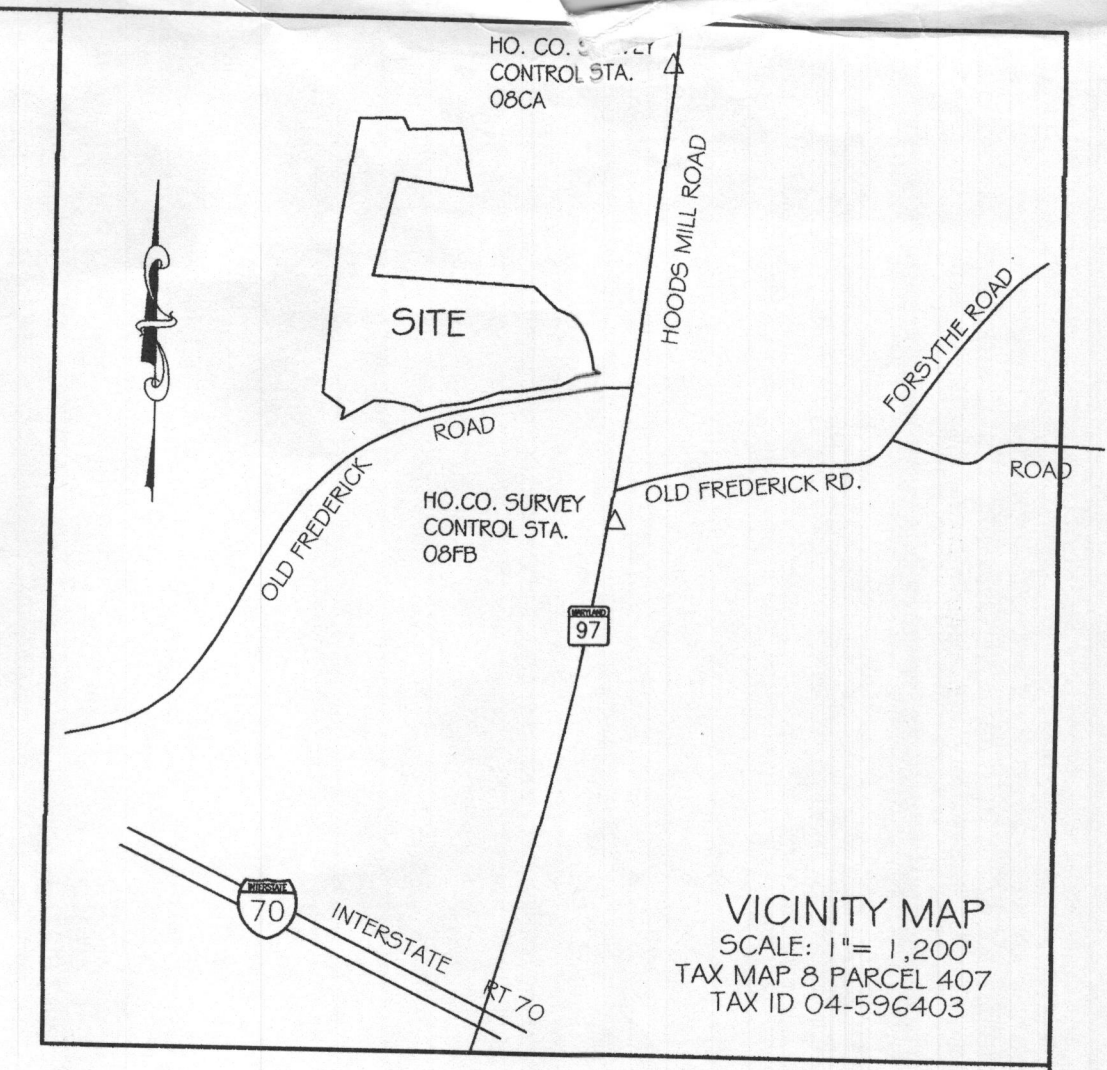
1. The following items should be addressed to ensure proper maintenance and long-term performance of landscape infiltration:

- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- During the first year of operation, inspection frequency should be after every major storm and poorly established areas revegetated.
- Sediment accumulation on the surface of the facility should be removed and the top two to three inches of surface layer replaced as needed.
- The top few inches of the planting soil should be removed and replaced when water ponds for more than 48 hours or there is algal growth on the surface of the facility.
- If standing water persists after filter media has been maintained, the gravel, soil, and sand may need to be cleaned and/or replaced.
- Occasional pruning and replacement of dead vegetation is necessary. If specific plants are not surviving, more appropriate species should be used. Watering may be required during prolonged dry periods.

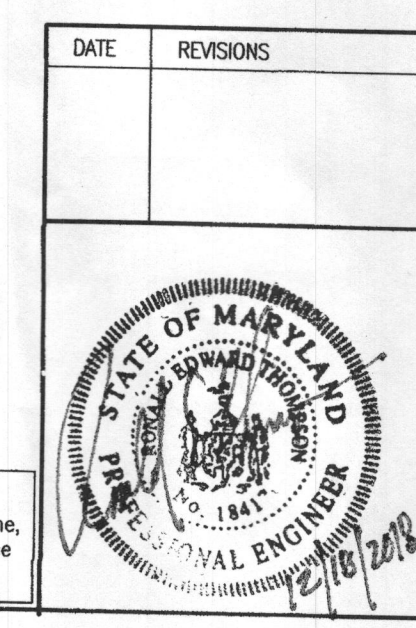


SWM TREATMENT SUMMARY					
PRACTICE	DRAINAGE AREA	IMPERVIOUS AREA TREATED	METHODOLOGY	VOLUME (ESD) REQUIRED	VOLUME (ESD) PROVIDED
N-1 ROOFTOP DISCONNECTION	1,135 S.F.	1,135 S.F.	ESD=Pe * Rv * A/12 where Pe=1.0' & Rv=0.95	90 c.f.	90 c.f.
N-2 NON-ROOFTOP DISCONNECTION	1,250 S.F.	1,250 S.F.	ESD=Pe * Rv * A/12 where Pe=1.0' & Rv=0.95	99 c.f.	99 c.f.
M-3 LANDSCAPE INFILTRATION	4,250 S.F.	1,640 S.F.	REMAINING ESD & MINIMUM SURFACE AREA	390 c.f.	400 c.f.
TOTAL ESD PROVIDED				579 c.f.	589 c.f.
ESD REQUIRED				579 c.f.	

SWM FACILITY		
SWM-1	M-3 LANDSCAPE INFILTRATION	26' X 15' - 12' PONDING



- OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3)**
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 4.2.
 - THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
 - THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
 - THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER YEAR AFTER EACH HEAVY STORM.



STORMWATER MANAGEMENT PLAN
 14510 OLD FREDERICK ROAD
 LOT 1
QUARTZ HILL III
 PLAT No. 22813-22815
 14510 OLD FREDERICK ROAD
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DECEMBER 2018
VANMAR ASSOCIATES, INC.
 Engineers Surveyors Planners
 310 South Main Street Mount Airy, Maryland 21771
 (301) 829-2890 (301) 831-5015 (410) 549-2751
 Fax (301) 831-5603 ©Copyright, Latest Date Shown

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-11.