



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 5/29/19

Permit No.: BI 9001724

Building Address: 13870 Mill Creek Ct
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Crawford Sub
 Section: _____ Area: _____ Lot: 12
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
 Proposed Use: SFD w/ propane tank
 Estimated Construction Cost: \$ 4,000
 Description of Work: install 1000 gallon in-ground propane tank
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: owner
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: DVR INC
 Address: 9720 Partington Woods Dr
 City: Columbia State: MD Zip Code: 21046
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Michelle Clancy
 Address: Po Box 310
 City: Perry Hall State: MD Zip Code: 21228
 Phone: 413-610-7574 Fax: _____
 Email: Michelle@AppliedAndApproved.com

Contractor Company: TECH AIR
 Contact Person: Dennis Fraga
 Address: 1560 A-D COTTON CENTER DR
 City: Baltimore State: MD Zip Code: 21227
 License No.: 81215
 Phone: 410-984-5081 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: CONTRACTOR
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

RECEIVED

MAY 29 2019

LICENSES & PERMITS DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIAL THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
 Email Address: Michelle @ AppliedAndApproved.com
 Title/Company: permits

Print Name: Michelle Clancy
 Date: 5/23/19

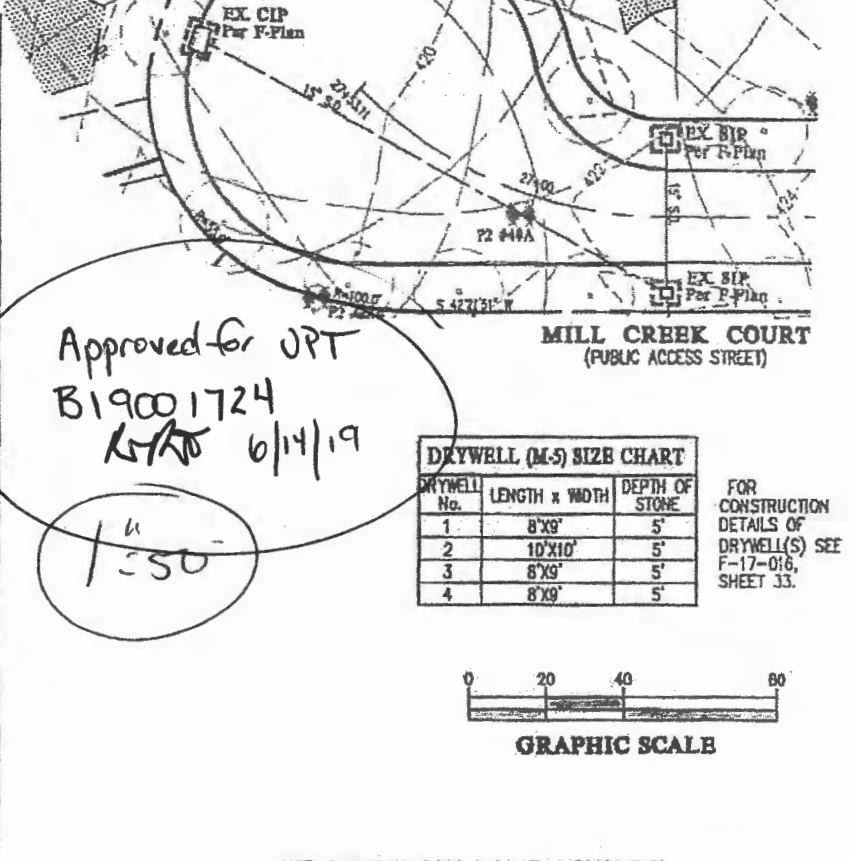
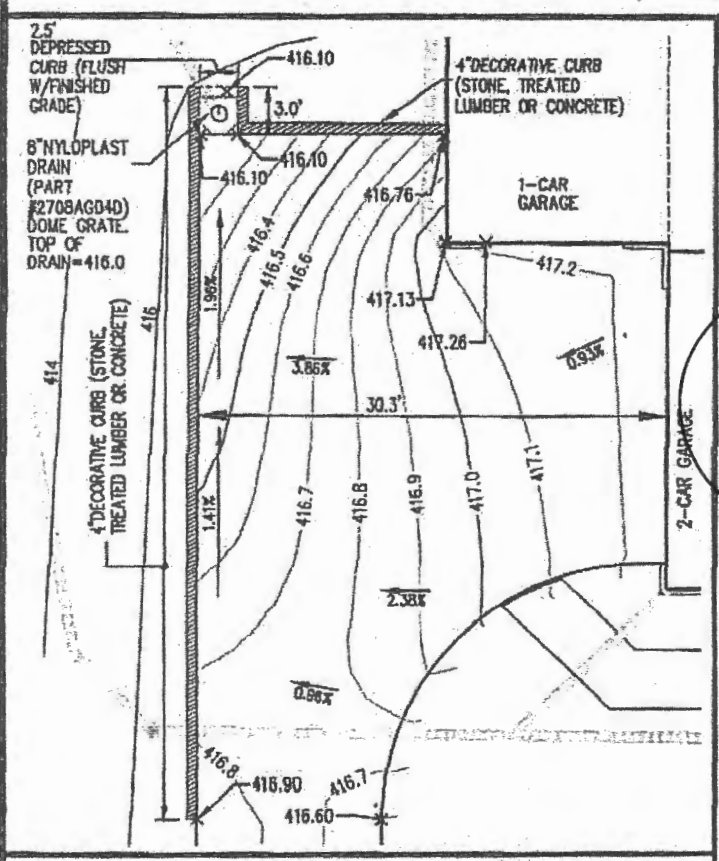
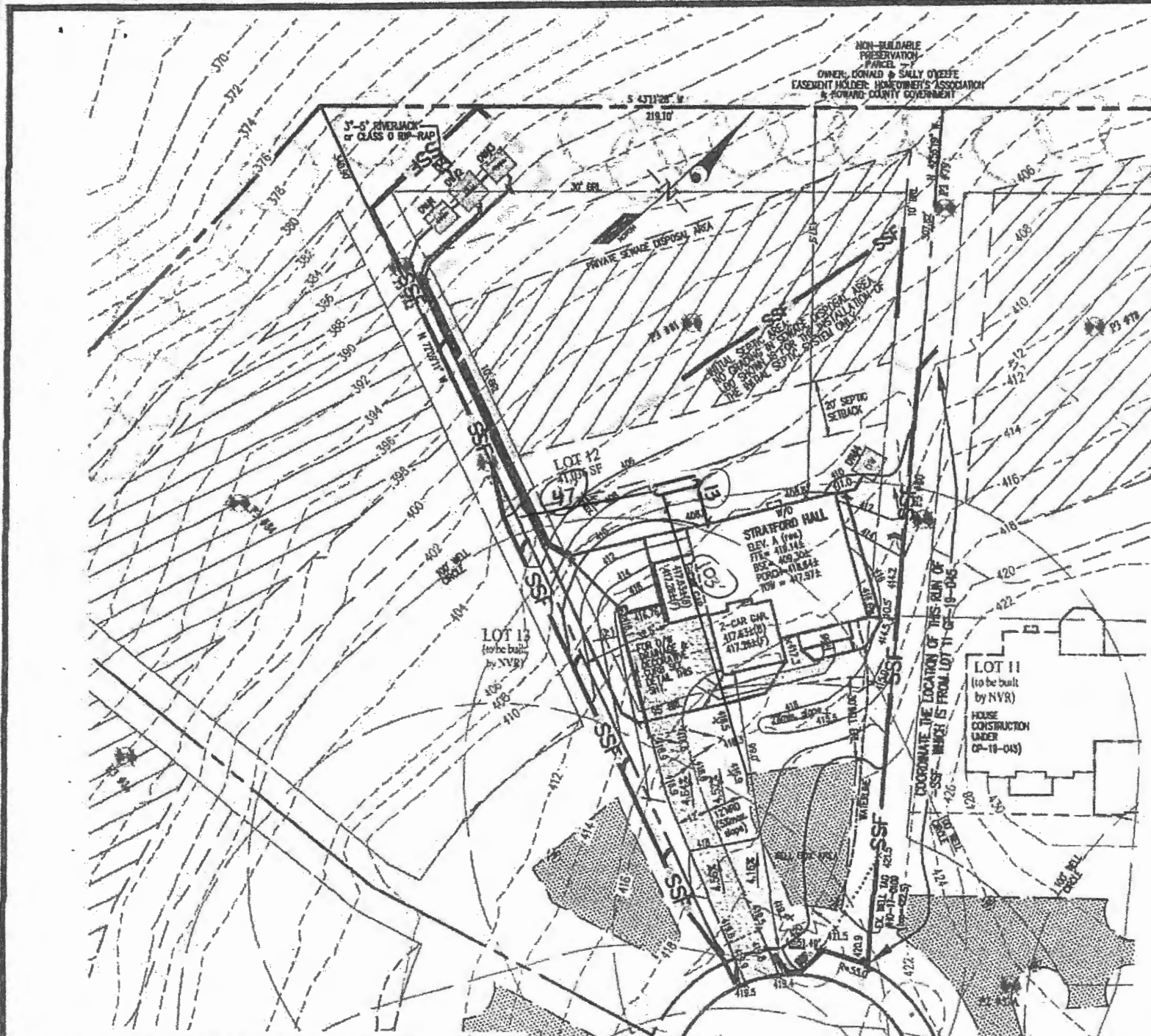
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>6/4/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$	<u>110.00</u>
Permit Fee	\$	<u>100</u>
Tech Fee	\$	<u>10</u>
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	<u>110.00</u>
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	<u>7186</u>



BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR:	CRAWFORD SUBDIVISION LOT 12 (13870 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.	17C
	DRN.	NVR INC.		ZONING	RR-DI
	CHK.	9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5856		TAX MAP/GRID	34&39-15
			DATE	APRIL 2	
			SCALE	1" =	
			SHEET	1	OF

B 19001724



HEALTH

Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

4/11/19
 Permit No.: **819001063**

Building Address: 15870 Mill Creek Ct.
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: CRAUFORD
 Section: _____ Area: _____ Lot: 12
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family home
 Estimated Construction Cost: \$ 230,000
 Description of Work: New 2 story "Stratford Hall" on A' with 2 car side garage and 1 car side attached garage, I finished lower level (Rec room, Bathroom)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Clat. Gagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: ccagle@NVRInc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units: <u>-</u>	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
 Email Address: Jim@DecaturbuildingServices.com
 Title/Company: AGENT NV Homes

Print Name: Jim Kerwin
 Date: 4/12/2019
RECEIVED
 APR 11 2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

LICENSES & PERMITS DIVISION	
Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$ <u>150</u>
Balance Due	\$
Check #	<u>211076</u>

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>15/6/19</u>	<u>Bernard</u>

Contingency Construction Start

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

13870 Mill Creek Court
 Lot 12

STRATFORD HALL

Health Dept.

B19001063

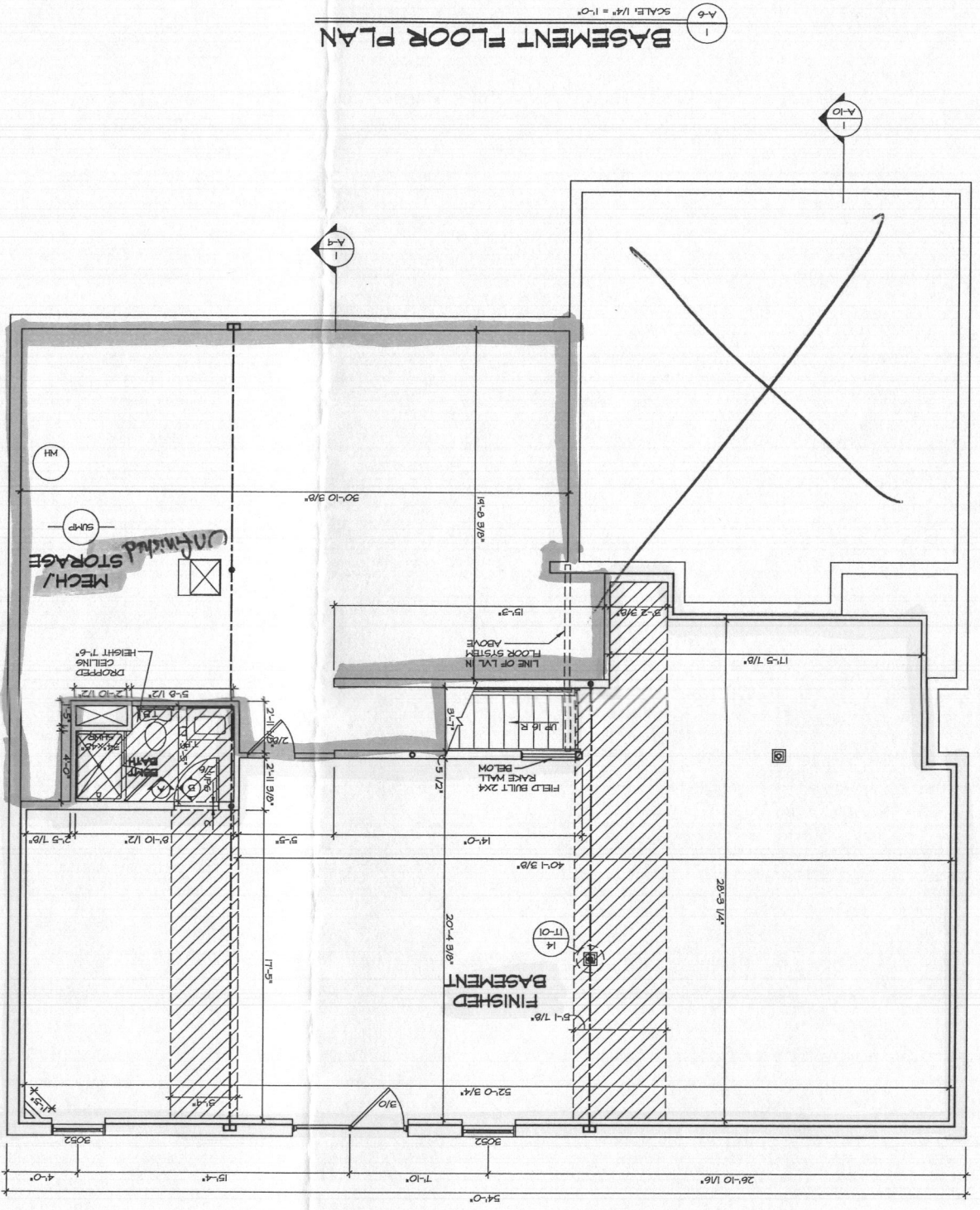


NVR, Inc.
 5285 Westview Drive, Suite 100
 Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STP. DWGS.		
SPEC SHEET	99-1	AD-1
ELEVATIONS	4	AD-1b
FOUNDATIONS	14	DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DR-2
PLUMBING	26	DR-3
BASEMENT FLOOR PLAN	27	DW-2
FIRST FLOOR PLAN	29	ET-1
SECOND FLOOR PLAN	32.1	ET-1b
BUILDING SECTIONS	34, 36	ET-1c
STAIR SECTIONS	38	ET-1e
KITCHEN - BATHS	41, 42, 43, 44	ET-1f
BASEMENT ELECTRICAL	45	ET-2
FIRST FLOOR ELECTRICAL	47	ET-3b
SECOND FLOOR ELECTRICAL	50	F-1
FIRST FLOOR FRAMING	52	FA-1
SECOND FLOOR FRAMING	54	FG-1
ROOF FRAMING	55, 56	FG-2
TRUSS BRACING	61	FG-4
WALL BRACING LAYOUT	63	FD-1
HVAC LAYOUT	67	FD-2
HVAC LAYOUT	68	FD-2b
HVAC LAYOUT	69	FD-3
HVAC LAYOUT	70	FP-1
HVAC LAYOUT	71	GB-1
HVAC LAYOUT	72	IT-1
HVAC LAYOUT	73	IT-1b
HVAC LAYOUT	74	IT-1c
		IT-2
		JT-1
		JT-3
		JT-3b
		KT-1
		RF-1
		RF-1b
		SEP-1
		SEP-2
		SEP-3
		SEP-4
		SP-1
		SP-2
		SP-3
		ST-1
		ST-2
		MB-1
		MB-2
		MD-1
		MD-2
		MD-3
		MB-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
	2151 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
	821 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
	1451 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	424 SF
MECHANICAL ROOM	245 SF
	724 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1451 SF
	5735 SF

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1
A-6
SCALE: 1/4" = 1'-0"
BASEMENT FLOOR PLAN

LEGEND

	BEAMS WALL
	NON BEAMS WALL
	INDICATES JOINTS FROM POINT-LOAD ABOVE
	JACKS
	BEAM HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	SEE PG. DETAILS FOR FRAMING CONNECTORS

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x4 WALLS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL WALLS TO BE 5 1/2" UNLESS OTHERWISE NOTED.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FINISHING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "T" SHEETS FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "VD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- SEE ARCHITECTURAL DETAIL SHEET "VD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11" UNLESS OTHERWISE NOTED.

GYPSUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEAMS WALLS AS REQUIRED.

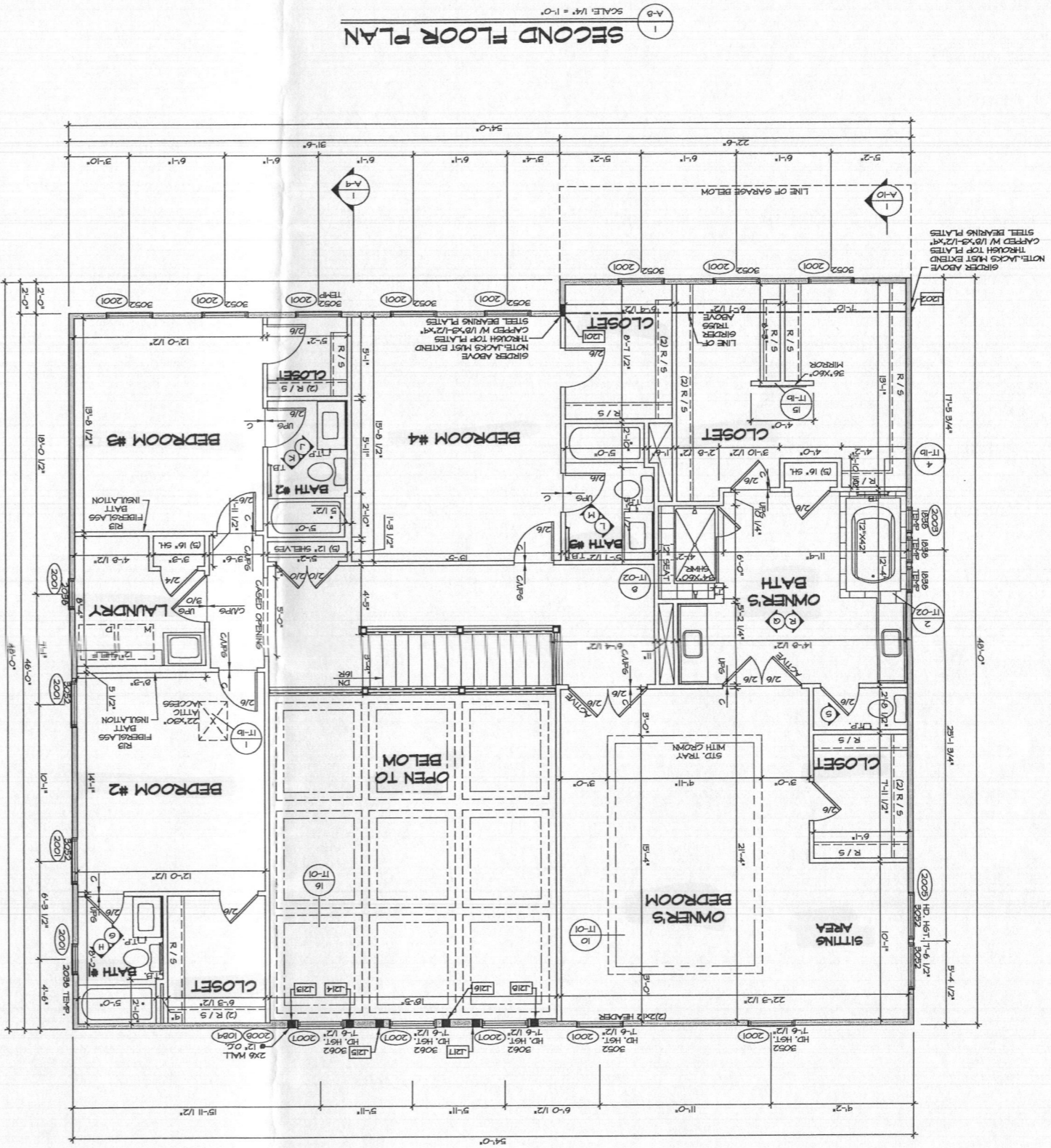
AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA.

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 50 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PENETRATION OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

SHEET NO. A-6 27	WORDS STRATFORD HALL DRAWING TITLE BASEMENT FLOOR PLAN OPTION DESCRIPTION	SET NO. LINGCO VERSION O1 DRAWN BY BIM DATE: OPTION	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NVR</td> </tr> <tr> <td style="text-align: center; font-size: small;"> NVR, Inc. 50th 100 5282 Frederick, MD 21703 </td> </tr> </table> <p style="font-size: x-small;"> The owner, architect/contractor, the engineer and other parties are not to be held responsible, directly or indirectly, for any errors or omissions in this drawing, nor are they to be held responsible for any claims, damages, or losses, of any kind, arising out of or from the use of this drawing, without the written consent of NVR, Inc. </p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 10%;">REV. NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">REMARKS</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">01/24/11</td> <td style="text-align: center;">TM - STANDARD DETAILS 3.0</td> </tr> </tbody> </table>	NVR	NVR, Inc. 50th 100 5282 Frederick, MD 21703	REV. NO.	DATE	REMARKS	1	01/24/11	TM - STANDARD DETAILS 3.0
NVR											
NVR, Inc. 50th 100 5282 Frederick, MD 21703											
REV. NO.	DATE	REMARKS									
1	01/24/11	TM - STANDARD DETAILS 3.0									



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	QTY	REMARKS
JACK - (6)	2x4 SPM GRADE	2008	
JACK - (4)	2x6 SPM GRADE	2007	
JACK - (4)	2x6 SPM GRADE	2014	
JACK - (4)	2x6 SPM GRADE	2015	
JACK - (4)	2x6 SPM GRADE	2016	
JACK - (4)	2x6 SPM GRADE	2017	
JACK - (4)	2x6 SPM GRADE	2018	
JACK - (4)	2x6 SPM GRADE	2019	
JACK - (4)	2x6 SPM GRADE	2020	
JACK - (4)	2x6 SPM GRADE	2021	
JACK - (4)	2x6 SPM GRADE	2022	
JACK - (4)	2x6 SPM GRADE	2023	
JACK - (4)	2x6 SPM GRADE	2024	
JACK - (4)	2x6 SPM GRADE	2025	
JACK - (4)	2x6 SPM GRADE	2026	
JACK - (4)	2x6 SPM GRADE	2027	
JACK - (4)	2x6 SPM GRADE	2028	
JACK - (4)	2x6 SPM GRADE	2029	
JACK - (4)	2x6 SPM GRADE	2030	
JACK - (4)	2x6 SPM GRADE	2031	
JACK - (4)	2x6 SPM GRADE	2032	
JACK - (4)	2x6 SPM GRADE	2033	
JACK - (4)	2x6 SPM GRADE	2034	
JACK - (4)	2x6 SPM GRADE	2035	
JACK - (4)	2x6 SPM GRADE	2036	
JACK - (4)	2x6 SPM GRADE	2037	
JACK - (4)	2x6 SPM GRADE	2038	
JACK - (4)	2x6 SPM GRADE	2039	
JACK - (4)	2x6 SPM GRADE	2040	

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (2) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - DRAPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
 - FRAMED AREAS INDICATE DROPPED CEILING. ALL UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE INTERIOR TRIM DETAILS.
 - SEE STANDARD DETAIL, CATALOG "TT" SHEETS) FOR APPLICABLE WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL, CATALOG "TT" SHEETS) FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE 1'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CAGED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM-HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- SEE FC DETAILS FOR FRAMING CONNECTORS
- ENGINEERING PAGE NUMBER

SHEET NO. **321**

MODEL **STRATFORD HALL**

DRAWING TITLE **SECOND FLOOR PLAN**

OPTION DESCRIPTION

SET NO. **1**

VERSION **01**

DATE

DESIGNED BY **DIW**

DRAWN BY **DIW**

DATE

OPTION

NVR

NVR, Inc. 528 Westview Drive, Suite 100, Frederick, MD 21751

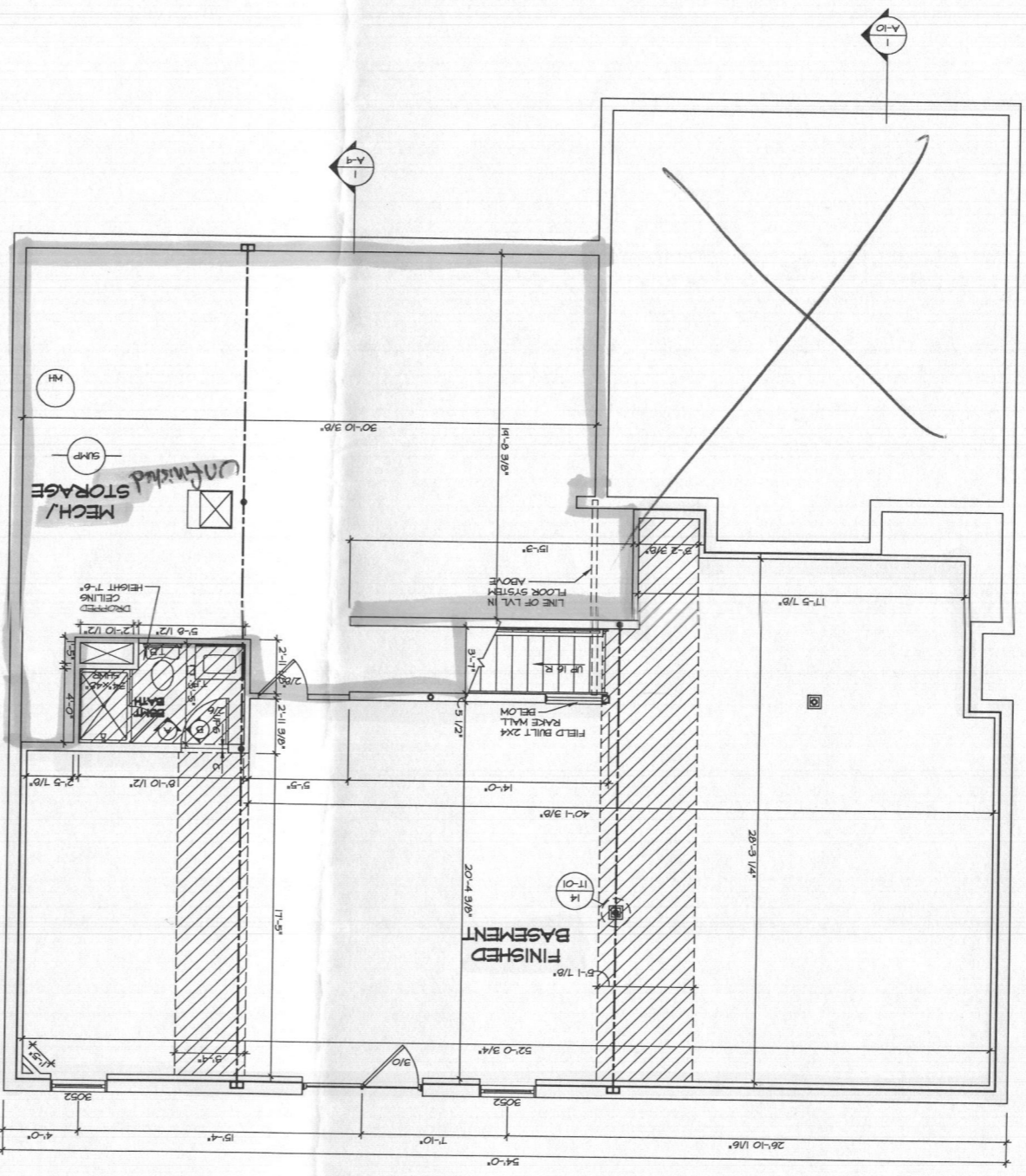
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REV. NO. DATE

1 01/24/11 TM - STANDARD DETAILS 3.0

REMARKS

BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1 A-6



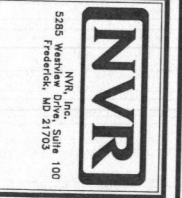
LEGEND

BEARING WALL	—
NON BEARING WALL	—
INDICATES BEARING FROM POINT-LOAD ABOVE	⊗
JACKS	⊕
BEAM-HEADER	⊖
PAD FOOTINGS	⊞
STEEL COLUMN	⊠
PORTAL FRAME	⊞
JOIST/TRUSS	⊞
LVL	⊞
ENGINEERING PAGE NUMBER	⊞

SEE PG DETAILS FOR FRAMING CONNECTORS

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL APPLICABLE.
 - WALL FRAMING LOCATIONS AND HEADERS SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM TABLE.
 - ALL WINDOWS HAVE 7'-0" (2" HEADER HEIGHT UNLESS OTHERWISE NOTED).
 - ALL CAVED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
- GYPSUM NOTES**
- AT GARAGE:
 5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARINGS WALLS AS REQUIRED.
- AT STAIRS:
 1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA.
- NOTES:**
- UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A HAZARD AREA OF 20 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PIPING, ELECTRICAL AND/OR HVAC TYPICALLY AN AREA.
 - 8'-0" OF CEILING SPACE ABOVE MECHANICAL PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

SHEET NO. 21	MODEL STRATFORD HALL	SET NO. IJG00
DRAWING TITLE BASEMENT FLOOR PLAN	VERSION 01	DRAWN BY BJM
OPTION DESCRIPTION	DATE	OPTION



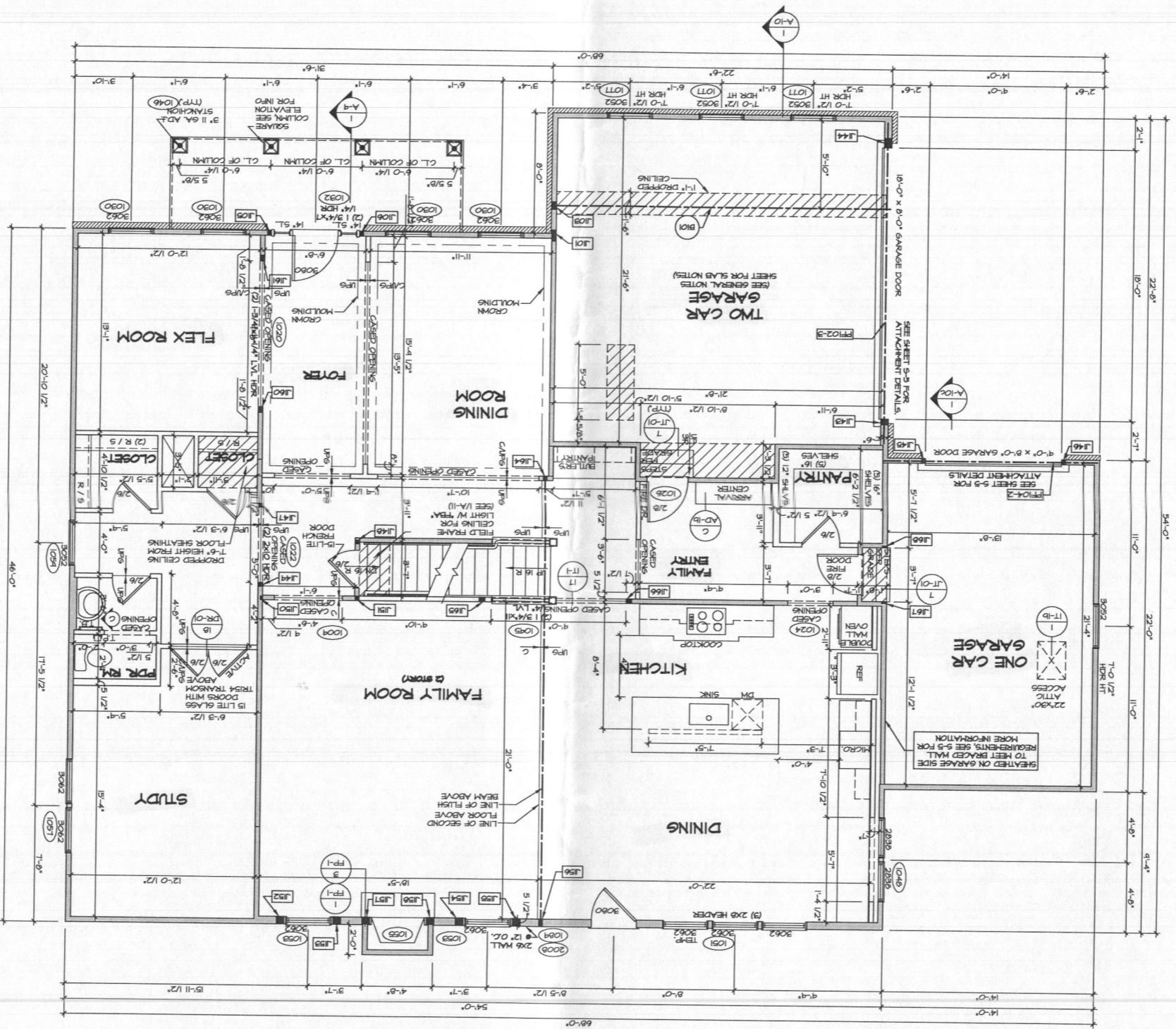
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REV. NO.	DATE	REMARKS
1	01/24/11	TH - STANDARD DETAILS 3-2

FIRST FLOOR PLAN

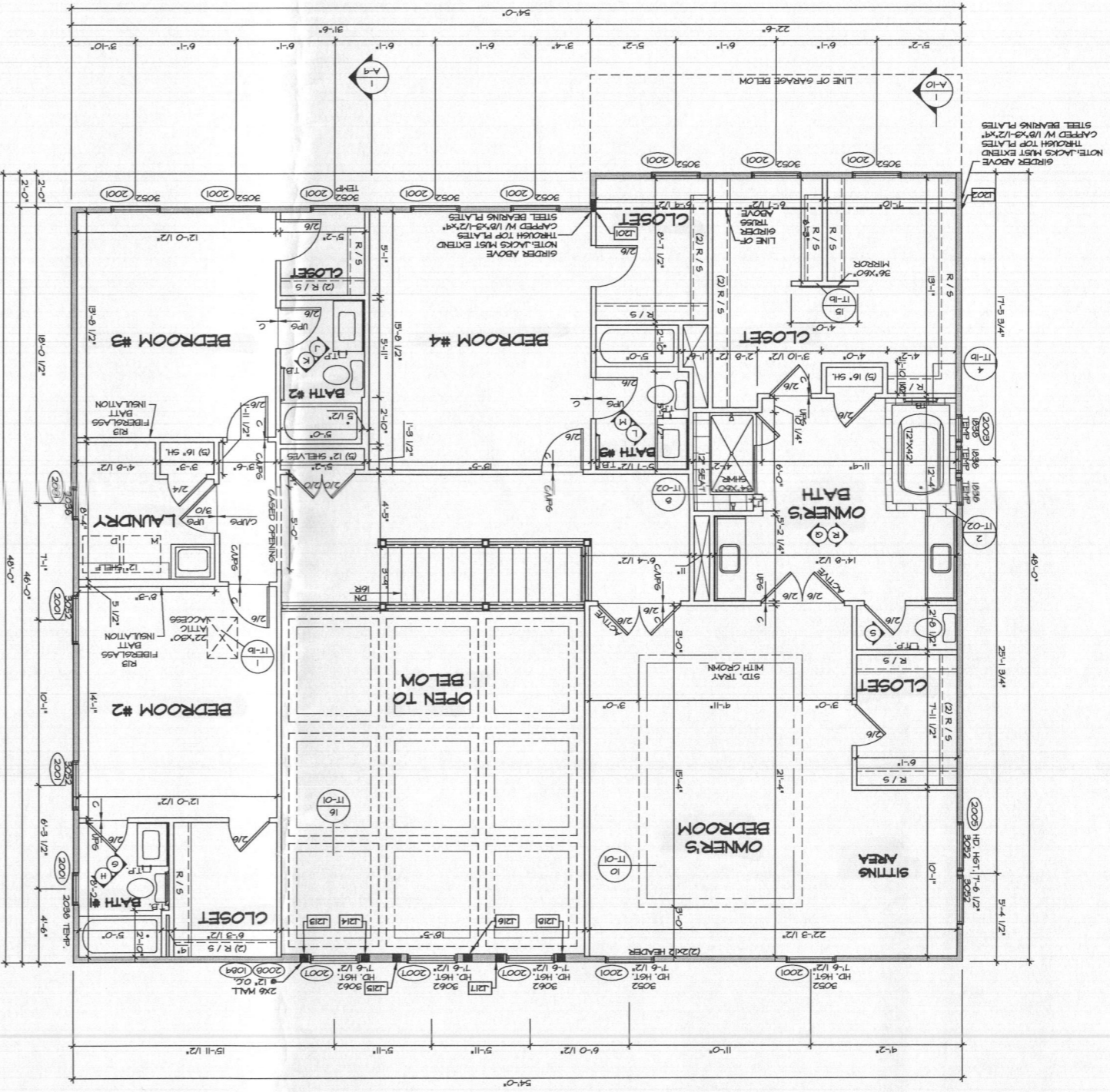
SCALE 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b



SHEET NO. A-7		MODEL STRATFORD HALL	
DRAWING TITLE FIRST FLOOR PLAN		SIT. NO. 1400	
OPTION DESCRIPTION		VERSION 01	
DATE:		DRAWN BY: EJM	
DATE:		OPTION	
 NVR, Inc. 5285 Frederick, MD 21753		NVR, Inc. 5285 Frederick, MD 21753	
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REMARKS		REMARKS	

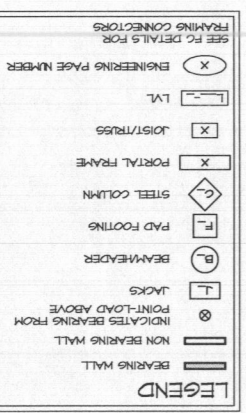
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1
A-B
SCALE: 1/4" = 1'-0"
SECOND FLOOR PLAN

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	QTY	REMARKS
J201	JACK - (6) 2x4 SPM	6	
J202	JACK - (4) 2x6 SFP #2 STUD	4	
J203	JACK - (4) 2x6 SFP #2 STUD	4	
J204	JACK - (4) 2x6 SFP #2 STUD	4	
J205	JACK - (4) 2x6 SFP #2 STUD	4	
J206	JACK - (4) 2x6 SFP #2 STUD	4	
J207	JACK - (4) 2x6 SFP #2 STUD	4	
J208	JACK - (4) 2x6 SFP #2 STUD	4	
J209	JACK - (4) 2x6 SFP #2 STUD	4	
J210	JACK - (4) 2x6 SFP #2 STUD	4	
J211	JACK - (4) 2x6 SFP #2 STUD	4	
J212	JACK - (4) 2x6 SFP #2 STUD	4	



FLOOR PLAN NOTES

- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- 2x6 WALLS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE PROPPED CEILING. ALL PROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE TRACED WALL DETAIL SHEET FOR SPECIAL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

SHEET NO. 321

MODEL STRATFORD HALL

DRAWING TITLE SECOND FLOOR PLAN

OPTION DESCRIPTION

REV. NO. DATE

REV. 1 01/24/11 TH - STANDARD DETAILS 3-2

REMARKS

DATE: 01/24/11

VERSION: 01

DRAWN BY: EJM

ST. NO. 14900

DATE: 01/24/11

OPTION

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