

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 5/8/19 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 525482

INSTALLATION APPROVAL DATE: 9/4/19

**PERMIT**

A \_\_\_\_\_

**SEWER HOUSE CONNECTION**

PROPERTY ADDRESS: 12206 Hayland Farm Way

SUBDIVISION: Walnut Creek LOT: 78 TAX ID: \_\_\_\_\_

CONTRACTOR: South Carroll Backhoe <sup>ROBERT A</sup> TULL COMPANY EMAIL: sebackhoe@comcast.net

CONTRACTOR ADDRESS: 7820 AIRPARK ROAD 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 301 948 2490  
410-596-3618

PROPERTY OWNER: W Creek LC EMAIL: \_\_\_\_\_

OWNER ADDRESS: 1355 Beverly Road, Suite 330 PHONE: \_\_\_\_\_

NUMBER OF BEDROOMS: 5 CONNECTED TO PUBLIC WATER:  YES  NO

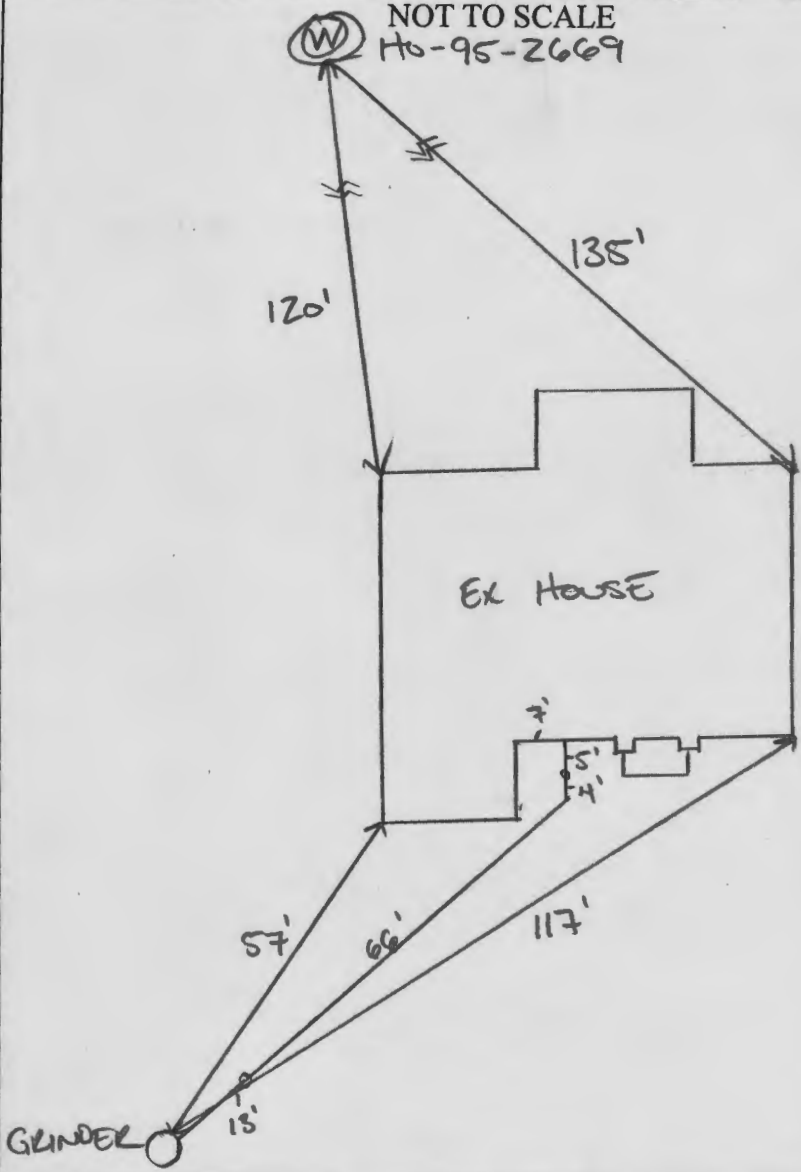
LOCATION:	INSTALL 4" SEWER LINE PER APPROVED SITE PLAN.
NOTES:	sleeve SHC under driveway. reb 5/8/19 Lay SHC at ~ 2% grade

ISSUED BY: Dana Bernard ISSUE DATE: 5/8/19 EXPIRATION DATE: 5/18/2020

- NOTE: HOWARD COUNTY BUREAU OF UTILITIES APPROVAL OF GRINDER PUMP INSTALLATION IS REQUIRED PRIOR TO SEPTIC PERMIT APPROVAL
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM. PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT. CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM.**

NOT TO SCALE  
H0-95-2669



ROAD NAME  
- HAYLAND FARM WAY -

**TRENCH/DRAINFIELD DATA**

WIDTH \_\_\_\_\_ INLET \_\_\_\_\_ BOTTOM \_\_\_\_\_  
 NUMBER OF TRENCHES \_\_\_\_\_  
 TOTAL LENGTH \_\_\_\_\_  
 ABSORPTION AREA \_\_\_\_\_  
 DISTRIBUTION BOX LEVEL \_\_\_\_\_  
 DISTRIBUTION BOX BAFFLE \_\_\_\_\_  
 DISTRIBUTION BOX PORT \_\_\_\_\_

**SEPTIC TANK DATA**

SEPTIC TANK 1 LEVEL \_\_\_\_\_  
 MANUFACTURER \_\_\_\_\_  
 CAPACITY \_\_\_\_\_ GAL  
 SEAM LOC \_\_\_\_\_  
 TANK LID DEPTH \_\_\_\_\_  
 BAFFLES \_\_\_\_\_  
 BAFFLE FILTER \_\_\_\_\_  
 MANHOLE LOC \_\_\_\_\_  
 6" PORT LOC \_\_\_\_\_  
 WATERTIGHT TEST \_\_\_\_\_  
 SLOTTED \_\_\_\_\_  
 DATE ON LID \_\_\_\_\_  
 PUMP/SEPTIC TANK LEVEL \_\_\_\_\_  
 MANUFACTURER \_\_\_\_\_  
 CAPACITY \_\_\_\_\_ GAL  
 SEAM LOC \_\_\_\_\_  
 TANK LID DEPTH \_\_\_\_\_  
 BAFFLES \_\_\_\_\_  
 BAFFLE FILTER \_\_\_\_\_  
 MANHOLE LOC \_\_\_\_\_  
 6" PORT LOC \_\_\_\_\_  
 WATERTIGHT TEST \_\_\_\_\_  
 SLOTTED \_\_\_\_\_  
 DATE ON LID \_\_\_\_\_

PRE-CONSTRUCTION:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

INSTALLATION: 5/10/2019 SEWER LINE INSTALLING FROM GRINDER PIT TOWARD HOUSE. @ 5/13/2019 SEWER LINE COMPLETE. SHC INSTALLED. SEWER LINE (SCH 40 PVC) HAS GREEN TRACE WIRE. AWAITING START UP LETTER FROM UTILITIES @ 9/4/19 startup rec'd. (Kow)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

FINAL INSPECTOR J. Kalf DATE OF APPROVAL 9/4/19

## Wolf, Kevin

---

**From:** Bozzell, Duane  
**Sent:** Thursday, August 29, 2019 6:35 AM  
**To:** Miscbilling  
**Cc:** Hart, Amy; Rocco, Anthony; Martin, Sharhonda; Williams, Jeffrey; Bozzell, Duane; Bernard, Dana; Wolf, Kevin; Collins, Sarah; jpavlik@CraftmarkHomes.com  
**Subject:** U&O Release 12206 Hayland Farm way lot78

On the morning of 08-27-2019 observed the start-up of a Sewage Grinder Pump at the Walnut Creek Shared Septic System:

Contract#

Lot #78

12206 Hayland Farm way

Ellicott City MD. 21043

The Sewage Grinder Pump test was successful; the Bureau of Utilities releases its hold on this property for U&O.

*Thank You,*

*Duane Bozzell*

**J.N.C.COM**

**DPW-Bureau of utilities**

**Phone: (410)313-4900**

**Fax: (410)313-4989**

Walnut Creek - Lot 78  
 12206 Hayland Farm Way  
 Ellicott City, MD 21042

■ = Finished Areas of home

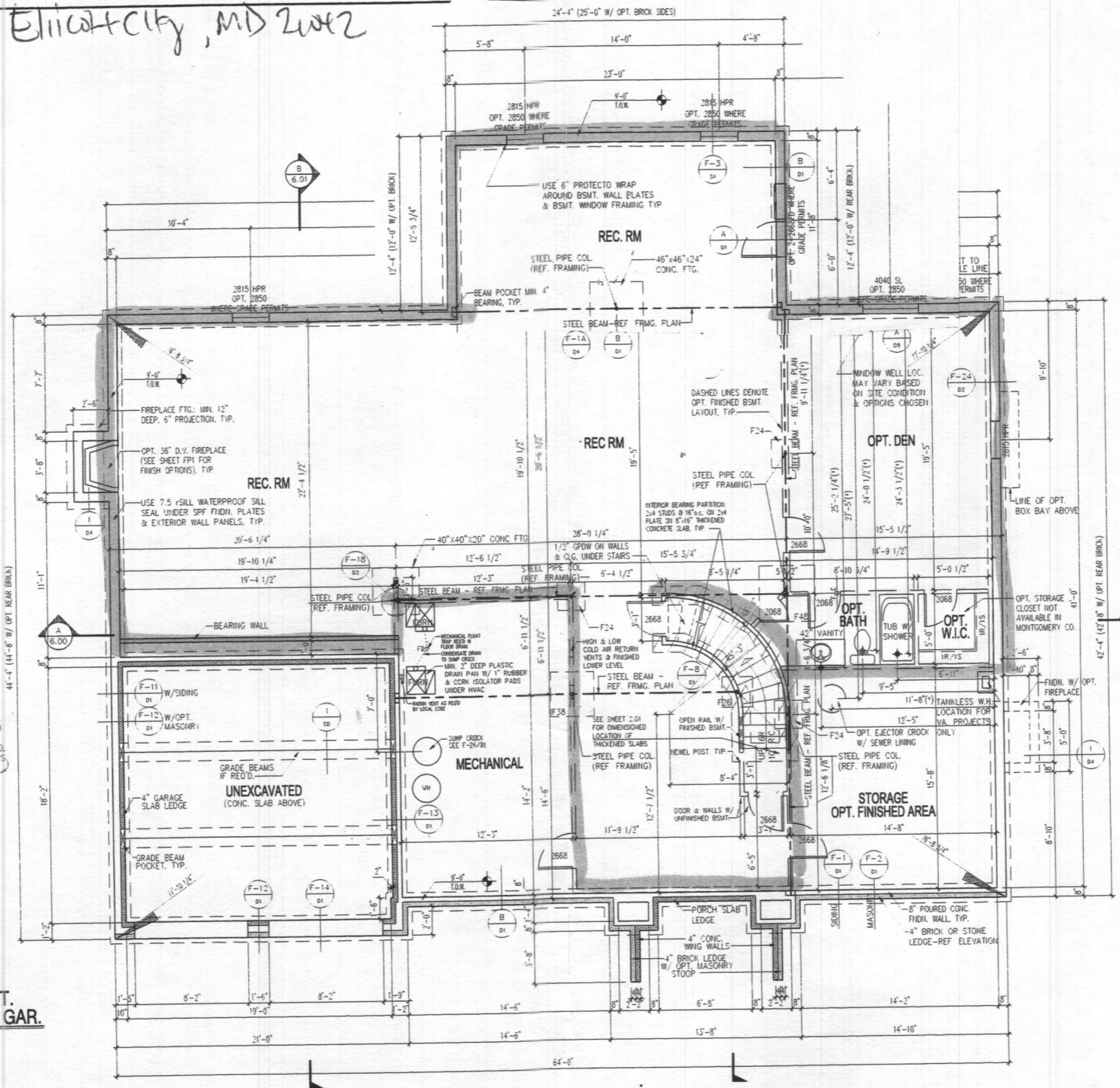
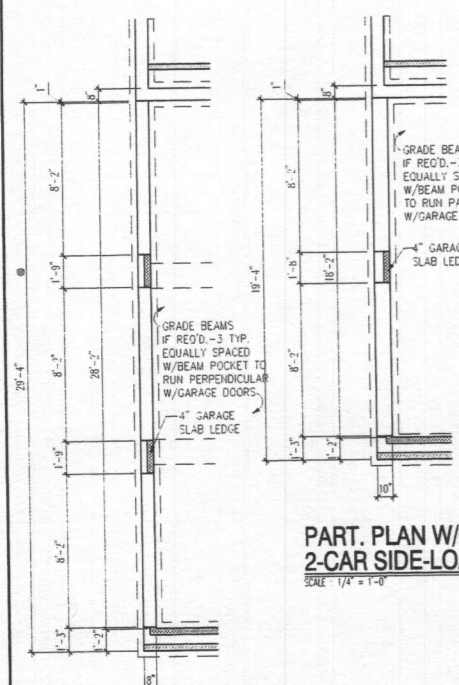
B19000470

HEALTH  
 DEPT

5 Bedrooms  
 6 Baths

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NOTE:  
 1) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.  
 2) PROVIDE AT LEAST 1 HANDRAIL FOR STAIRS HAVING 4 OR MORE RISERS.  
 3) GLASS DOORS, SIDE-LITES, & SHOWER ENCLOSURES TO BE SAFETY GLAZED.  
 4) SMOKE DETECTORS ON EACH FLOOR LEVEL.  
 5) OPTIONAL WINDOWS AVAILABLE ONLY WHERE GRADE PERMITS.  
 6) ALL INTERIOR PARTITIONS 5/1/2" UNLESS NOTED OTHERWISE.



FOUNDATION / BASEMENT PLAN

NOTE:  
 1) REFERENCE PARTIAL PLANS FOR WINDOW AND DOOR SIZES AND LOCATIONS.  
 2) REFERENCE TYPICAL WALL SECTION FOR ADDITIONAL INFORMATION.  
 3) PROVIDE 4" DIA. PERIMETER DRAIN TILE AROUND THE EXTERIOR FOOTING AND A 4" DIA. DIAGONAL DRAIN TILE FROM THE SUMP CROCK TO THE OPPOSITE FOUNDATION WALL SLEEVE FOOTING AS REQUIRED.

NOTE:  
 (\*) - REFERENCE B/ D/1

CONCRETE COLUMN FOOTING SCHEDULE (f<sub>c</sub> = 3,000 psi)

F24	=	24" x 24" x 12"
F26	=	26" x 26" x 12"
F28	=	28" x 28" x 12"
F30	=	30" x 30" x 12"
F32	=	32" x 32" x 12"
F34	=	34" x 34" x 12"
F36	=	36" x 36" x 12"
F38	=	38" x 38" x 12"
F40	=	40" x 40" x 12"
F42	=	42" x 42" x 12"
F44	=	44" x 44" x 12"
F46	=	46" x 46" x 12"
F48	=	48" x 48" x 12"
F50	=	50" x 50" x 12"
F52	=	52" x 52" x 12"
F54	=	54" x 54" x 12"
F56	=	56" x 56" x 12"
F58	=	58" x 58" x 12"
F60	=	60" x 60" x 12"
F62	=	62" x 62" x 12"
F64	=	64" x 64" x 12"
F66	=	66" x 66" x 12"
F68	=	68" x 68" x 12"
F70	=	70" x 70" x 12"
F72	=	72" x 72" x 12"

NOTE: MAXIMUM ALLOWABLE SOIL BEARING PRESSURE = 1,500 PSF  
 REINFORCE FOOTINGS F38 & WIDER W/ #5 BARS @ 12" OC. EACH WAY, 3" CLEAR FROM BOTTOM OF FOOTING

ADJUSTABLE STEEL COLUMNS:

P311	=	3"Ø 11ga
P3511	=	3.5"Ø 11ga
P411	=	4"Ø 11ga

SCHEDULE 40 PIPE COLUMNS:

P340	=	3"Ø S40 PIPE COL
P3540	=	3.5"Ø S40 PIPE COL
P440	=	4"Ø S40 PIPE COL
P540	=	5"Ø S40 PIPE COL
P640	=	6"Ø S40 PIPE COL

FOUNDATION / BASEMENT PLAN  
 CLIENT INFORMATION  
 CRAFTMARK HOMES / OAKMONT

DRAWN BY: WSP  
 10/01/2005

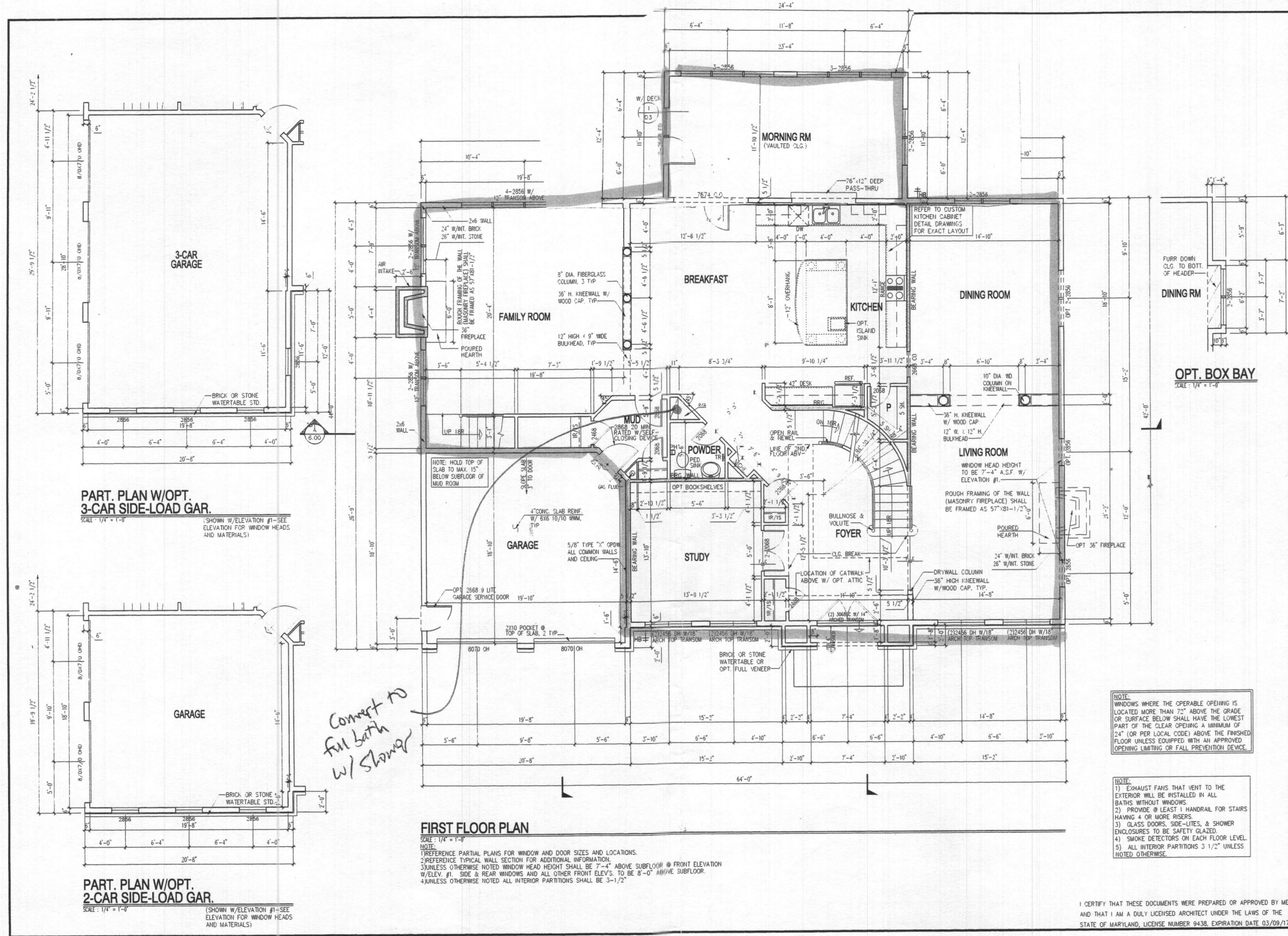
REV. #	DATE
REV. #1	08/02/05
ACR #1061	08/12/05
ACR #1062	08/22/05
ACR #1066	01/28/07

2.00

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☐ = Finished Areas of Home



**PART. PLAN W/OPT. 3-CAR SIDE-LOAD GAR.**  
SCALE: 1/4" = 1'-0"

**PART. PLAN W/OPT. 2-CAR SIDE-LOAD GAR.**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NOTE:  
1) REFERENCE PARTIAL PLANS FOR WINDOW AND DOOR SIZES AND LOCATIONS.  
2) REFERENCE TYPICAL WALL SECTION FOR ADDITIONAL INFORMATION.  
3) UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 7'-4" ABOVE SUBFLOOR @ FRONT ELEVATION W/ELEV. #1. SIDE & REAR WINDOWS AND ALL OTHER FRONT ELEV'S. TO BE 8'-0" ABOVE SUBFLOOR.  
4) UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS SHALL BE 3-1/2"

NOTE:  
WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 7'-2" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 2'-4" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

NOTE:  
1) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.  
2) PROVIDE @ LEAST 1 HANDRAIL FOR STAIRS HAVING 4 OR MORE RISERS.  
3) GLASS DOORS, SIDE-LITES, & SHOWER ENCLOSURES TO BE SAFETY GLAZED.  
4) SMOKE DETECTORS ON EACH FLOOR LEVEL.  
5) ALL INTERIOR PARTITIONS 3 1/2" UNLESS NOTED OTHERWISE.

*Convert to full bath w/ shower*

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**FIRST FLOOR PLAN**  
CLIENT INFORMATION:  
**CRAFTMARK HOMES / OAKMONT**  
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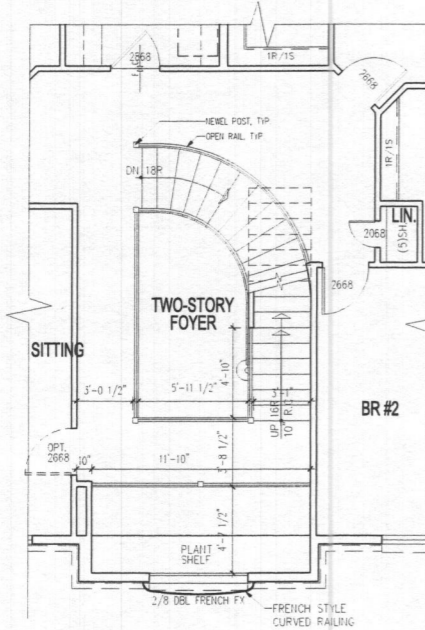
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WSP	
10/12/2005	
REV. #	DATE
ACR #101	08/02/2015
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ACR #103	08/02/2015
ACR #104	01/28/2017

P2080200  
SHEET No.  
**3.00**

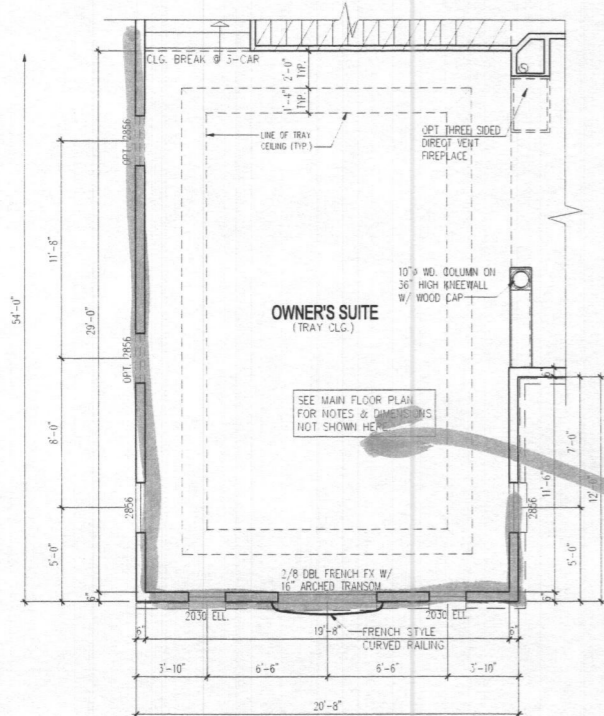
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■ = Finished Areas of Home

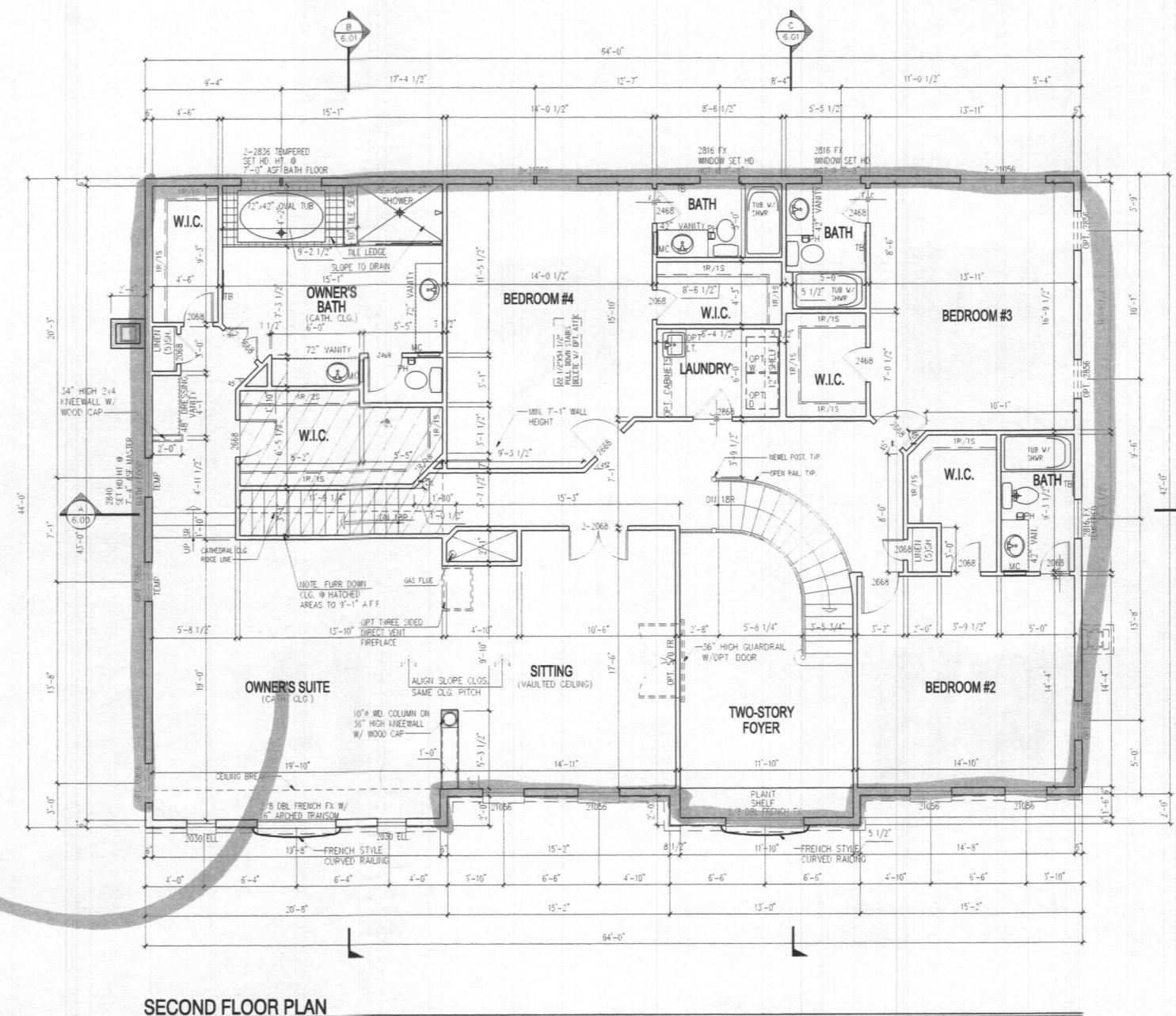
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**PART. PLAN W/OPT. ATTIC**  
 SCALE: 1/4" = 1'-0"



**PART. PLAN W/OPT. 3 CAR SIDE LOAD GARAGE**  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- NOTES:**
- 1) PREFERENCE PARTIAL PLANS FOR WINDOW AND DOOR SIZES AND LOCATIONS.
  - 2) REFERENCE TYPICAL WALL SECTION FOR ADDITIONAL INFORMATION.
  - 3) UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 7'-4" ABOVE SUBFLOOR.
  - 4) UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS SHALL BE 3-1/2"

**NOTE:**  
 WASHING MACHINE WILL ALWAYS BE ON THE LEFT, DRYER WILL ALWAYS BE ON THE RIGHT EVEN IN THE REVERSE PLAN.

**NOTES:**  
 WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

- NOTES:**
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  - 3) GLASS DOORS, SIDE-LITES, & SHOWER ENCLOSURES TO BE SAFETY GLAZED.
  - 4) SMOKE DETECTORS ON EACH FLOOR LEVEL.
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**SHEET TITLE**  
**SECOND FLOOR PLAN**  
**CLIENT INFORMATION**  
**CRAFTMARK HOMES / OAKMONT**  
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1001/2005	
REV. NO.	DATE
REV. #4	08/02/2016
ACR #1081	08/01/2015
ACR #1083	08/02/2015
ACR #1081	01/08/2017

**72080001**  
**SHEET No.**  
**3-01**

057000918

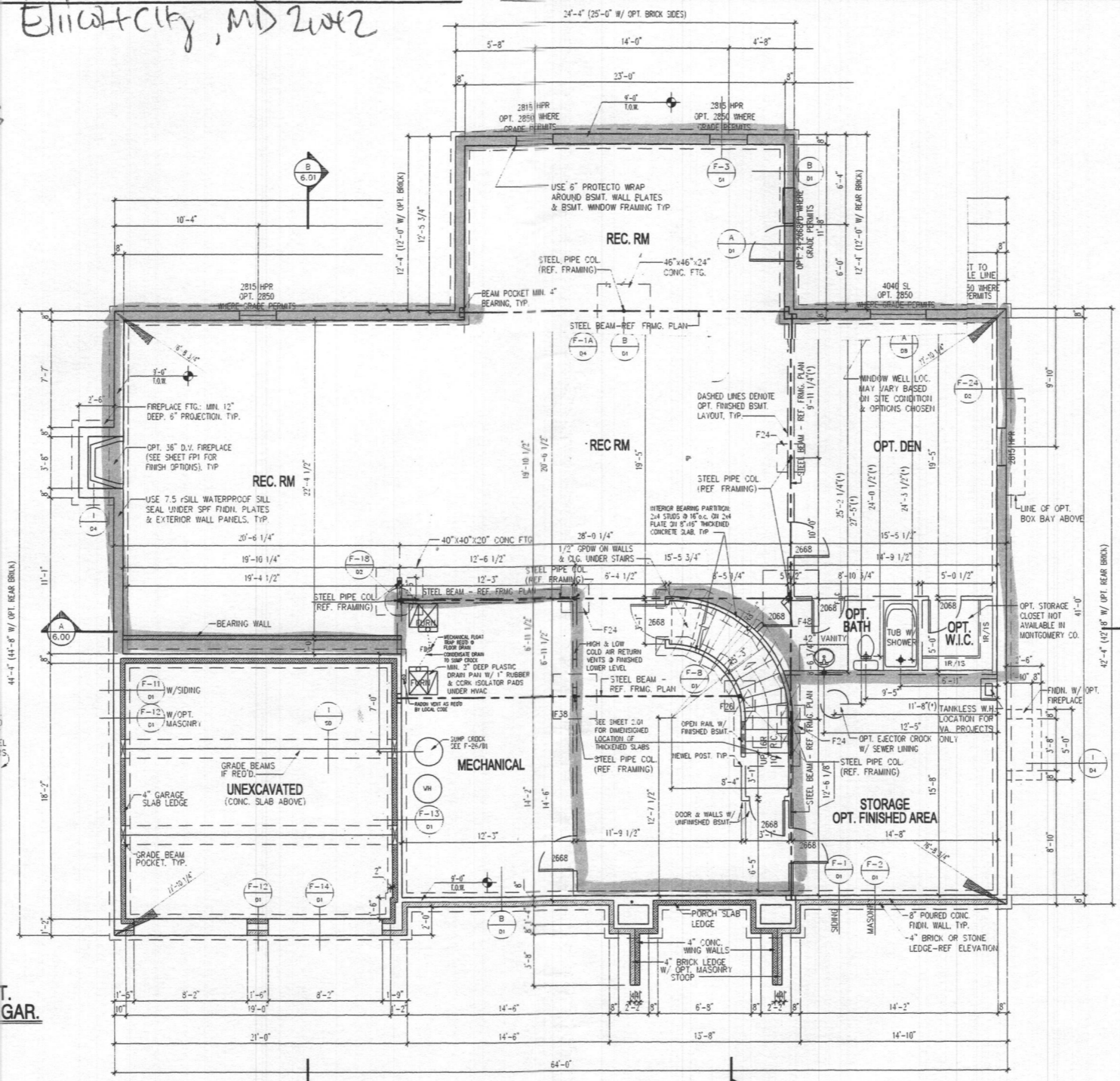
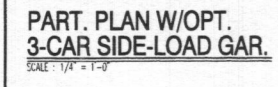
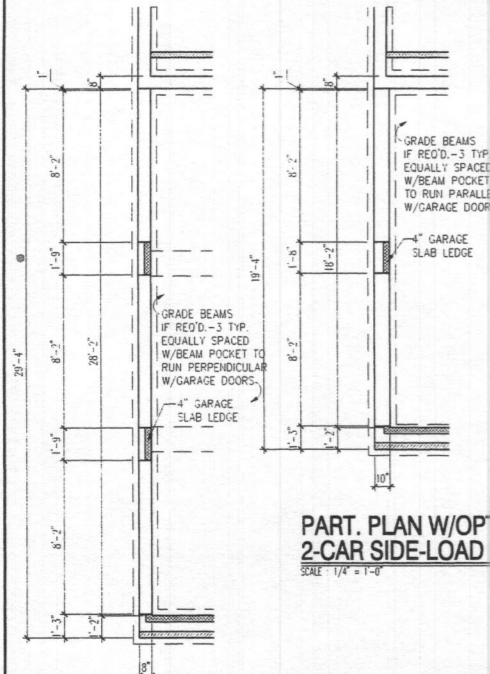
Walnut Creek - Lot 78  
 12206 Hayland Farm Way  
 Ellicott City, MD 21042

■ = Finished Areas of home

B19000470  
 HEALTH  
 DEPT

5 Bedrooms  
 6 Baths

NOTE:  
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**FOUNDATION / BASEMENT PLAN**

SCALE: 1/4" = 1'-0"  
 NOTE:  
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 3) PROVIDE 4" DIA. PERIMETER DRAIN TILE AROUND THE EXTERIOR FOOTING AND A 4" DIA. DIAGONAL DRAIN TILE FROM THE SUMP CROCK TO THE OPPOSITE FOUNDATION WALL. SLEEVE FOOTING AS REQUIRED.

NOTE:  
 (\*) - REFERENCE B/ D/1

CONCRETE COLUMN FOOTING SCHEDULE (f<sub>c</sub> = 3,000 psi)

NOTE: MAXIMUM ALLOWABLE SOIL BEARING PRESSURE = 1,500 PSF  
 REINFORCE FOOTINGS F38 & WIDER w/ #5 BARS @ 12" OC, EACH WAY, 3" CLEAR FROM BOTTOM OF FOOTING

ADJUSTABLE STEEL COLUMNS:

SCHEDULE 40 PIPE COLUMNS:

F24	=	24" x 24" x 12"
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P311 = 3" ø 11ga  
 P3511 = 3.5" ø 11ga  
 P411 = 4" ø 11ga

P340 = 3" ø S40 PIPE COL  
 P3540 = 3.5" ø S40 PIPE COL  
 P440 = 4" ø S40 PIPE COL  
 P540 = 5" ø S40 PIPE COL  
 P640 = 6" ø S40 PIPE COL

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FOUNDATION / BASEMENT PLAN  
 CRAFTMARK HOMES / OAKMONT

DRAWN BY: WSP  
 10/12/2005

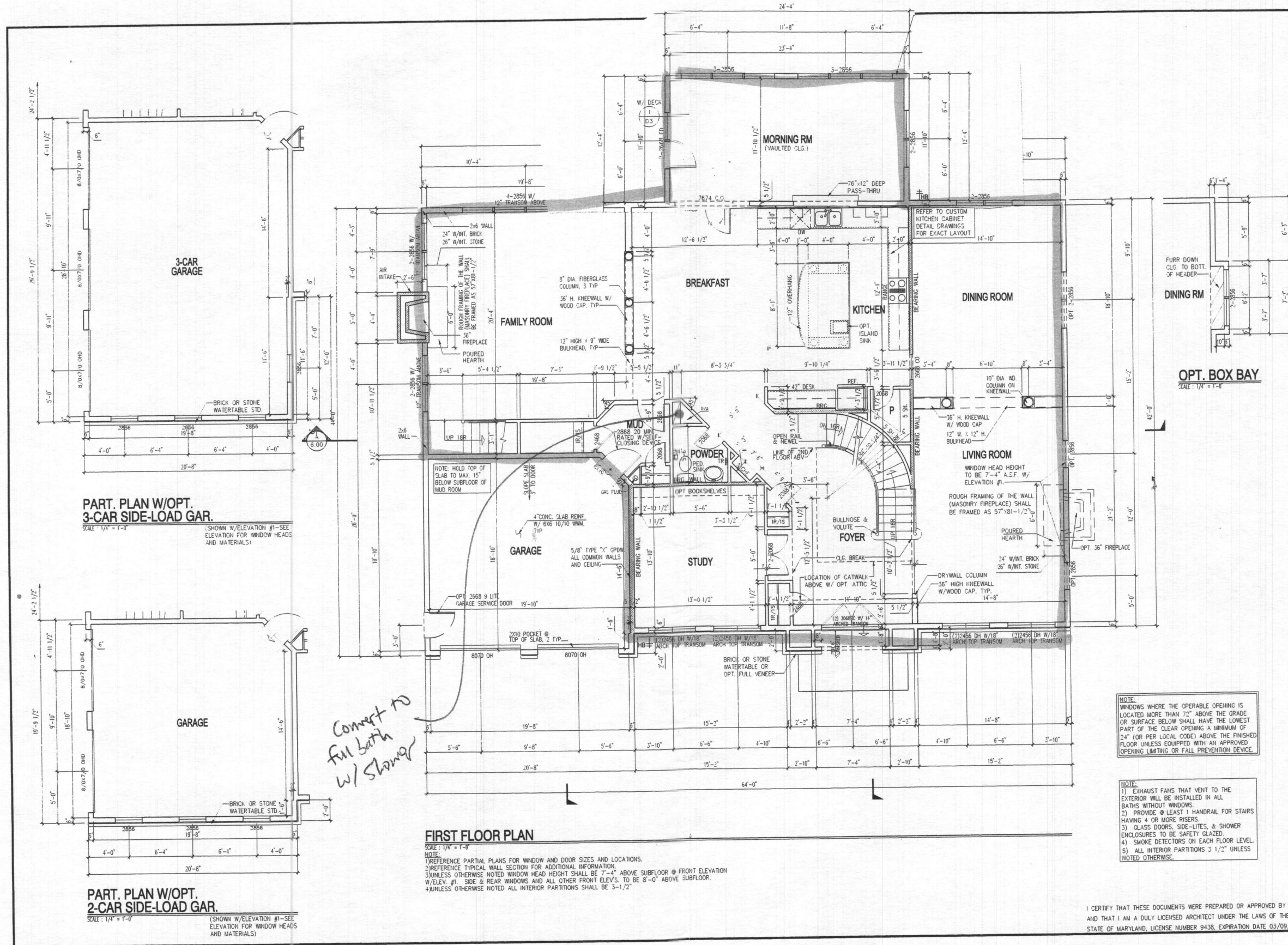
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REV. #1	08/02/15		
ACR #1001	08/10/15		
ACR #1003	08/22/15		
ACR #1006	01/28/17		

2.00

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= Finished Areas of Home



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**FIRST FLOOR PLAN**  
 CLIENT INFORMATION:  
**CRAFTMARK HOMES / OAKMONT**  
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REV. #	DATE
10012205	
REV. #4	09/02/2015
ACR #1001	08/21/2015
ACR #1003	09/02/2015
ACR #1006	01/28/2017

P2000200  
 SHEET NO.

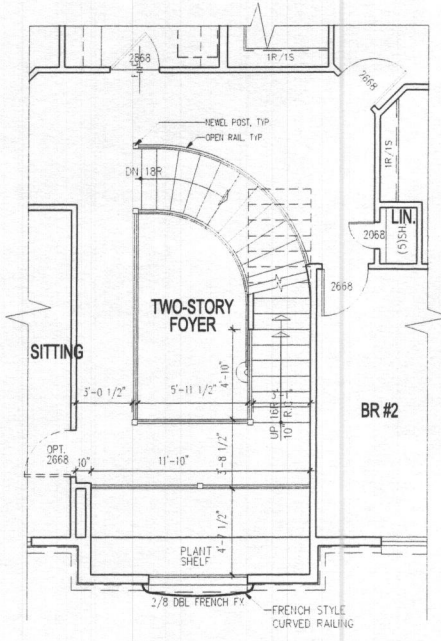
NOTE:  
 WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

NOTE:  
 1) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.  
 2) PROVIDE @ LEAST 1 HANDRAIL FOR STAIRS HAVING 4 OR MORE RISERS.  
 3) GLASS DOORS, SIDE-LITES, & SHOWER ENCLOSURES TO BE SAFETY GLAZED.  
 4) SMOKE DETECTORS ON EACH FLOOR LEVEL.  
 5) ALL INTERIOR PARTITIONS 3 1/2" UNLESS NOTED OTHERWISE.

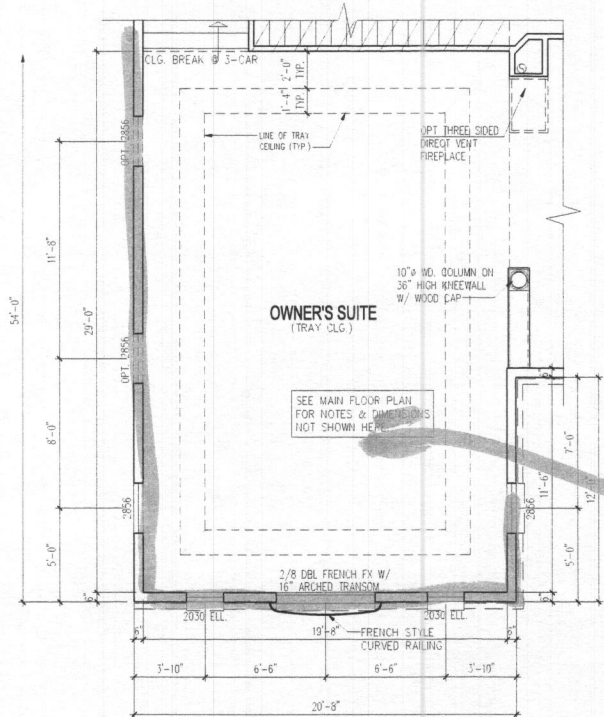
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3.00

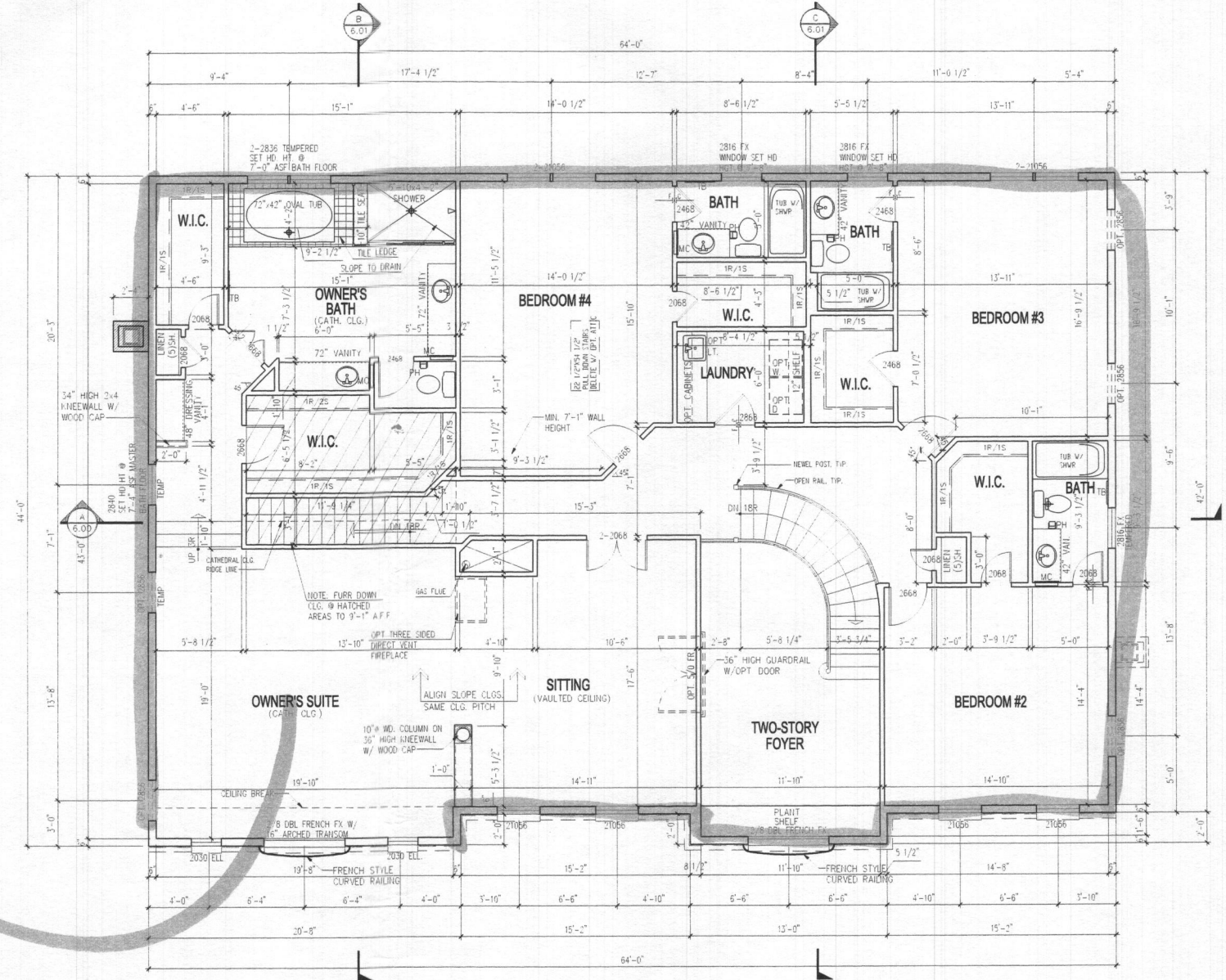
■ = Finished Areas of Home



**PART. PLAN W/OPT. ATTIC**  
 SCALE: 1/4" = 1'-0"



**PART. PLAN W/OPT. 3 CAR SIDE LOAD GARAGE**  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**NOTE:**  
 1) REFERENCE PARTIAL PLANS FOR WINDOW AND DOOR SIZES AND LOCATIONS.  
 2) REFERENCE TYPICAL WALL SECTION FOR ADDITIONAL INFORMATION.  
 3) UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 7'-4" ABOVE SUBFLOOR.  
 4) UNLESS OTHERWISE NOTED ALL INTERIOR PARTITIONS SHALL BE 3-1/2"

**NOTE:**  
 WASHING MACHINE WILL ALWAYS BE ON THE LEFT, DRYER WILL ALWAYS BE ON THE RIGHT EVEN IN THE REVERSE PLAN.

**NOTE:**  
 WINDOWS WHERE THE OPERABLE OPENING IS LOCATED MORE THAN 20" ABOVE THE GRADE OR SURFACE BELOW SHALL HAVE THE LOWEST PART OF THE CLEAR OPENING A MINIMUM OF 24" (OR PER LOCAL CODE) ABOVE THE FINISHED FLOOR UNLESS EQUIPPED WITH AN APPROVED OPENING LIMITING OR FALL PREVENTION DEVICE.

**NOTE:**  
 1) EXHAUST FANS THAT VENT TO THE EXTERIOR WILL BE INSTALLED IN ALL BATHS WITHOUT WINDOWS.  
 2) PROVIDE AT LEAST 1 HANDRAIL FOR STAIRS HAVING 4 OR MORE RISES.  
 3) GLASS DOORS, SIDE-LITES, & SHOWER ENCLOSURES TO BE SAFETY GLAZED.  
 4) SMOKE DETECTORS ON EACH FLOOR LEVEL.  
 5) ALL INTERIOR PARTITIONS 3 1/2" UNLESS NOTED OTHERWISE.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 9438, EXPIRATION DATE 03/09/17

**SECOND FLOOR PLAN**  
**CRAFTMARK HOMES / OAKMONT**  
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