



HEALTH

# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2018 JUL 26 AM 11:11

Date Received: \_\_\_\_\_

Permit No.: **B18002742**

Building Address: 1817 Quarter Horse Dr  
City: Woodstock State: MD Zip Code: 21163  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: GP-18-70  
Census Tract: \_\_\_\_\_ Subdivision: Parkside  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 7  
Tax Map: 10 Parcel: 36 Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 3,899 acres

Existing Use: Vacant Lot  
Proposed Use: S.F.O.  
Estimated Construction Cost: \$ 817,390  
Description of Work: 2 story, 8 rooms, 4BR, 3BA, 2 1/2 BA, 2 FP, 2 car garage, approx box 13 rear deck, full unfinished basement.  
Occupant or Tenant: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: Eric Shepard + Sandra Sathin  
Address: 10548 German Rd  
City: Lauvel State: MD Zip Code: 20723  
Phone: 301-490-5317 Fax: \_\_\_\_\_  
Email: Sarah@cairncustomhomes.com

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: Sarah Taha  
Address: 10548 German Rd  
City: Lauvel State: MD Zip Code: 20723  
Phone: 301-490-5317 Fax: \_\_\_\_\_  
Email: Sarah@cairncustomhomes.com

Contractor Company: Cairn Custom Homes  
Contact Person: Sarah Taha  
Address: 10548 German Rd  
City: Lauvel State: MD Zip Code: 20723  
License No.: 7518  
Phone: 301-490-5317 Fax: \_\_\_\_\_  
Email: Sarah@cairncustomhomes.com

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
Area of construction (sq. ft.):	2 <sup>nd</sup> floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Roof:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> State Certified Modular
Roadside Tree Project Permit #	<input type="checkbox"/> Manufactured Home

Utilities
<b>Water Supply</b>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<b>Sewage Disposal</b>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Heating System</b>
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
<b>Sprinkler System:</b>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Sarah Taha  
Applicant's Signature  
Sarah@cairncustomhomes.com  
Email Address  
Project coordinator  
Title/Company

Sarah Taha  
Print Name  
7126 118  
Date  
**RECEIVED**  
JUL 26 2018

LICENSES & PERMITS  
DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>8/8/18</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>12513</u>

**COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/29/18

To: Dan Swinder - Plan review  
(Person's Name and Division)

From: Sarah Jahng - Cairn Custom Homes (301) 490-5317 RECEIVED  
(Your Name, Company Name and Telephone Number)

Subject: Project name shepard SEP 04 2018

Project site address 1817 Quader Horse Cr. PLAN REVIEW DIVISION

Permit # B180002742 SDP # QP-18-20

Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Cop ~~\_\_\_\_\_~~ (be specific).

Health Department Request     DPZ/ DED Request     Applicant's Request

Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_

Other \_\_\_\_\_

**Contact Person Information: (Required)**

Sarah Jahng  
Please Print Name

Telephone No: 301-490-5317

E-Mail Address: Sarah@Cairncustomhomes.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by 

Revision  
C: P + Z  
Health

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, September 11, 2018 1:50 PM  
**To:** 'Tony Fertitta'  
**Subject:** Plot Plan\_1817 Quarter Horse Drive

Hi Tony:

I received a revised plot plan for 1817 Quarter Horse Drive which shows the cleanout interfering with the proposed deck steps.

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)

### CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

# HEALTH DEPT

REVISED

Date: 9/24/18

Comments: B18002742

**ADD FULL FINISHED BSMT**



PROFESSIONAL CERTIFICATION  
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
License Number 914678  
Expiration Date: 6/30/2019

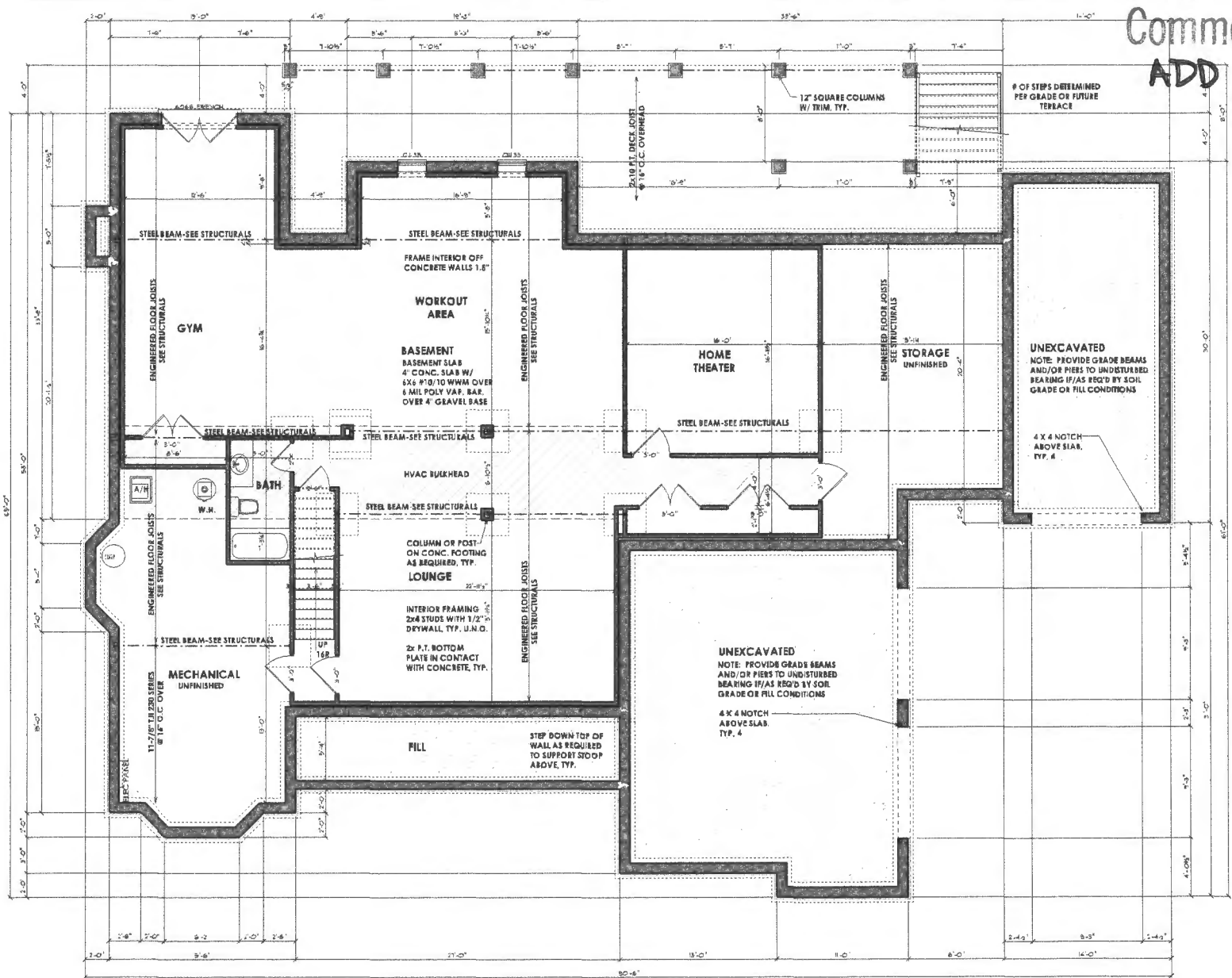
BY USING THESE PLANS - YOU ARE ACCEPTING THIS AGREEMENT.  
This is a license agreement to accept by using these plans. It is valid until the date of the next revision.  
These drawings are prepared by hand and may not be subject to the same level of accuracy as computer generated drawings. They are not intended for construction or other distribution that is not approved by the architect. The responsibility for any damage or loss is the responsibility of the user.

CONTACT:  
STEVE APPLER  
10646 Sherman Road  
Lanham, Maryland 20782  
Office: 201-496-0517  
cell: 201-496-0517  
www.cadworksheets.com



**Shepard Residence**  
PROPOSED RESIDENCE  
1817 Quarter Horse Drive, Woodstock, Maryland

REVISIONS  
1-18-18  
SCALE: 1/8" = 1'-0"  
**FOUNDATION**  
2.01  
PRINT DATE: Tuesday, August 21, 2018



- FOUNDATION NOTES**
- 2000 PPF MIN SOIL BEARING CAPACITY ASSUMED
  - BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPP #1/82 OR EQ. TYP THROUGH U.O.
  - BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.
  - ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, HW/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE.
  - FOUNDATION WALL MIN. THICKNESS 8" OR 10" WHERE STEEL WALL AT BRICK LEDGE EXCEEDS 12" HIGH
  - VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
  - MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL BOLT PLATE PIECES.
  - REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**TYPICAL 9'-0" HOUSE BOX FOUNDATION WALL**  
MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODES)  
MIN. 10"x24" CONTINUOUS FOOTING

**TYPICAL GARAGE FOUNDATION WALL**  
MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODES)  
MIN. 10"x24" CONTINUOUS FOOTING

**FULLY FINISHED BASEMENT**

SHEPARD 1817 QUARTER HORSE DR.  
HEALTH - REVISION





APPLICATION

HOWARD COUNTY

SERIAL NUMBER

47350

# PERMIT APPLICATION

DEPARTMENT OF INSPECTIONS, LICENSES & PERMIT  
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MARYLAND 21043

BUILDING ADDRESS (HOUSE NO., STREET, TOWN OR AREA)

1817 Quarter Horse Rd.

GRADING/SEDIMENT CONTROL  YES  NO

SDP #

DESCRIPTION OF WORK AUTHORIZED

Single family home  
with new attached  
3-car garage  
4 bedrooms

1817 Quarter Horse Rd., MD 21104

LOT NO.	PARCEL NO.	SEC.	AREA	BLOCK NO.	LIBER	FOLIO
7	56	NA	NA	23		

SUB DIVISION	ZONE	ZONE MAP	ELEC. DIST.	CENSUS TR.
Parkside	DC	10	3	1030

OWNER NAME AND ADDRESS: George W. McGehee Jr. McGEENEY JR  
422 W. Maple Rd. Lathicum, MD 21090  
PHONE NO. 251-1213

SIZE OF BLDG.	FRONT	DEPTH	HEIGHT

OCCUPANT'S NAME AND ADDRESS: George W. McGehee Jr.  
422 W. Maple Rd. Lathicum, MD 21090  
PHONE NO. June

TYPE OF BLDG.	AREA	VOLUME	ROOF
B. ROOMS ROOMS BATHS FIREPLACES			

ARCHITECT OR ENGINEER'S NAME AND ADDRESS: None  
PHONE NO.

FOOTINGS	FOUNDATION	S. WALLS

CONTRACTOR'S NAME AND ADDRESS: JGM Construction, Inc.  
422 W. Maple Rd. Lathicum, MD 21090  
PHONE NO. 251-3228

UTILITIES					
WATER/WELL	SEWER/SEPTIC	GAS	ELECTRICITY	TYPE OF HEAT	AC
				HP	

I have carefully examined and read this application and know the same is true and correct, and that in doing this work, all provisions of Howard County Ordinances and the State Laws of Maryland will be complied with, whether specified or not; and I will notify the Department of Inspections, and Permits twenty-four hours in advance when I am ready for the inspections called for elsewhere in the application; and that no work will be covered up until such inspections have been completed with.

EXISTING USE: UNCAST LOT  
PROPOSED USE: Single family Home

EST. CONSTRUCTION COST: \$150,000  
LICENSE NUMBER: 22308141  
PERMIT FEE:

SIGNATURE: President / Cont.  
DATE: 2/17/93

W/S CODE

### FOR OFFICE USE ONLY

DISTRICT IN FEET FROM R/W LINE TO FRONT BUILDING LINE \_\_\_\_\_  
SIDE YARD (DISTANCE IN FEET FROM SIDE BLDG. LINE TO SIDE PROPERTY LINE) \_\_\_\_\_  
TO SIDE BUILDING LINE \_\_\_\_\_  
DISTANCE IN FEET, REAR YD. REQUIRING SET \_\_\_\_\_  
BACK (CORNER LOT ONLY) \_\_\_\_\_  
SDP # \_\_\_\_\_

FUNCTION	DATE	SIGNATURE APPROVAL
ZONING/PLANNING	X	
SHA	X	
SEDIMENT/GRADING		
BUILDING OFFICIAL	X	
WATER & SEWER		
HEALTH DEPT.	X 4-8-93	F. Fournier
FIRE PROTECTION		
STORM WATER MGM.	X	

Check payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

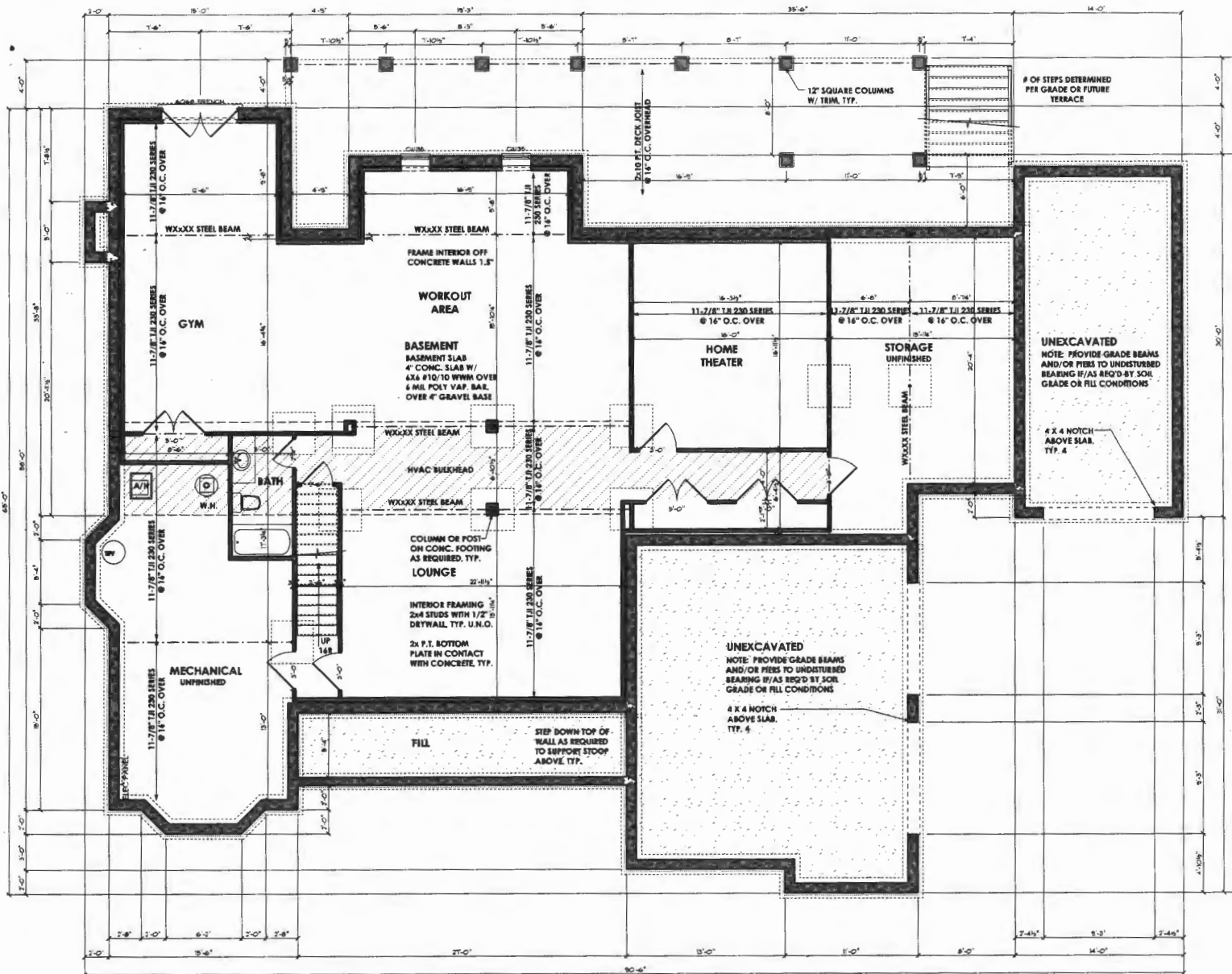
**CAUTION**  
To be used in conjunction with a permit placed on a building. Do not use for other purposes. One and only one permit must be applied for. No work before it is issued.

IMPORTANT: PLEASE SHOW ZIP CODES AND AREA CODES WHEREVER REQUIRED.

P-69-591

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
Distribution of Copies:  
White - Building Official  
Green - Planning & Zoning  
Yellow - Engineering  
Pink - Health Dept.  
Gold - S.H.A.

Basement will NOT be finished



- FOUNDATION NOTES**
- 1) 2000 PSF MIN SOIL BEARING CAPACITY ASSUMED
  - 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SFF #1/82 OR EQ. TYP. THROUGHOUT U.M.O.
  - 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.
  - 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
  - 5) FOUNDATION WALL MIN. THICKNESS 8" or 10" WHERE STEM WALL AT BRICK LEDGE EXCEEDS 12" HIGH
  - 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
  - 7) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
  - 8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**TYPICAL 9'-0" HOUSE BOX FOUNDATION WALL**  
 MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
 MIN. 10"x24" CONTINUOUS FOOTING

**TYPICAL GARAGE FOUNDATION WALL**  
 MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
 MIN. 10"x24" CONTINUOUS FOOTING

PROFESSIONAL CERTIFICATION  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
 License Number #14678  
 Expiration Date: 8/30/2018

BY USING THESE PLANS - YOU ARE ACCEPTING THIS AGREEMENT.  
 This is a license agreement not a contract. Using these plans to build a (1) house or (2) other structure.  
 These drawings are protected by federal copyright as recorded by Architecture, LLC, and are not for use in creating copies or derivative drawings. They are not released for publication or any distribution that is not approved by JRA, LLC. The associated working drawings are for use in building a (1) house.

**CONTACT:**  
 STEVE APPLER  
 15048 Gannon Road  
 Laurel, Maryland 20783  
 Office: 301-490-5317  
 Home: 718  
 www.corpactionhomes.com



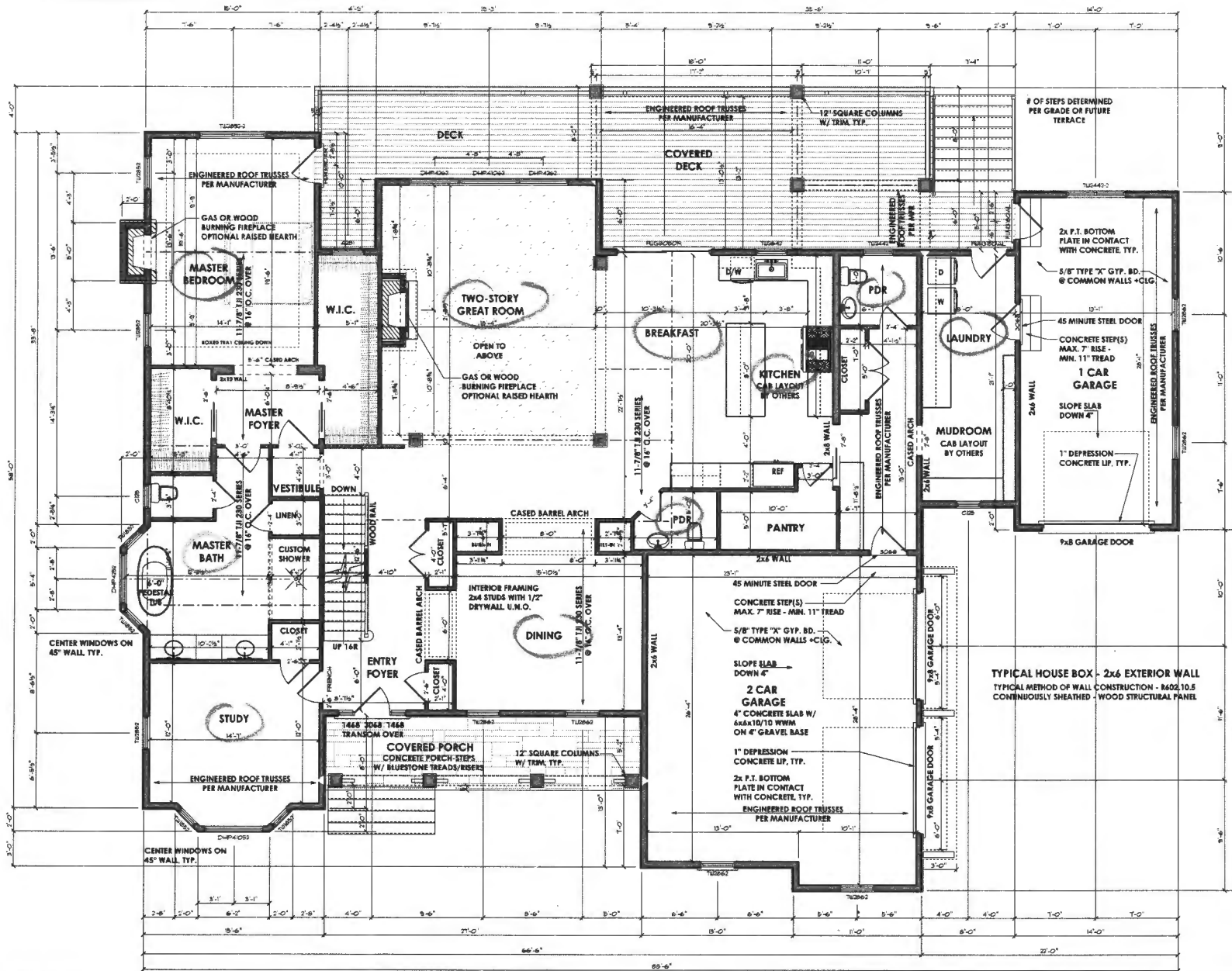
**Shepard Residence**  
 PROPOSED RESIDENCE  
 1817 Quarter Horse Drive, Woodstock, Maryland

REVISIONS  
 1-16-16  
 SCALE: 1/4" = 1'-0"  
**FOUNDATION**  
**2.01**  
 PRINT DATE: Monday, May 14, 2018

B1800274Z

HEALTH DEPT.

HEALTH DEPT.



**JONATHAN RIVERA**  
 (+410) 226-5745  
 JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
 License Number: 814678  
 Expiration Date: 4/30/2016

BY USING THESE PLANS - YOU ARE ACCEPTING THIS AGREEMENT.  
 This is a license agreement that is accepted by using these plans to build a (1) house.  
 These drawings are protected by federal copyright and are owned by Jonathan Rivera, LLC. They are not to be used in creating copies or reproducing drawings. They are not to be released for photocopy or any other means without the written approval of Jonathan Rivera, LLC. The associated working drawings are for use in building a (one) house.

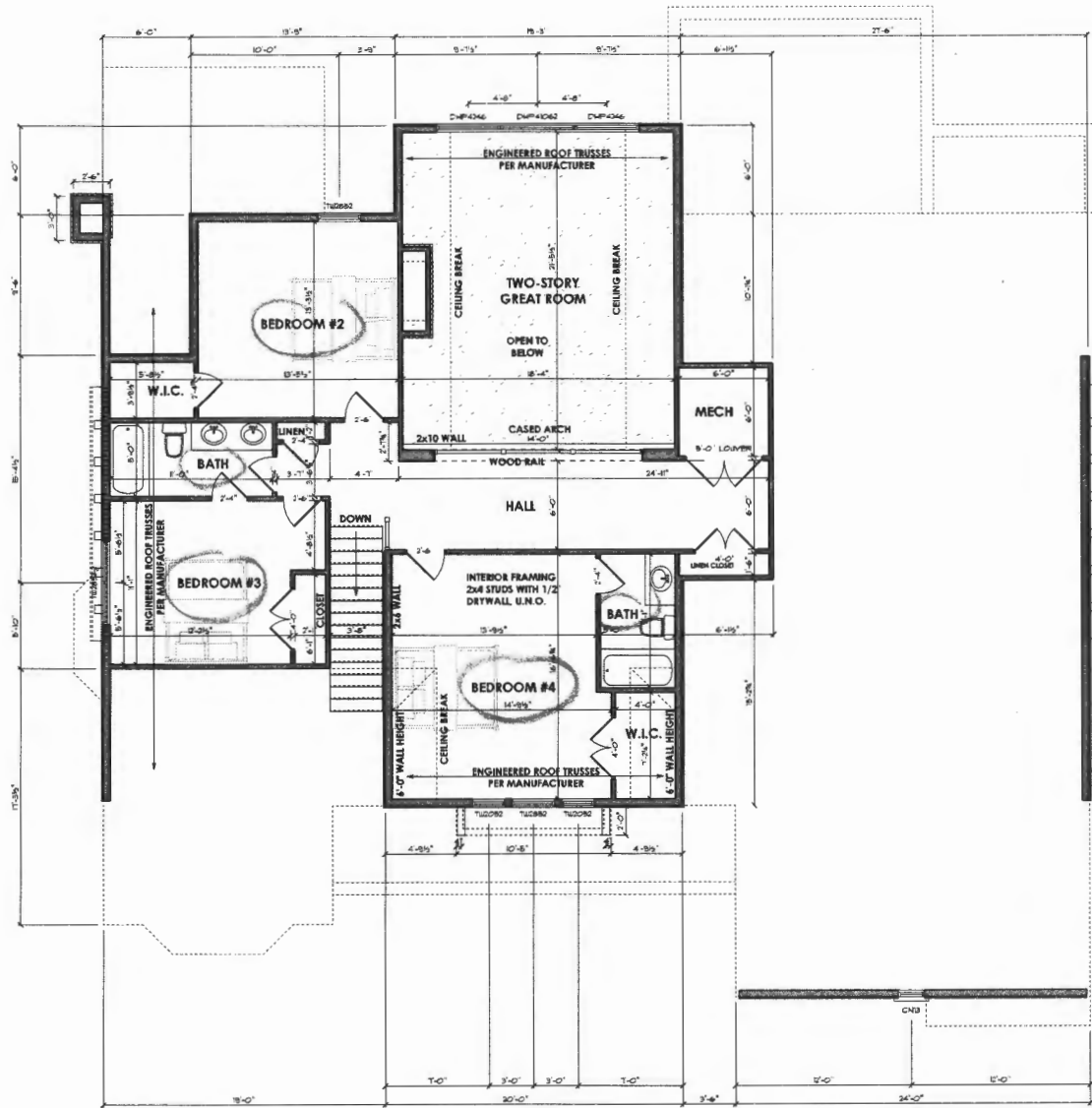
CONTACT:  
**STEVE APPLER**  
 10888 Common Road  
 Laurel, Maryland 20723  
 Office: 301-993-2317  
 Mobile: 410-519-7518  
 www.cadocinfo.com



# Shepard Residence

PROPOSED RESIDENCE  
 1817 Quarter Horse Drive, Woodstock, Maryland

REVISIONS  
 1-18-16  
 SCALE: 1/8" = 1'-0"  
**1ST FLOOR**  
**3.01**  
 PRINT DATE:  
 Monday, May 14, 2018



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
 TYPICAL METHOD OF WALL CONSTRUCTION - 8402.10.5  
 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

PROFESSIONAL CERTIFICATION  
 I certify that these documents  
 were prepared or approved  
 by me, and that I am a duly  
 licensed professional  
 architect under the laws of the  
 State of Maryland.  
 License Number #14670  
 Expiration Date: 6/30/2018

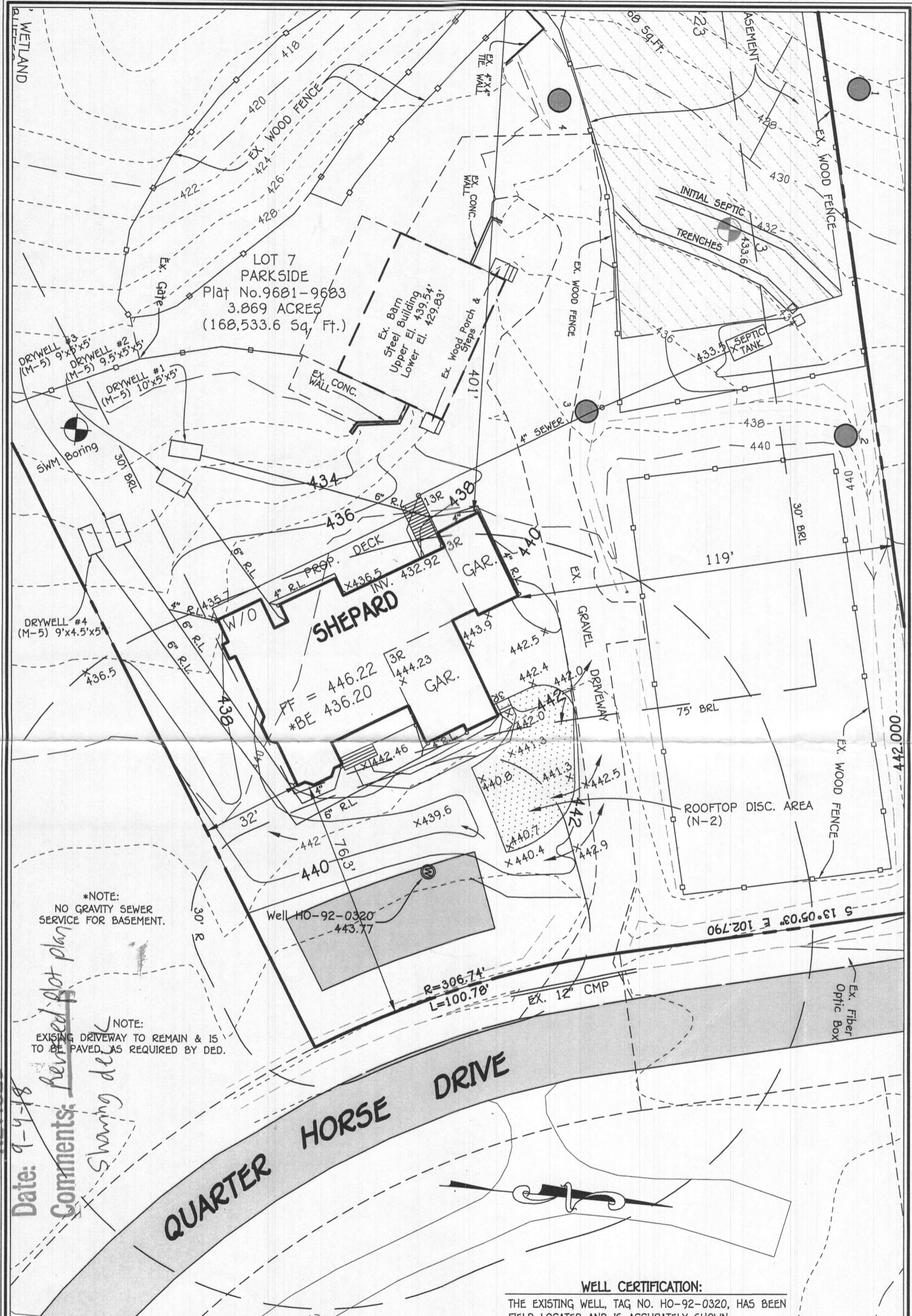
BY USING THESE PLANS - YOU ARE  
 ACCEPTING THIS AGREEMENT:  
 This is a license agreement you accept by  
 using these plans to build a(1) house  
 only.  
 These drawings are protected by federal  
 copyright as owned by Jonathan Rivera  
 LLC and are not to be used in creating copies  
 or derivative drawings. They are also not  
 intended for publication or any  
 distribution that is not approved by JRR  
 LLC. The associated working drawings are  
 for use in building a (one) house.

CONTACT:  
**STEVE APLER**  
 15840 Greenway Road  
 Laurel, Maryland 20723  
 Office: 301-480-8317  
 Home: 301-480-8318  
 www.cncconcrete.com



**Shepard Residence**  
 PROPOSED RESIDENCE  
 1817 Quarter Horse Drive, Woodstock, Maryland

REVISIONS  
 1-18-14 REVIEW  
 SCALE: 1/4" = 1'-0"  
**2ND FLOOR**  
**3.02**  
 PERM DATE:  
 Monday, May 14, 2018



\*NOTE:  
NO GRAVITY SEWER  
SERVICE FOR BASEMENT.

NOTE:  
EXISTING DRIVEWAY TO REMAIN & IS  
TO BE PAVED, AS REQUIRED BY DED.

WELL CERTIFICATION:  
THE EXISTING WELL, TAG NO. HO-92-0320, HAS BEEN  
FIELD LOCATED AND IS ACCURATELY SHOWN.

REVISED

Date: 9-9-18

Comments: Revised plot plan  
Showing deck

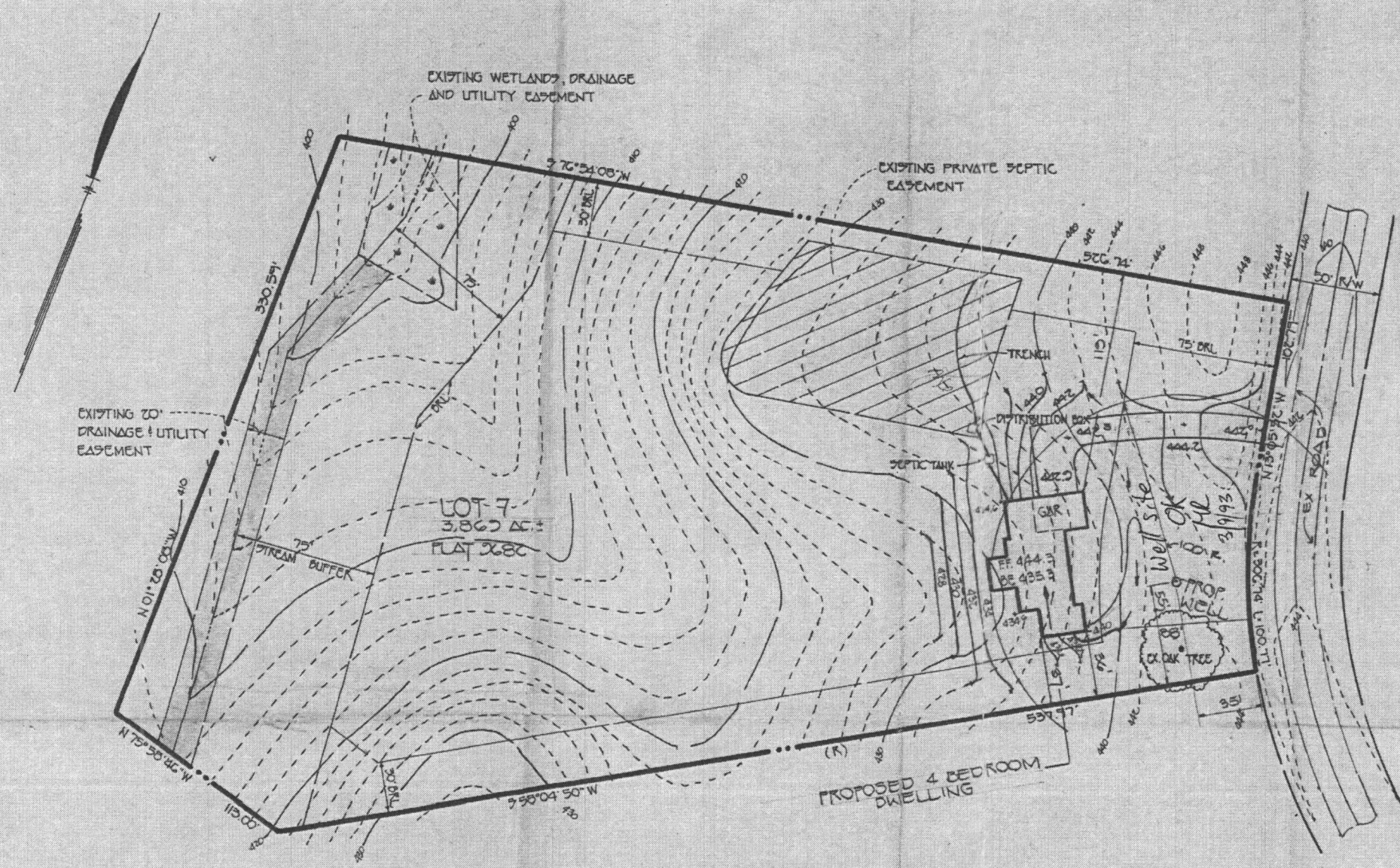
**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461 - 2855

**PERMIT SITE PLAN  
1817 QUARTER HORSE DRIVE**

TAX MAP # 10  
3RD ELECTION DISTRICT  
SCALE: 1"=30'

PARCEL: 36  
HOWARD COUNTY, MARYLAND  
DATE: AUG. 22, 2018

Drawing Name:



QUARTER HORSE ROAD

**GENERAL NOTES**

1. SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPT. NO. 1A44279
2. PROPOSED 1500 GALLON SEPTIC TANK.
3.
  - A. FIRST FLOOR ELEVATION: 444.3
  - B. BASEMENT ELEVATION: 436.3
  - C. INVERT OF SEPTIC SYSTEM AT HOUSE: 434.3
  - D. INVERT IN AT SEPTIC TANK: 436.3
  - E. INVERT OUT AT SEPTIC TANK: 436.3
  - F. PROPOSED GRADE OVER SEPTIC TANK: 436.3
  - G. INVERT AT DISTRIBUTION BOX: 436.0
  - H. EXISTING GROUND OVER DISTRIBUTION BOX: 436.0
4. LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
5. CONTRACTOR/BUILDER TO VERIFY ELEVATIONS IN FIELD BEFORE BEGINNING ANY CONSTRUCTION.

*4-6-93  
elev & location of  
FF.*

*J. Miller  
04/06/93*

PLOT PLAN  
TO ACCOMPANY APPLICATION FOR  
BUILDING PERMIT  
LOT 7

**PARKSIDE**

**FISHER, COLLINS & CARTER, INC.**

CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
7171 BALTIMORE NATIONAL PIKE, SUITE 100  
CLUETT CITY, MARYLAND 21042  
TELEPHONE: (410) 461-0333



TAX MAP 10 ZONING R PARCEL 36  
THIRD ELECTION DISTRICT

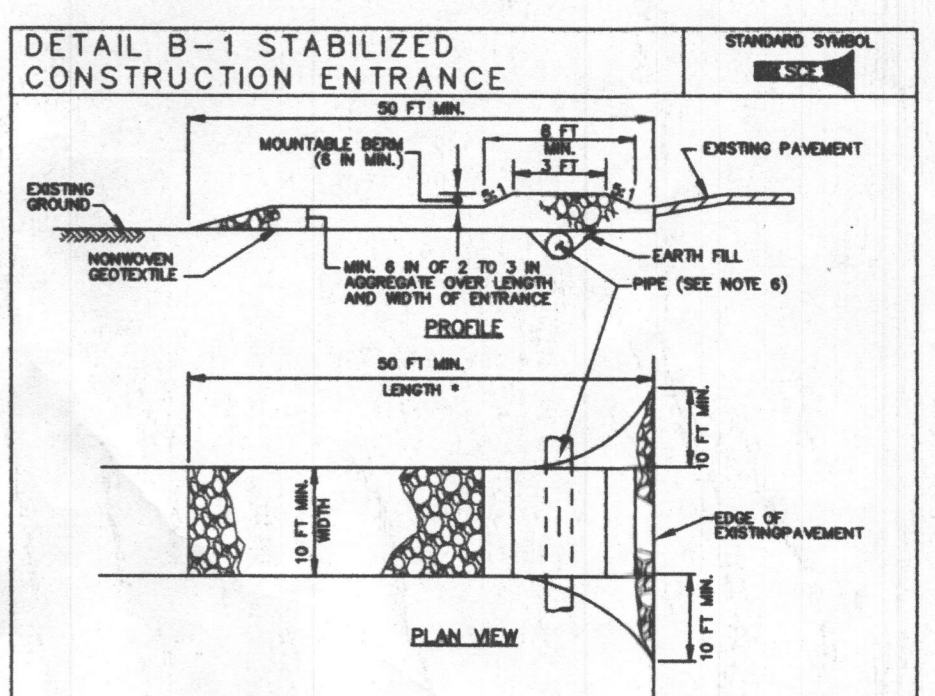
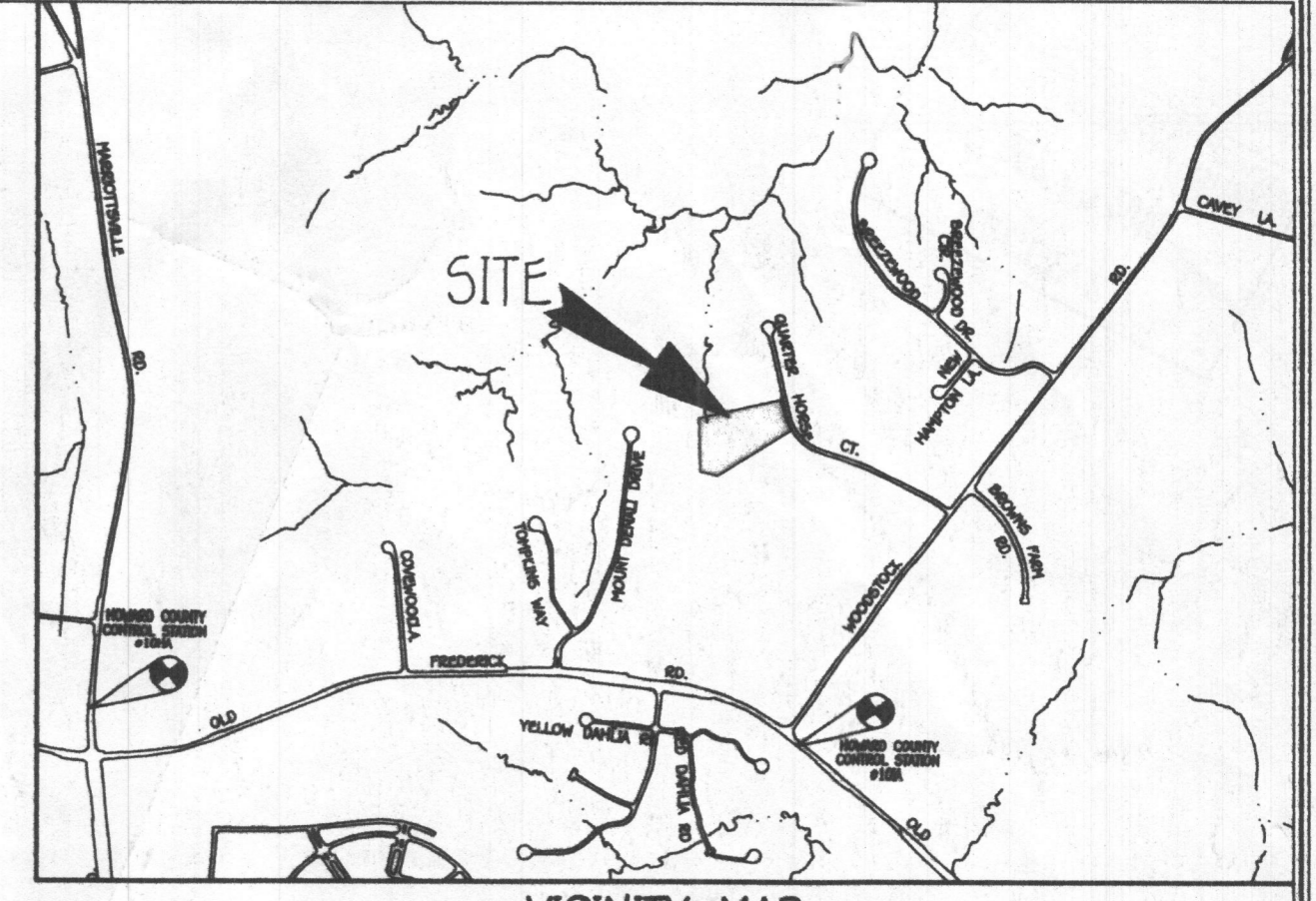
**GENERAL NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-311-1800 AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY (9866 UTILITY) AT 1-800-297-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
3. BOUNDARY SHOWN HEREON IS BASED ON RECORD PLAT NO. 9681 AND BOUNDARY SURVEY DONE BY FISHER, COLLINS & CARTER, INC. IN FEBRUARY, 2011.
4. TOPOGRAPHY SHOWN IS FIELD RUN BY FISHER, COLLINS & CARTER, INC. ON FEBRUARY 2010.
5. USED REFERENCE LINE: TYPICAL ROAD 150.
6. PROPOSED OFF. FILE NUMBER: N/A.
7. STORM WATER MANAGEMENT IS IN ACCORDANCE WITH THE H.S.G. STORM WATER DESIGN MANUAL, VOLUMES 1 & 2, REVISED 2009. NON-STRUCTURAL PRACTICES IN ACCORDANCE WITH CHAPTER 3 ARE BEING UTILIZED.
8. THIS PROPERTY IS LOCATED OUTSIDE THE METROPOLITAN DISTRICT. LOT 7 IS TO BE SERVED BY PRIVATE WELL AND SEPTIC SYSTEMS.
9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
10. THE SUBJECT PROPERTY IS ZONED RES-200 (PER CODE 11.01.01.01 CONSERVATION ZONING PLAN).
11. NO 100 YEAR FLOODPLAIN OR OTHER SPECIAL AREAS ARE SHOWN ON THIS PLAN. HOWEVER, THERE ARE WETLANDS AND A STREAM BUFFER IN THE EXTREME REAR PORTION OF THE PROPERTY (WELL BEYOND THE AREA OF PROPOSED DEVELOPMENT). SEE ENVIRONMENTAL ENGINEERING LETTER PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., DATED MAY 10, 2010, ON THIS PLAN.
12. THE PROPERTY HAS NO FOREST AND NO MANAGEMENT IS PROPOSED. THEREFORE THIS DEVELOPMENT IS EXEMPT FROM THE FOREST CONSERVATION ACT REQUIREMENTS.
13. A STORMWATER MANAGEMENT PLAN HAS BEEN DONE WHICH PROVED TO HAVE GOOD PERCOLATION AS NEEDED FOR THE PROPOSED STORMWATER MANAGEMENT DEVICES. DRYWELLS ARE BEING PROPOSED FOR THE HOUSE ROOFTOP AREA AND NON-ROOFTOP DISCONNECTION HAS BEEN DESIGNED FOR THE PROPOSED NEW DRAINAGE CONNECTION TO THE EXISTING GRASSY DRIVEWAY.
14. APPROVAL OF THIS SCHEDULED BSM DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED SUBMISSION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY ZONING REGULATIONS SHALL OCCUR AT THE SUBMISSION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN STAGES AND/OR RED-LINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS INCLUDING COMMENTS THAT MAY ALTER THE ORIGINAL SITE DESIGN AS THIS PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.

STORMWATER MANAGEMENT SUMMARY			
AREA ID.	ESD REQUIRED CU.FT.	ESD PROVIDED CU.FT.	REMARKS
SITE	449	450	DRYWELLS (N-5) & NON-ROOFTOP DISCONNECTION (N-2)
TOTAL	449	450	

SOILS LEGEND		
SOIL	NAME	CLASS
GqB	Glennville loam, 3 to 8 percent slopes	B
GqB	Glennville all loam, 3 to 8 percent slopes	C
GqB	Glennville-Cadesua all loam, 0 to 8 percent slopes	C
HqD	Honor-Barnetown sandy loam, 15 to 25 percent slopes, rocky	B

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
+ 362.5	SPOT ELEVATION
-55' -55'	SUPER SILT FENCE
---	WALKOUT BASEMENT
---	LIMITS OF DISTURBANCE
---	EROSION CONTROL MATTING
---	STONE CONSTRUCTION ENTRANCE



- CONSTRUCTION SPECIFICATIONS**
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SIZE. USE MINIMUM LENGTH OF 50 FEET (50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SIZE TO FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SIDE UNDER THE ENTRANCE. MAINTAIN PROPER DRAINAGE PROTECT FROM CLOGGING. USE WITH A MOUNTABLE BERM WITH 6 IN. SLOPE AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. USE 6 IN. DIA. PIPE WITH 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SIZE IS NOT LOCATED AT A HIGH SPOT.
  3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
  4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SIZE.
  5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MAINTAIN BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY TRUCKS, TRACTORS, AND/OR OTHER HEAVY TRAFFIC. MAINTAIN ROADWAY TO REMOVE AND TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.
- MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE

REVISED  
Date: 9/24/18  
Comments: B18002742  
ADD FULL FINISHED BSMT

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT."

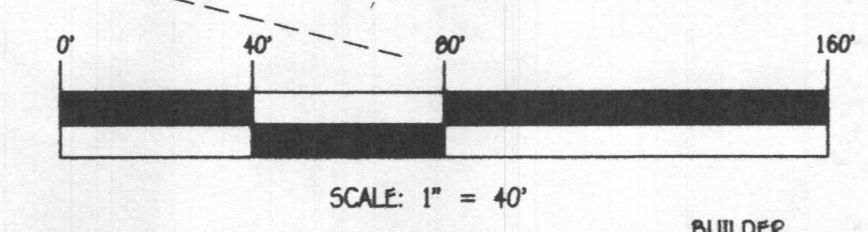
*Richard K. Kasper* 7/10/18  
SIGNATURE OF DEVELOPER DATE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/19.

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

*Aldo M. Vitucci* 7/10/18  
ALDO M. VITUCCI DATE

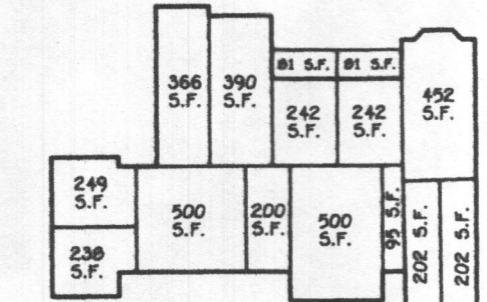


OWNERS: SANDRA G. & ERIC K. SHEPARD  
1835 QUARTER HORSE DRIVE  
WOODSTOCK, MARYLAND 21163

BUILDER: CABRI CUSTOM HOMES  
CUSTOM HOMES 10548 GORMAN ROAD  
LAUREL, MARYLAND 20723  
410-810-7302

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

APPROVED: *John R. Volante* 7/17/18  
HOWARD COUNTY CONSERVATION DISTRICT DATE

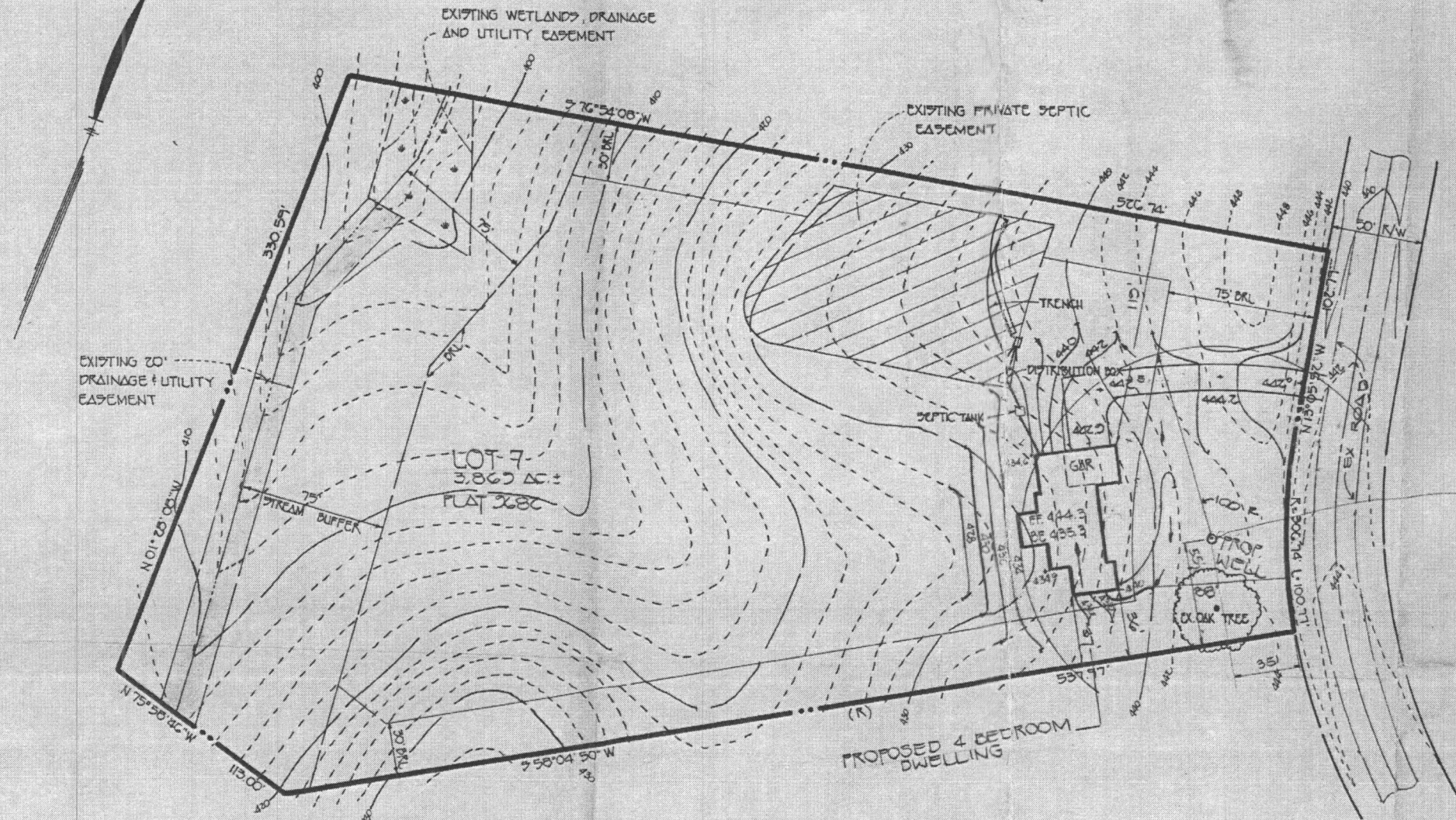


HOUSE DRAINAGE AREAS  
SCALE: 1" = 40'

GRADING PLAN  
**1817 QUARTER HORSE DRIVE**

TAX MAP # 10 PARCEL: 36  
3RD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: JULY 18, 2018 SHEET 1 OF 2





QUARTER HORSE ROAD

*Proposed Well Not Existing Well*

**GENERAL NOTES**

1. SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPT. NO. 14427D
2. PROPOSED 1500 GALLON SEPTIC TANK.
3.
  - A. FIRST FLOOR ELEVATION: 444.3
  - B. BASEMENT ELEVATION: 435.3
  - C. INVERT OF SEPTIC SYSTEM AT HOUSE: 437.0
  - D. INVERT IN AT SEPTIC TANK: 437.0
  - E. INVERT OUT AT SEPTIC TANK: 437.2
  - F. PROPOSED GRADE OVER SEPTIC TANK: 435.5
  - G. INVERT AT DISTRIBUTION BOX: 437.0
  - H. EXISTING GROUND OVER DISTRIBUTION BOX: 435.0
4. LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
5. CONTRACTOR/BUILDER TO VERIFY ELEVATIONS IN FIELD BEFORE BEGINNING ANY CONSTRUCTION.

2.5  
X.3

*3'-3/8"*  
*8'-1/2"*  
*16"*

PLOT PLAN  
TO ACCOMPANY APPLICATION FOR  
BUILDING PERMIT  
LOT 7

PARKSIDE



TAX MAP 10 ZONING R PARCEL 36  
THIRD ELECTION DISTRICT HOWARD COUNTY

FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
7171 BALTIMORE NATIONAL PIKE, SUITE 100  
ELICOTT CITY, MARYLAND 21042  
TELEPHONE: (410) 461-2525  
FAX: (410) 750-3734

Parkside Lot 7