



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: _____

Permit No.: BF1002351

Building Address: 7395 Cedar Avenue
 City: Jessup State: MD Zip Code: _____
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: _____ Tax Map: _____ Parcel: _____

Existing Use: Commercial
 Proposed Use: _____
 Estimated Construction Cost: \$ 20000
 Description of Work: Exterior Patio Only

Occupant/Tenant Name: Shyray Holdings LLC
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Enid Gupta
 Address: 7395 Cedar Avenue
 City: Jessup State: _____ Zip Code: _____
 Phone: 913-244-6189 Fax: _____
 Email: enidg@freightbuilt.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: MD Zip Code: 21730
 Phone: 413-954-6189 Fax: _____
 Email: enidg@freightbuilt.com

Contractor Company: TRIDENT BUILDERS
 Contact Person: Brendan McCloskey
 Address: 341 E East Avenue
 City: altimore State: MD Zip Code: 21230
 License No.: 02310637
 Phone: 413-954-6189 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor: <u>4200</u>	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.): <u>1000</u>	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____ Print Name: Brendan McCloskey
 Email Address: b.mccloskey@trident-builders.com Date: 8.6.19
 Title/Company: TRIDENT BUILDERS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee	\$
State Highways			Front: _____	Permit Fee	\$
Building Officials			Rear: _____	Tech Fee	\$
PSZA (Zoning)			Side: _____	Excise Tax	\$
PSZA (Engineering)			Side St.: _____	PSFS	\$
Health	<u>8/19/19</u>	<u>Review Not Required - H.O.</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	Guaranty Fund	\$
			Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Add'l per Fee	\$
			Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total Fees	\$
			Lot Coverage for New Town Zone:	Sub- Total Paid	\$
			SDP/Red-line approval date:	Balance Due	\$
				Check	# <u>5295</u>



INTREGUE

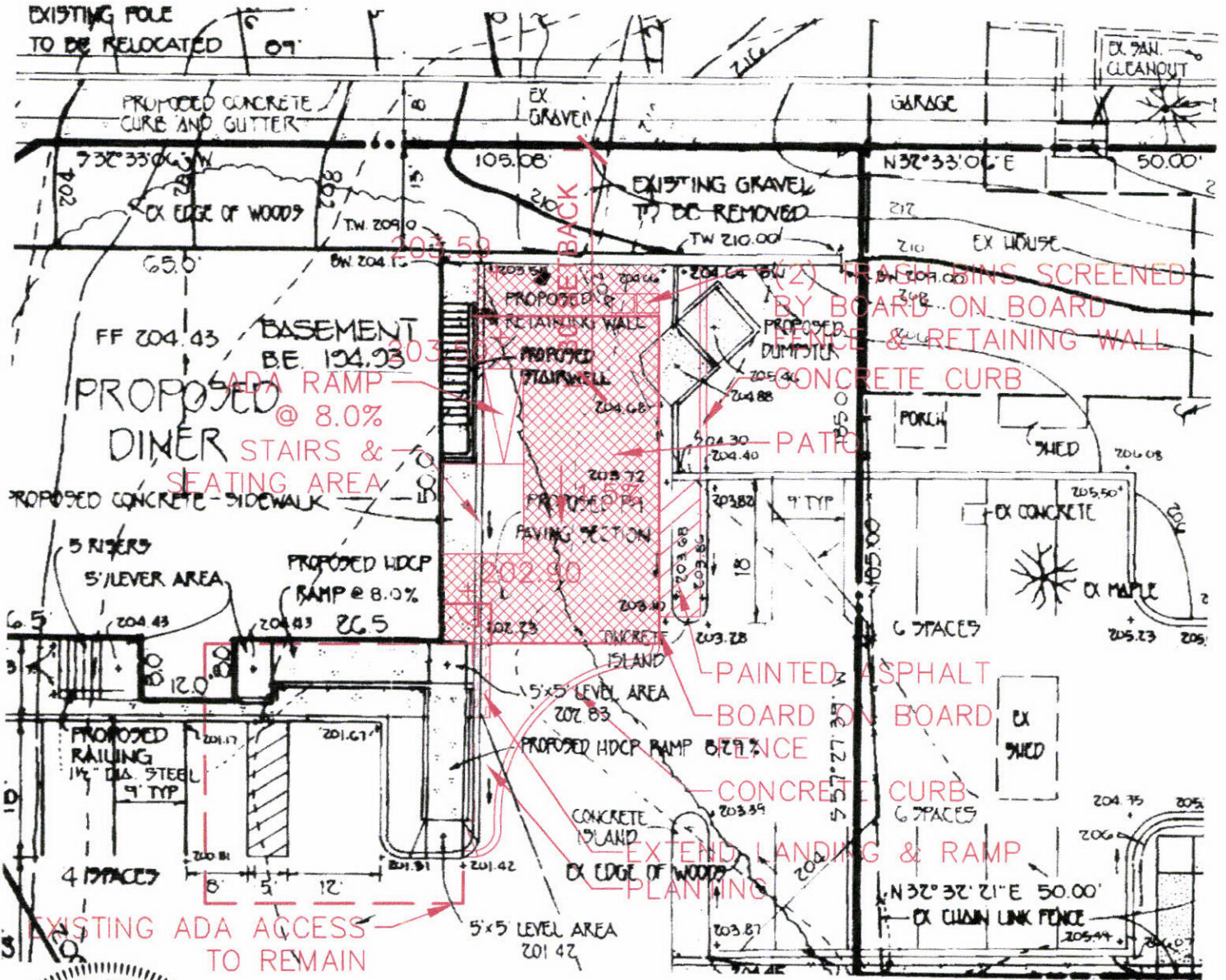
LANDSCAPE ARCHITECTURE

RFI# 2

410-240-9040

5668 FURNACE AVENUE, UNIT A, ELK RIDGE, MARYLAND 21075

www.intreguedesigns.com

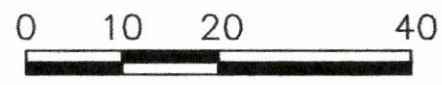


Colleen Vaccalet 8.6.19

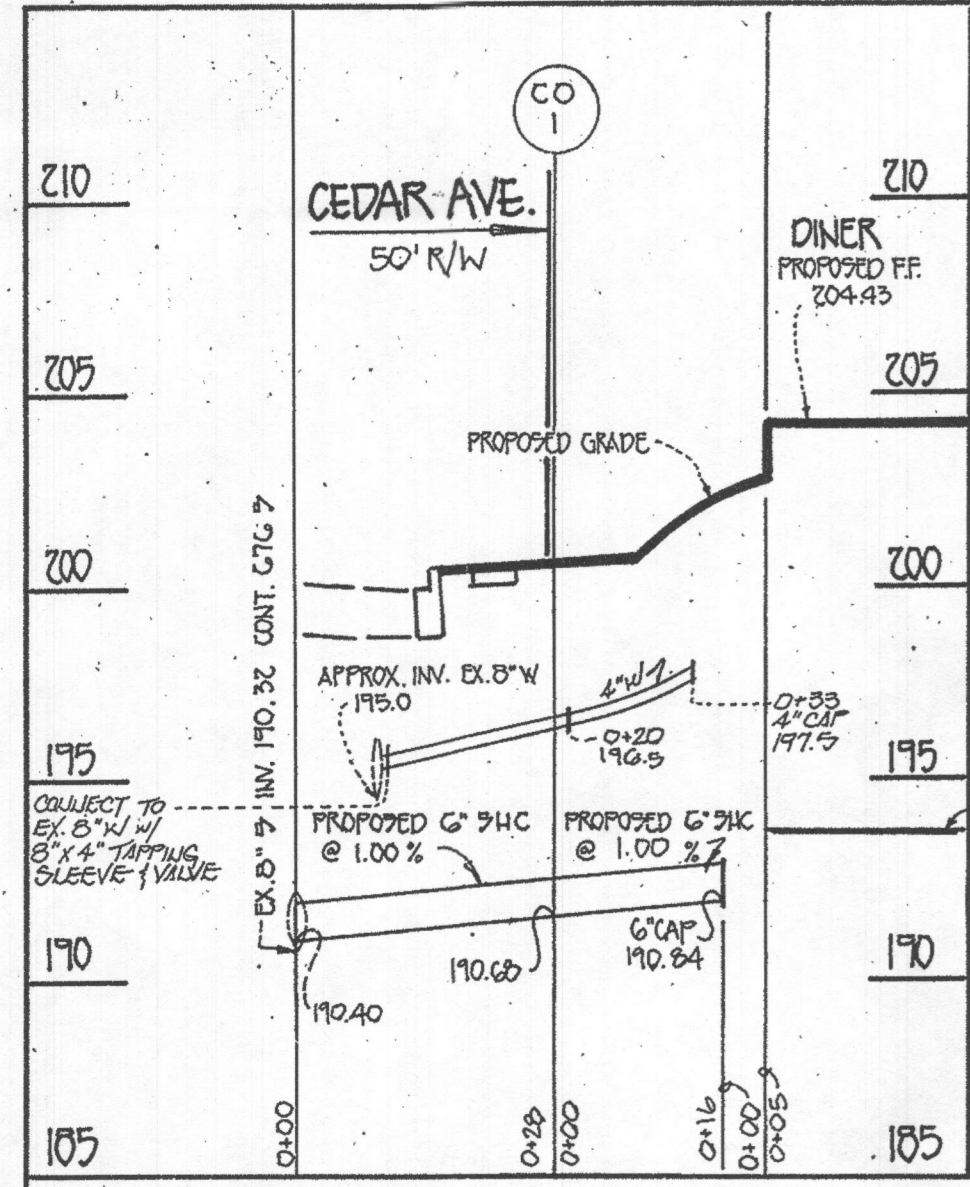
RECEIVED

AUG 06 2019

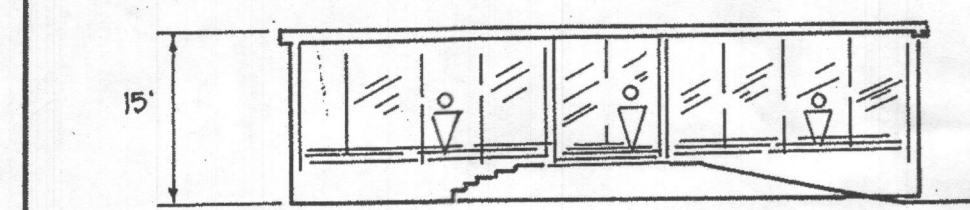
LICENSES & PERMITS DIVISION



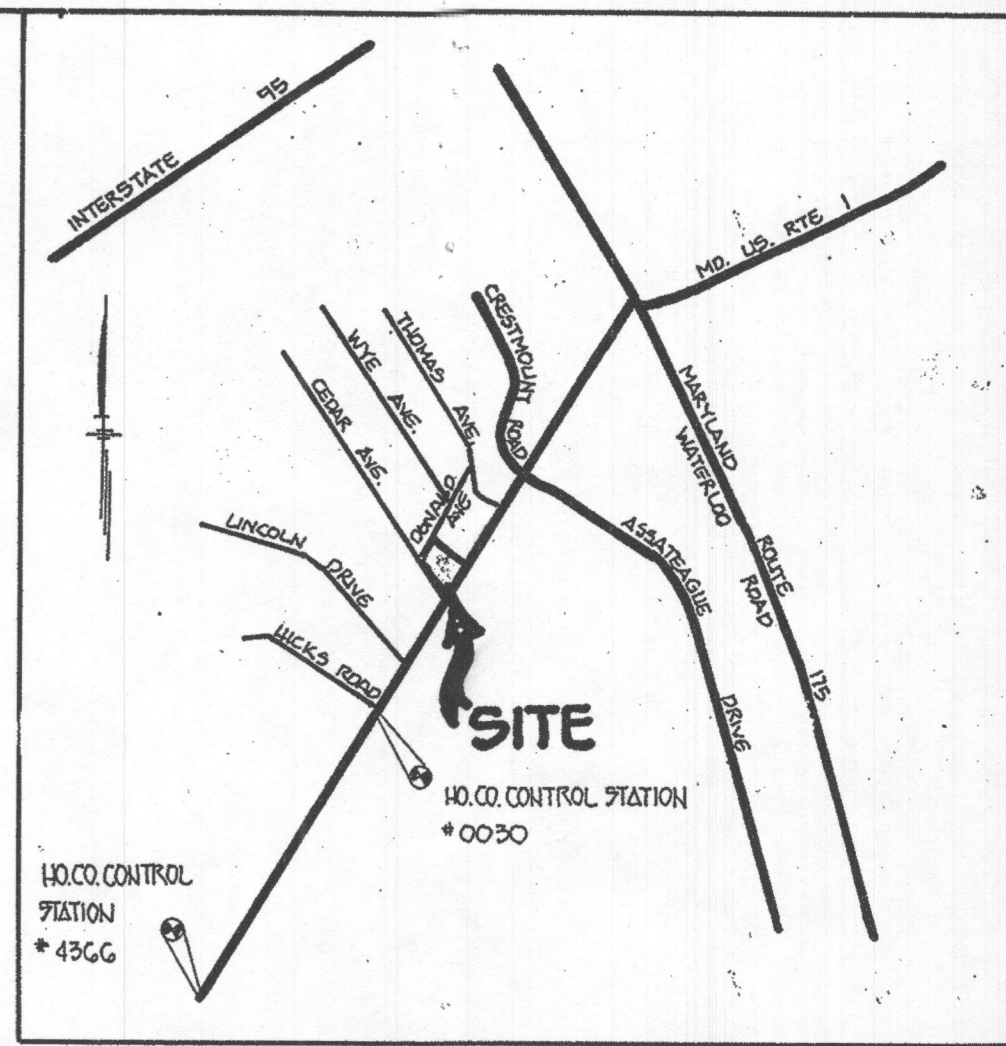
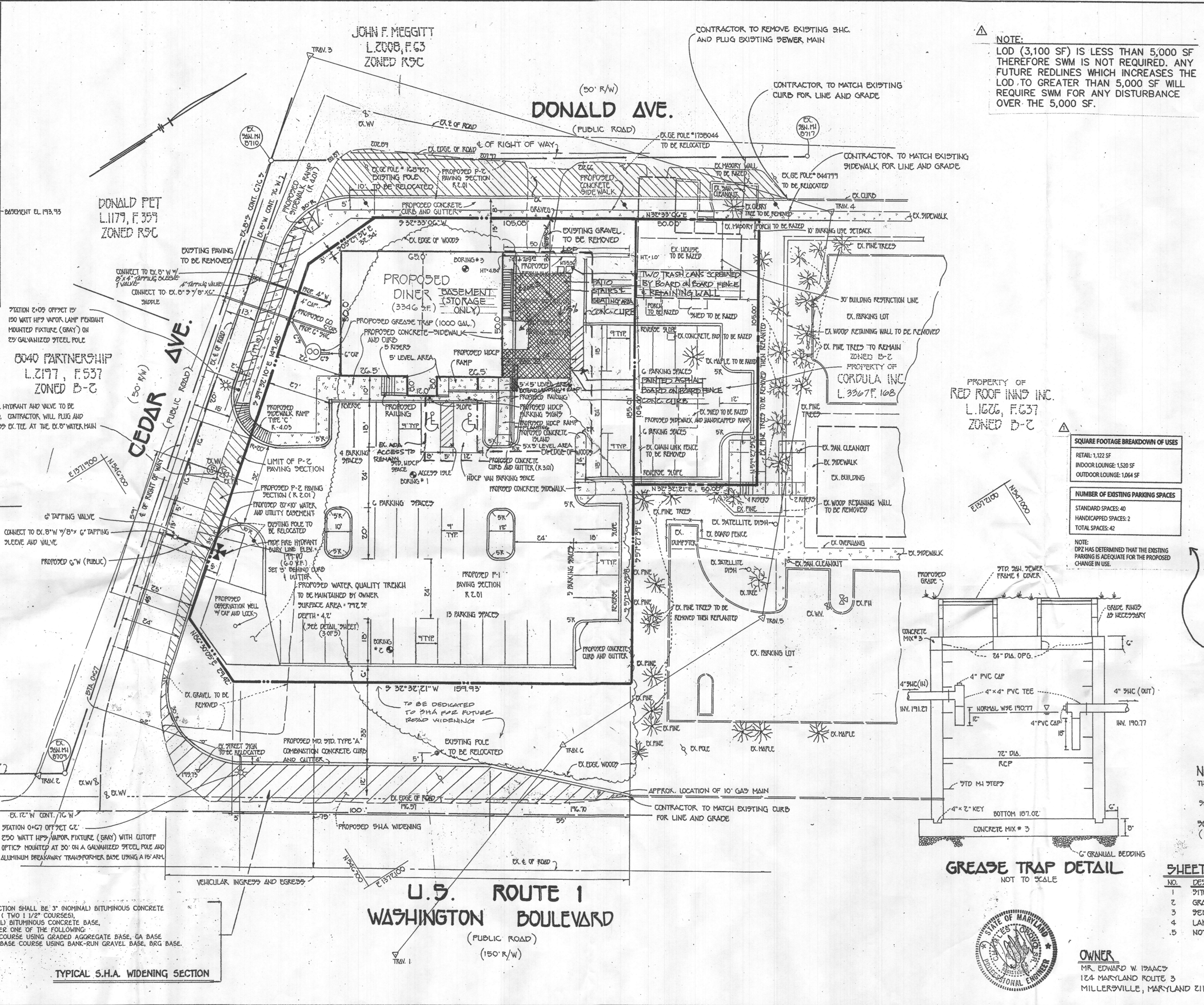
Date Issued 08/06/19	Drawing Reference Grading Plan	Drawing Title ADA ACCESS ADDENDUM	Drawing Number L100
Issued With RFI# 2	Project Number SDP-94-070		SCALE: 1"=20'



WHC & 5HC PROFILE
 HOR. : 1" = 10'
 VERT. : 1" = 5'



TYPICAL BUILDING PROFILE
 NOT TO SCALE



VICINITY MAP
 SCALE: 1" = 1200'

NOTE:
 LOD (3,100 SF) IS LESS THAN 5,000 SF THEREFORE SWM IS NOT REQUIRED. ANY FUTURE REDLINES WHICH INCREASES THE LOD TO GREATER THAN 5,000 SF WILL REQUIRE SWM FOR ANY DISTURBANCE OVER THE 5,000 SF.

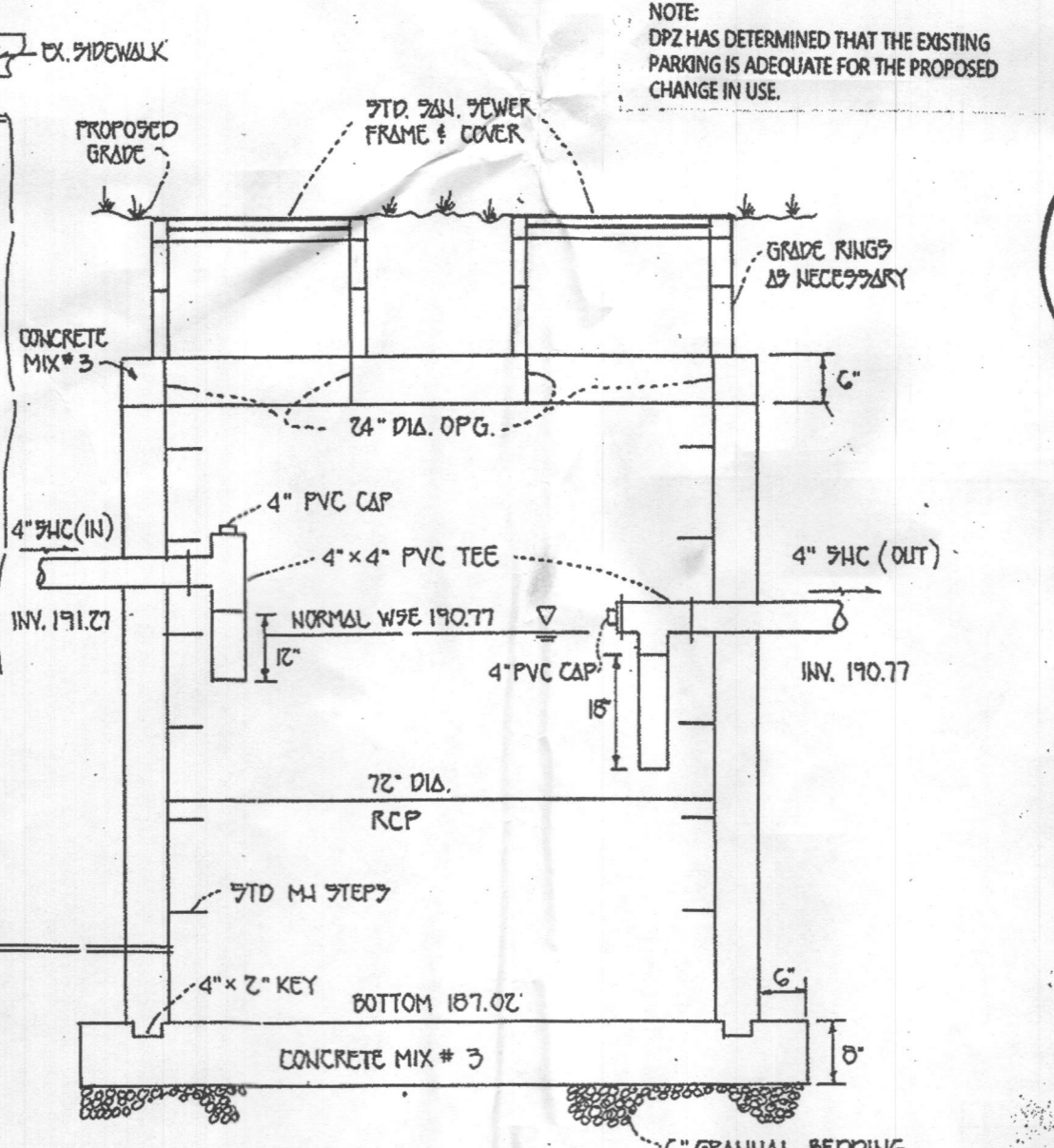
- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DEPARTMENT OF CONSTRUCTION INSPECTION DIVISION AT 311-1880 AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
 - THE CONTRACTOR SHALL NOTIFY "M&S UTILITIES" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - PROJECT BACKGROUND: LOCATION: U.S. ROUTE 1 AND CEDAR AVE. PARCELS 189, 187 & 458.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING UTILITIES ARE TO BE MAINTAINED AND PROTECTED AT ALL TIMES.
 - EXISTING UTILITIES ARE TO BE MAINTAINED AND PROTECTED AT ALL TIMES.
 - COORDINATES BASED ON NAD 83. MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEOGRAPHIC CONTROL STATION NO. 8012 AND 4248.
 - STA. NO. 0000 N 146398.2390 METERS E 417744.7223 METERS
 - STA. NO. 4366 N 146347.3523 METERS E 417744.7223 METERS
 - THIS PLAN IS SUBJECT TO P 34-01.

SQUARE FOOTAGE BREAKDOWN OF USES

RETAIL	1,122 SF
INDOOR LOUNGE	1,520 SF
OUTDOOR LOUNGE	1,064 SF

NUMBER OF EXISTING PARKING SPACES

STANDARD SPACES	40
HANDICAPPED SPACES	2
TOTAL SPACES	42



GREASE TRAP DETAIL
 NOT TO SCALE

- NOTE: THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS ON THIS SITE.**
- AREA OF PARCEL: 0.973 AC.
 - PRESENT ZONING: B-2
 - THIS PLAN SUBMIT TO BE CASE 93-13V APPROVED JULY 20, 1993. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
 - ALL PLANT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - THIS SITE TO BE MAINTAINED BY FISHER, COLLINS & CARTER, INC. SEPTEMBER, 1993.
 - EXISTING UTILITIES ARE TO BE MAINTAINED AND PROTECTED AT ALL TIMES.
 - COORDINATES BASED ON NAD 83. MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEOGRAPHIC CONTROL STATION NO. 8012 AND 4248.
 - STA. NO. 0000 N 146398.2390 METERS E 417744.7223 METERS
 - STA. NO. 4366 N 146347.3523 METERS E 417744.7223 METERS
 - THIS PLAN IS SUBJECT TO P 34-01.

1375 CEDAR AVENUE
 STREET ADDRESS

ADDRESS CHART

REVISIONS

ISSUED	FOR CHANGE IN USE & ADDING PAVED AREA TO THE EXTERIOR	DATE
1		10/02/98

STATION 2-09 OFFSET BY 150 WATT HP VAPOR LAMP PENDANT MOUNTED FIXTURE (GRAY) ON 2" GALVANIZED STEEL POLE

STATION 2-07 OFFSET BY 250 WATT HP VAPOR LAMP PENDANT MOUNTED AT 30" ON A GALVANIZED STEEL POLE AND ALUMINUM BREAKAWAY TRANSFORMER BASE USING A 15 AMP.

S.H.A. SECTION SHALL BE 3" (NOMINAL) BITUMINOUS CONCRETE SURFACE (TWO 1 1/2" COURSES), 4" (NOMINAL) BITUMINOUS CONCRETE BASE, AND EITHER ONE OF THE FOLLOWING:
 6" BASE COURSE USING GRADED AGGREGATE BASE, GA BASE OR A 7" BASE COURSE USING BANK-RUN GRAVEL BASE, BRG BASE.

TYPICAL S.H.A. WIDENING SECTION

U.S. ROUTE 1 WASHINGTON BOULEVARD
 (PUBLIC ROAD)
 (150' R/W)

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Clara
 SIGNATURE OF ENGINEER
 10/17/94
 DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Franklin D. Davis
 SIGNATURE OF DEVELOPER
 10-13-94
 DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Patricia Engh
 U.S. SOIL CONSERVATION SERVICE
 10/19/94
 DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robertson
 DISTRICT
 10/19/94
 DATE

APPROVED: DEPT. OF PLANNING AND ZONING

James M. Boyden
 PLANNING DIRECTOR
 11/7/94
 DATE

Chino Aravinthan
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
 11/4/94
 DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

James M. Boyden
 HEALTH OFFICER
 11/2/94
 DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

James P. Blum
 DIRECTOR, PUBLIC WORKS
 10/21/94
 DATE

James P. Blum
 CHIEF, BUREAU OF ENGINEERING
 10/21/94
 DATE

OWNER
 MR. EDWARD W. 12AACS
 124 MARYLAND ROUTE 3
 MILLERSVILLE, MARYLAND 21108

DEVELOPER
 MR. & MRS. FRANKLIN DAVIS 1/0
 CORDULA, INC.
 7799 ELBERTA DRIVE
 SEVERN, MARYLAND 21144

SHEET INDEX

NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	GRADING PLAN
3	SEDIMENT/EROSION CONTROL PLAN
4	LANDSCAPE PLAN
5	NOTES AND DETAILS

NOTE: FEE-IN-LIEU SWM G-43-B, LPA
 THE DEVELOPER HAS APPLIED FOR DESIGN MANUAL VARIATIONS TO VOLUME 1 CHAPTER 10
 SECTION 2.6.4. TO REDUCE REQUIRED TWENTY (20) FOOT MIN. DETACK OF SWM STRUCTURE TO RIGHTS OF WAY.
 SECTION 2.3.C. REQUEST OF FEE-IN-LIEU OF PROVIDING SWM. (APPROVED: MARCH 29, 1994.)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 9171 BALTIMORE NATIONAL PkE. SUITE 100
 ELLICOTT CITY, MARYLAND 21114
 301-461-2295

SITE DEVELOPMENT PLAN
FRANKS DINER
 THE CEDARS
 SUBTITLE: TOBACCO LEAF

TAX MAP 43
 51XTH ELECTION DIST.
 SCALE: 1" = 20'

DATE: AUGUST 3, 1994
 SHEET 1 OF 5

Construction Specifications For Water Quality Trench

Timber
An infiltration trench shall not be constructed or placed in service until all of the contributing drainage area has been stabilized and approved by the responsible inspector.

Trench Preparation
Excavate the trench to the design dimensions. Excavated materials shall be placed away from the trench which trench sides will stabilize. Large tree roots must be trimmed flush with the trench sides in order to prevent fabric puncturing or tearing during subsequent installation procedures. The side walls of the trench shall be roughened where sheared and sealed by heavy equipment.

Fabric Laydown
Fabric roll must be cut to the proper width prior to installation. The cut width must include sufficient material to conform to trench perimeter irregularities and for a 6-inch minimum top overlap. Place the fabric roll over the trench and unroll a sufficient length to allow placement of the fabric down into the trench. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the rolls, the upstream roll should lap a minimum of 2 feet over the downstream roll in order to provide a shingled effect. The overlap ensures fabric continuity or to ensure that the fabric conforms to the excavation surface during aggregate placement and compaction.

Stone Aggregate Placement and Compaction
The stone aggregate should be placed in lifts and compacted using plate compactors. As a rule of thumb, a maximum loose lift thickness of 12 inches is recommended. The compaction process ensures fabric conformity to the excavation sides, thereby reducing the potential for soil piping, fabric clogging, and settlement problems.

Overlaps and Covering
Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6" minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.

Contamination
Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.

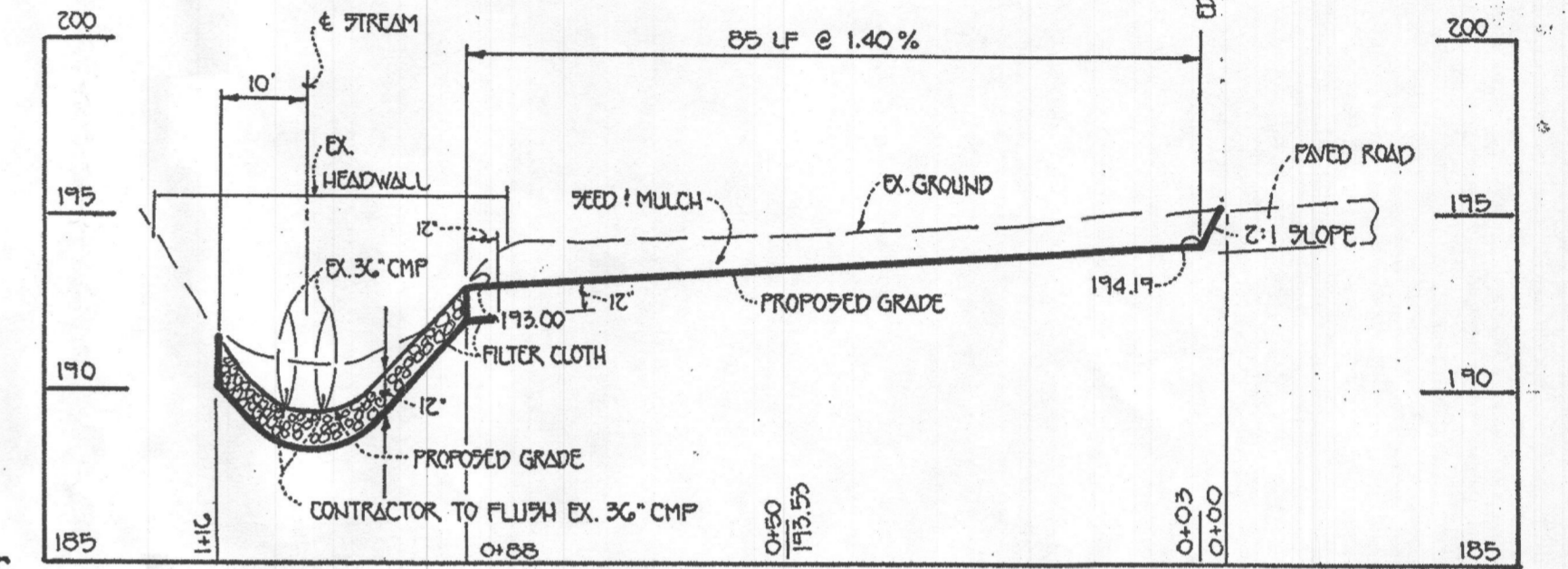
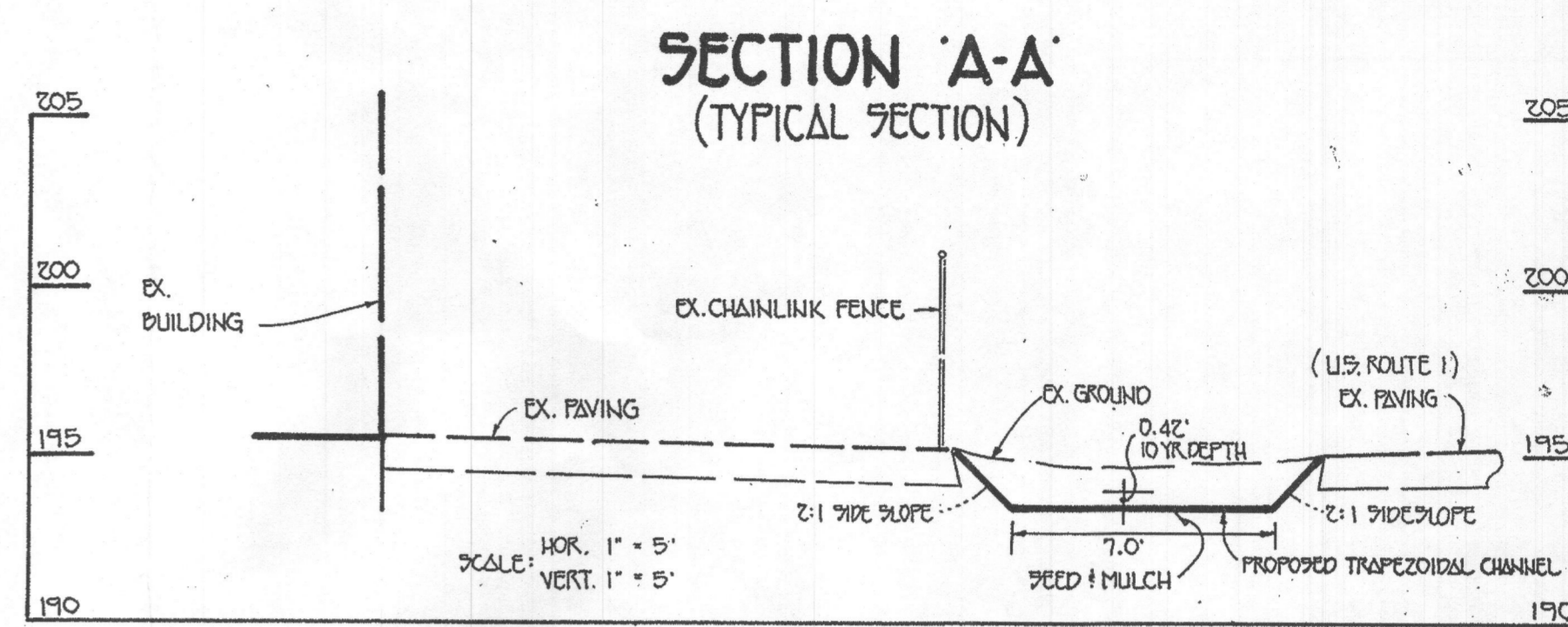
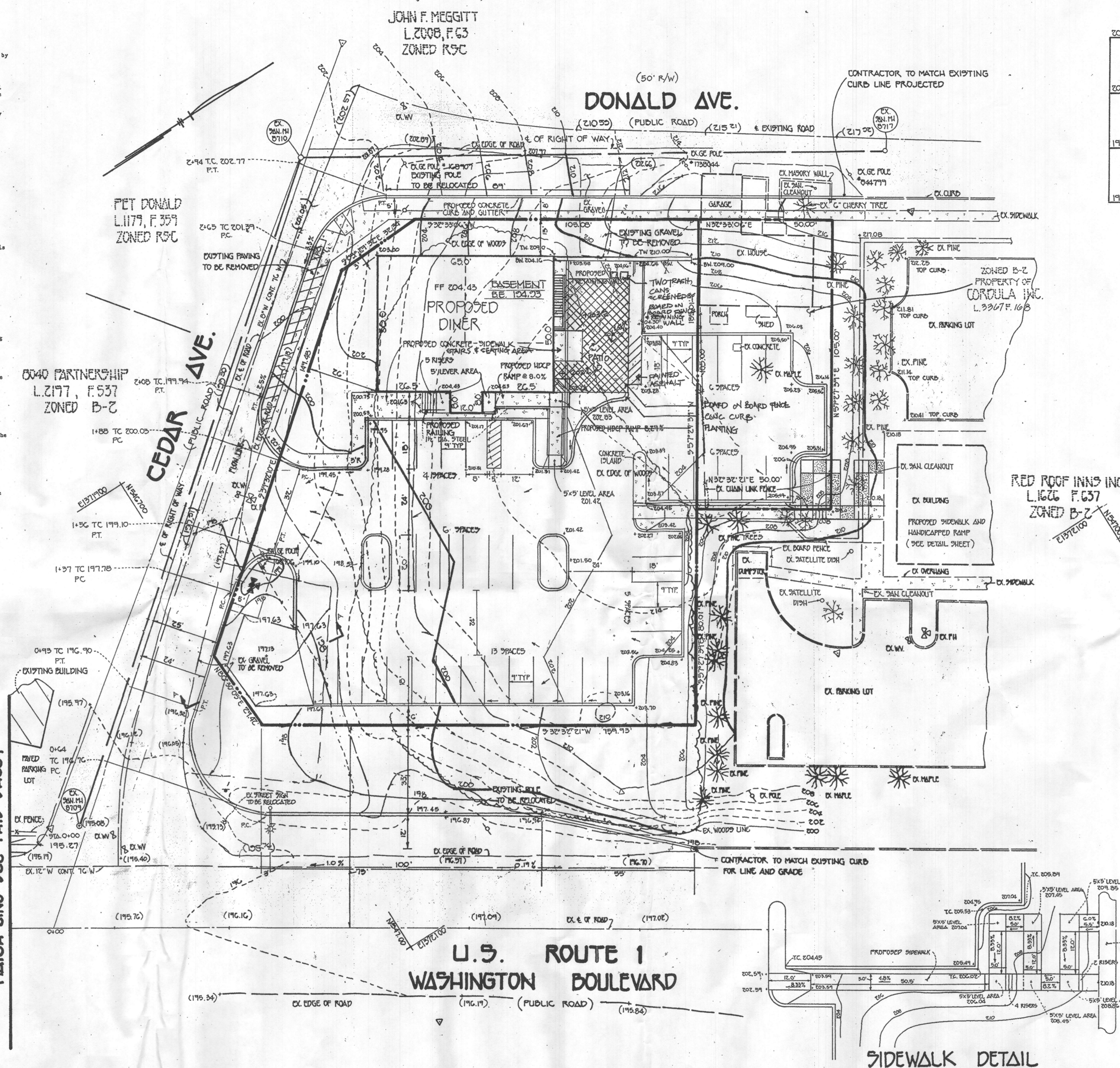
Voids Behind Fabric
Voids can be created between the fabric and excavation sides and shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Natural soils should be placed in these voids at the most compact time during construction to ensure fabric conformity to the excavation sides. Soil piping, fabric clogging, and possible surface subsidence will be avoided by this remedial process.

Unstable Excavation Sides
Vertically excavated walls may be difficult to maintain in areas where the soil moisture is high or where soft cohesive or cohesionless soils predominate. These conditions may require laying back of the side slopes to maintain stability; cross-bracing rather than rectangular cross sections may result.

Traffic Control
Heavy equipment and traffic shall be restricted from traveling over the infiltration areas to minimize compaction of the soil.

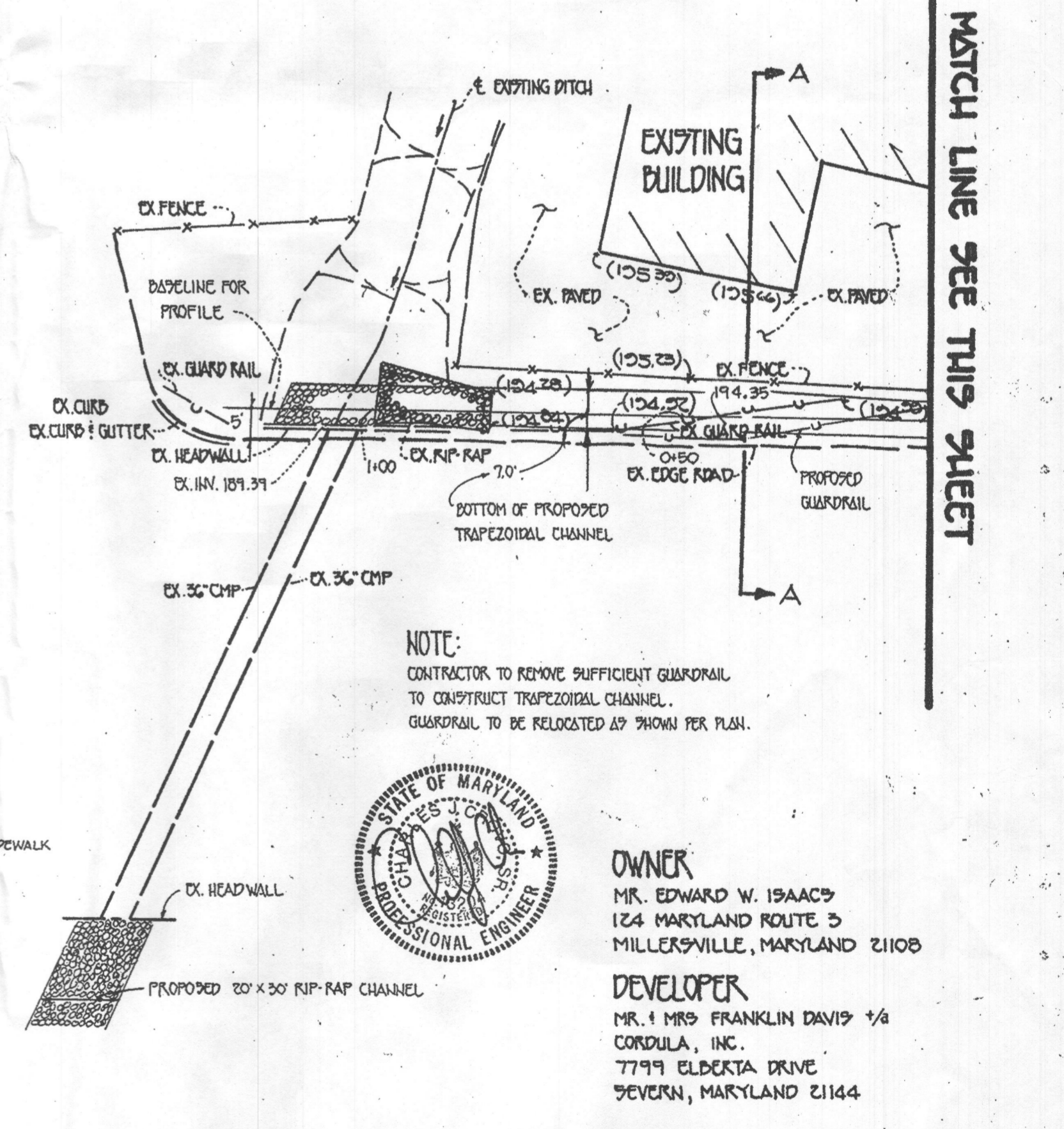
Observation Well
An observation well shall be provided. The depth of the well at the time of installation will be clearly marked on the well cap.

MATCH LINE SEE THIS SHEET



PROFILE ALONG PROPOSED TRAPEZOIDAL CHANNEL
SCALE: HOR. 1" = 20'
VERT. 1" = 5'

NOTE: (195.39) DENOTES EXISTING ELEVATION



NOTE:
CONTRACTOR TO REMOVE SUFFICIENT GUARDRAIL TO CONSTRUCT TRAPEZOIDAL CHANNEL.
GUARDRAIL TO BE RELOCATED AS SHOWN PER PLAN.



OWNER
MR. EDWARD W. ISAAC
124 MARYLAND ROUTE 3
MILLERSVILLE, MARYLAND 21108

DEVELOPER
MR. & MRS. FRANKLIN DAVID 1/4
CORDULA, INC.
7799 ELBERTA DRIVE
SEVERN, MARYLAND 21144



ISSUED FOR	DATE
CHANGE IN USE & ADDING PATIO AREA TO THE EXTERIOR	10/22/18

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
971 BALTIMORE NATIONAL PkE. SUITE 100
ELICOTT CITY, MARYLAND 21043
4100 461 - 2855

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 10/17/94

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *[Signature]* DATE: 10-13-94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS

Signature: *[Signature]* DATE: 10/19/94

Signature: *[Signature]* DATE: 10/19/94

APPROVED: DEPT. OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 11/7/94

Signature: *[Signature]* DATE: 11/4/94

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: *[Signature]* DATE: 11/2/94

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

Signature: *[Signature]* DATE: 10/21/94

Signature: *[Signature]* DATE: 10/21/94

PROPERTY/SUBDIVISION	SECTION/AREA	PARCEL
THE CEDARS	D	D

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
11193	8 14	B-2	45	G th	6067.01

WATER CODE: B 02
SEWER CODE: 3270000

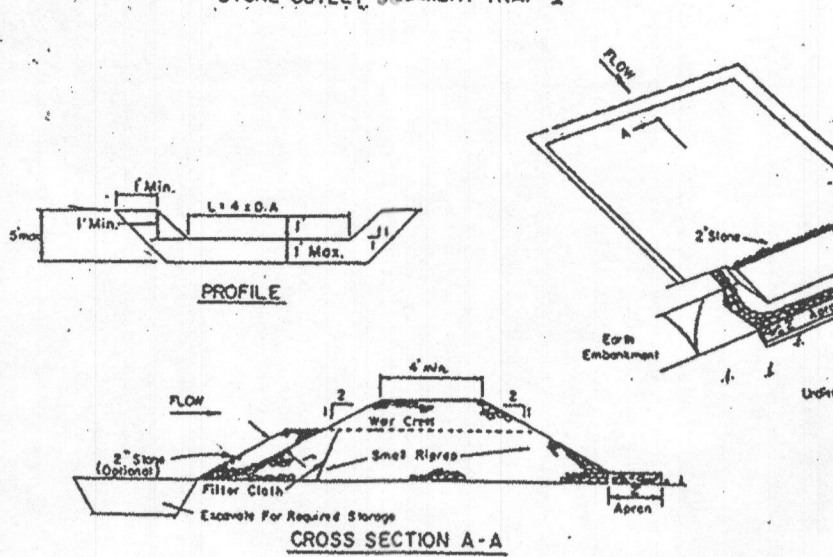
GRADING PLAN

FRANKS DINER

THE CEDARS

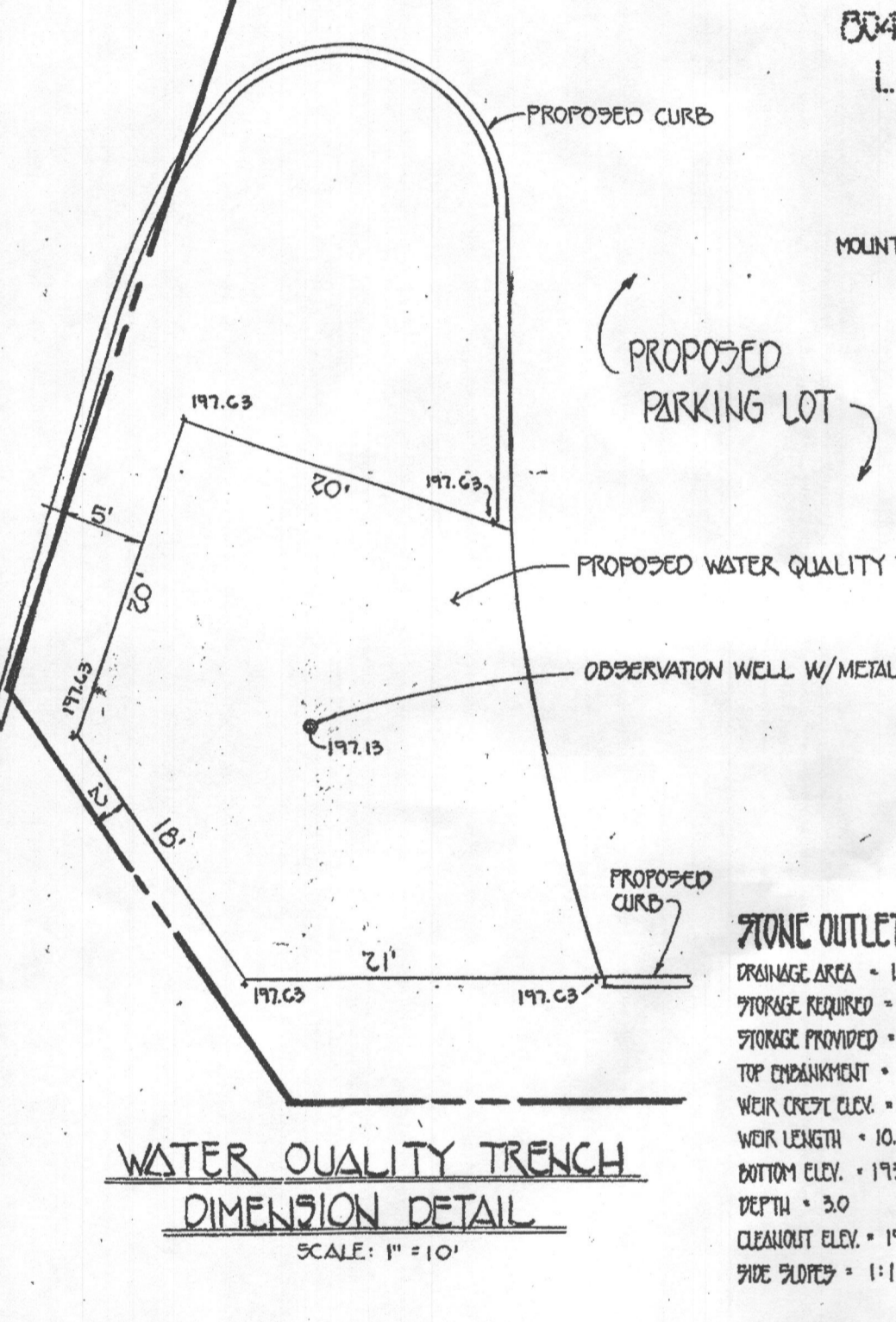
SUBTITLE: TOBACCO LEAF

TAX MAP 43 PARCEL: D
6TH ELECTION DIST. HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: AUGUST 5, 1994
SHEET 2 OF 3



- CONSTRUCTION SPECIFICATIONS FOR ST-2**
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The soil area shall be cleared.
 2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable materials. The embankment shall be compacted by traversing with equipment while it is being constructed.
 3. All cut and fill slopes shall be 2:1 or flatter.
 4. The stone used in the outlet shall be small riprap 1.5"-8" along with a 1" thickness of 2" aggregate placed on the upgrade side on the small riprap to embed filter cloth in the riprap.
 5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap.
 6. The structure shall be inspected after each rain and repairs made as needed.
 7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP DETAIL
NOT TO SCALE



WATER QUALITY TRENCH DIMENSION DETAIL
SCALE: 1" = 10'

ISSUED FOR CHANGE IN USE & ADDING PATIO AREA TO THE EXTERIOR

DATE 10/02/18

REVISIONS

NO.	DATE	DESCRIPTION
1	10/02/18	ISSUED FOR CHANGE IN USE & ADDING PATIO AREA TO THE EXTERIOR

MAINTENANCE OF WATER QUALITY TRENCH

WATER QUALITY TRENCH SHALL BE MONITORED ON A BI-ANNUAL BASIS AND AFTER EACH LARGE STORM, BUILD-UP OF POLLUTANTS (SEDIMENT, GRASS AND OILS) SHALL BE REMOVED FROM THE TRENCH ON AN ANNUAL BASIS. THIS SHALL BE ACCOMPLISHED BY REMOVING THE TOP 6" OF PEA GRAVEL AND REPLACED WITH CLEAN PEA GRAVEL.

FILTER FABRIC BETWEEN CLEAN AGGREGATE AND PEA GRAVEL SHALL BE REPLACED, AS NECESSARY. AS FILTER FABRIC IS REPLACED AGGREGATE UNDER THE FABRIC SHALL BE INSPECTED AND REPLACED, AS NECESSARY.

WATER QUALITY TRENCH SHALL BE KEPT FREE OF WEEDS, GRASS AND DEBRIS. MAINTENANCE LOG MUST BE KEPT ON THE FACILITY AND PROVIDED TO THE COUNTY FOR INSPECTION AT COUNTY'S REQUEST.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
971 BALTIMORE NATIONAL PKE., SUITE 100
ELICOTT CITY, MARYLAND 21117
410-461-2955

ENGINEER'S CERTIFICATE

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10/17/94

SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

10-18-94

SIGNATURE OF DEVELOPER

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

10/19/94

U.S. SOIL CONSERVATION SERVICE

DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

10/19/94

DATE

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

11/7/94

PLANNING DIRECTOR

11/4/94

DATE

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

11/2/94

DATE

HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

10/21/94

DATE

10/21/94

DATE

CHIEF, BUREAU OF ENGINEERING

PROPERTY/SUBDIVISION: THE CEDARS

SECTION/AREA: PARCEL D

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
11173	014	D-2	43	G TH	60C9.01
WATER CODE	SEWER CODE				
D 02	309000				

SEDIMENT/EROSION CONTROL PLAN

FRANK'S DINER

THE CEDARS

SUBTITLE: TOBACCO LEAF

TAX MAP 43 PARCEL D

SIXTH ELECTION DIST. HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'

SHEET 3 OF 4

DATE: AUGUST 3, 1994

70P-94-70

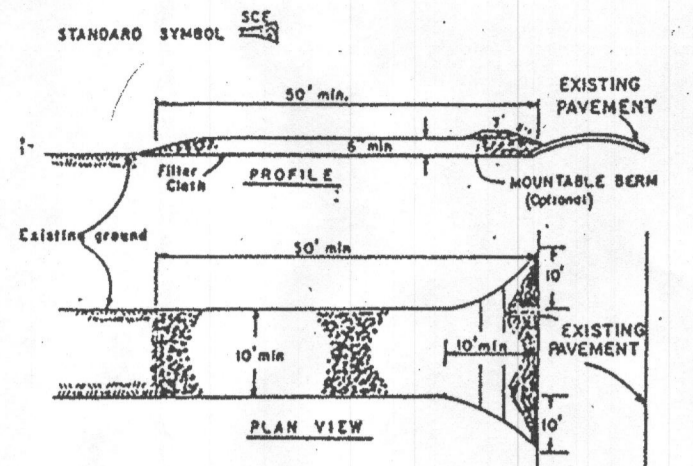
JOHN F. MEGGITT
L 2008, F 63
ZONED R9C

DONALD AVE.
(PUBLIC ROAD)

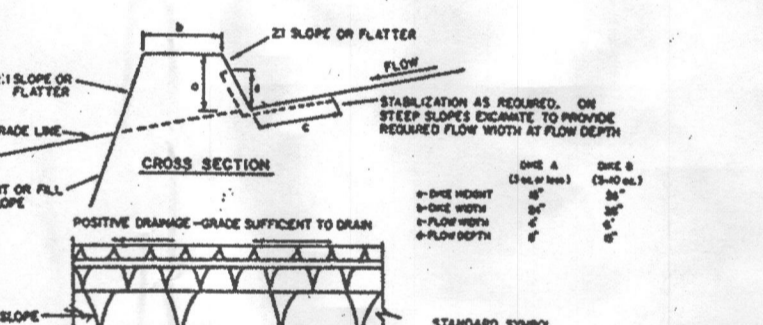
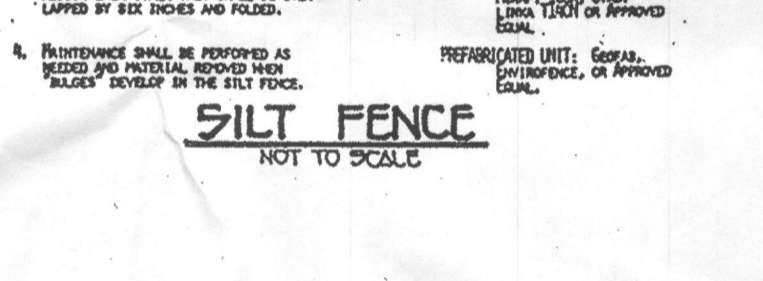
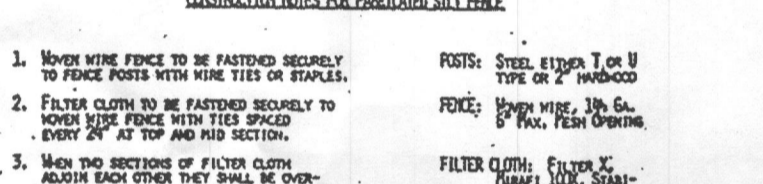
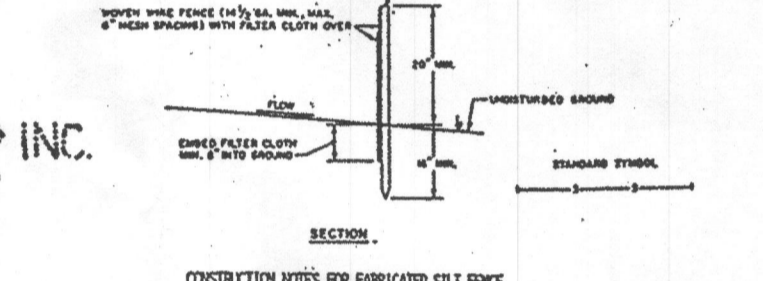
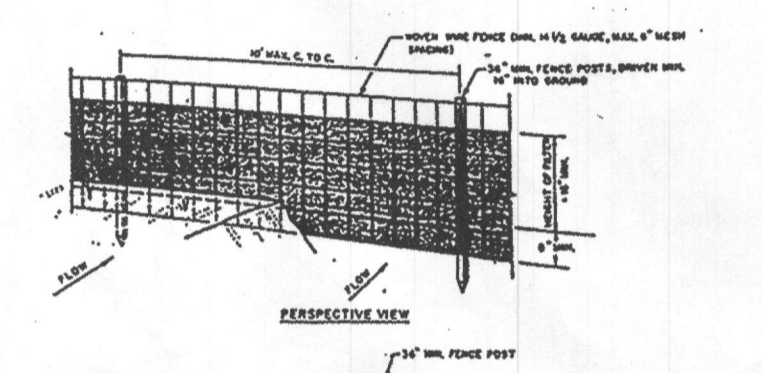
PET DONALD
L1179, F 359
ZONED R9C

6040 PARTNERSHIP
L 2177, F 537
ZONED B-2

RED ROOF INNS INC.
L 1226, F 637
ZONED B-2

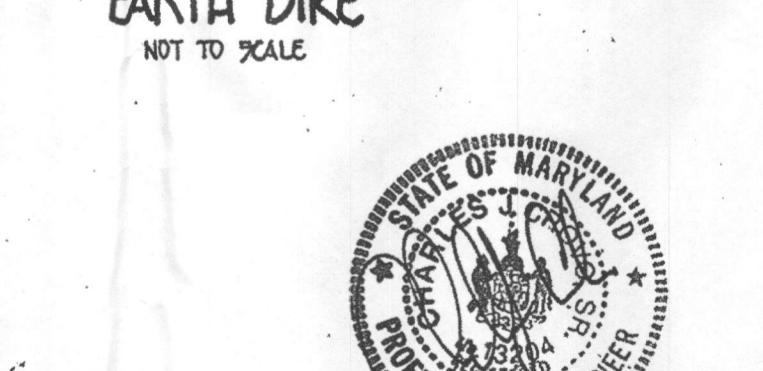


- CONSTRUCTION SPECIFICATIONS**
1. Stone size - 2" to 4" stone, or crushed or recycled concrete equivalent.
 2. Length - As required, but not less than 20 feet (except on a slope resistance less than 2:1 or 25 foot minimum length would apply).
 3. Thickness - Not less than 6 inches.
 4. Width - Two (2) foot minimum, but not less than the full width at points where increase or decrease occurs.
 5. Filter cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a slope less than 2:1.
 6. Factors of safety - All surface water flowing or directed toward construction entrances shall be piped across the entrance. If piping is impractical, a mounable stone with 2:1 slopes will be provided.
 7. Maintenance - The entrance shall be maintained in a condition which will prevent standing or flowing of sediment into public right-of-way. This may require periodic top dressing with additional stone as condition demand and repair and/or cleaning of sediment area before each rain.
 8. Sediment spillage, dropped, washed or tracked into public right-of-way must be cleaned and removed immediately. If it is not removed, it shall be done on an established water and wind drain into an approved sediment trap.
 9. Periodic inspection and needed maintenance shall be provided after each rain.



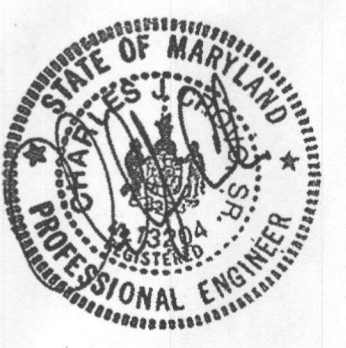
SOIL ANCHORING TABLE

TYPE OF SOIL	ANCHOR	DEPTH	SPACING
1	STEEL PIPE	4'-6"	6'-0"
2	STEEL PIPE	3'-6"	6'-0"
3	STEEL PIPE	3'-6"	6'-0"
4	STEEL PIPE	3'-6"	6'-0"



SEDIMENT CONTROL NOTES

- 1) A minimum of 24 hours notice must be given to the HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (892-2437).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL GREATER THAN 3:1; b) 14 DAYS AS TO OTHER DISTURBED OR RE-DISTURBED AREAS OF THE PROJECT SITE.
- 4) ALL SEDIMENT TRAP BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL. STORM DRAINAGE DITCHES AND ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 5) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 6) OFFSITE WASTE/BORROW AREA LOCATION: 3.16
- 7) OFFSITE WASTE/BORROW AREA MUST BE APPROVED BY EROSION AND SEDIMENT CONTROL INSPECTOR.



JOHN F. MEGGITT
L.2008, F.63
ZONED R9C

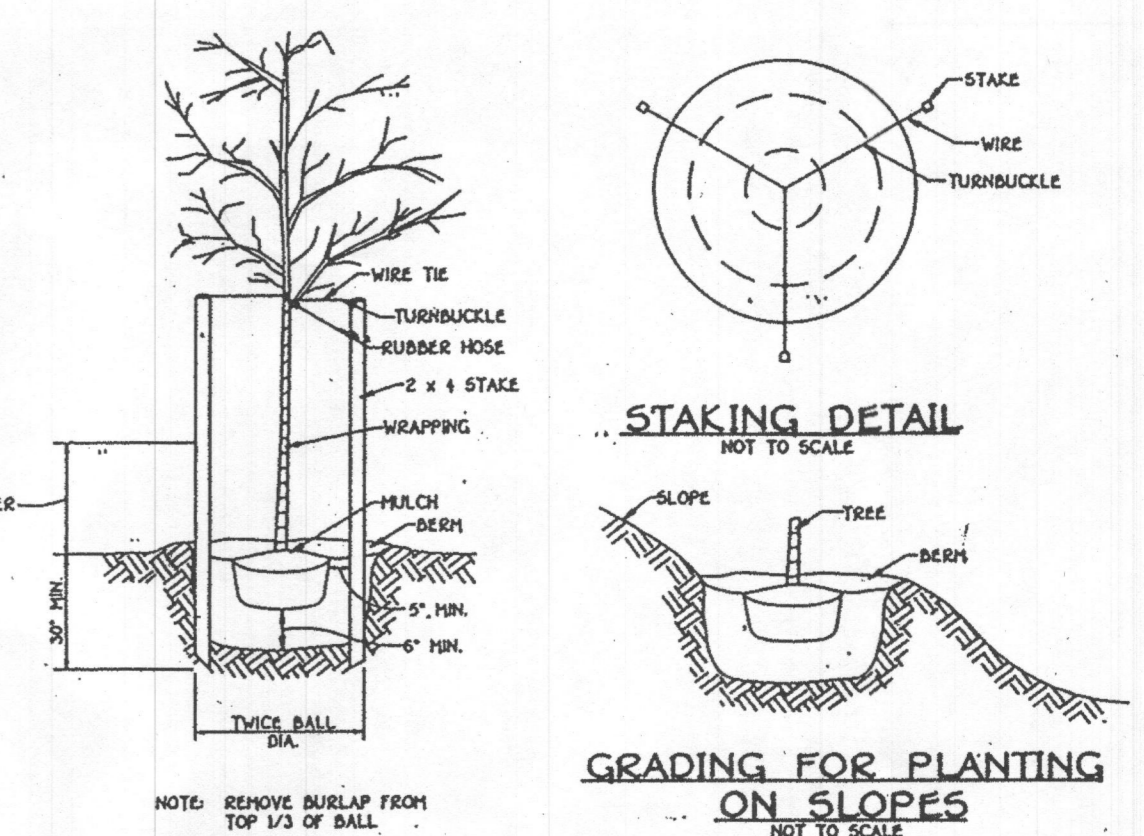
DONALD AVE.
(PUBLIC ROAD)

PET DONALD
L.1179, F.359
ZONED R9C

0040 PARTNERSHIP
L.2197, F.537
ZONED B-2

CEDAR AVE.
(PUBLIC ROAD)

EXISTING PINE TREES TO BE DUG-UP DURING MASS GRADING. THESE TREES ARE TO BE STORED ON SITE AND REPLANTED IN APPROXIMATELY THE SAME LOCATION. REPLANTING TO OCCUR AT TIME OF FINAL SEEDING. SHOULD ANY OF THESE TREES DIE DURING STORAGE, OR UP TO ONE YEAR AFTER REPLANTING THE DEVELOPER WILL REPLACE THE TREE WITH ANOTHER OF EQUAL DIZE.



LANDSCAPE LEGEND			
SYMBOL	QUANTITY	BOTANICAL / COMMON NAME	SIZE
⊙	18	GLADIOLUS TRIACANTHOS INERMIS SHADEMASTER THORNLESS HONEYLOCUST	2 1/2" - 3" CAL.
⊗	6	CEDRUS DEODORA / DEODAR CEDAR	6" - 8" HT.
⊚	97	ELIONYMUS ALATUS COMPACTA / DWARF WING ELIONYMUS	2" - 2 1/2" HT.

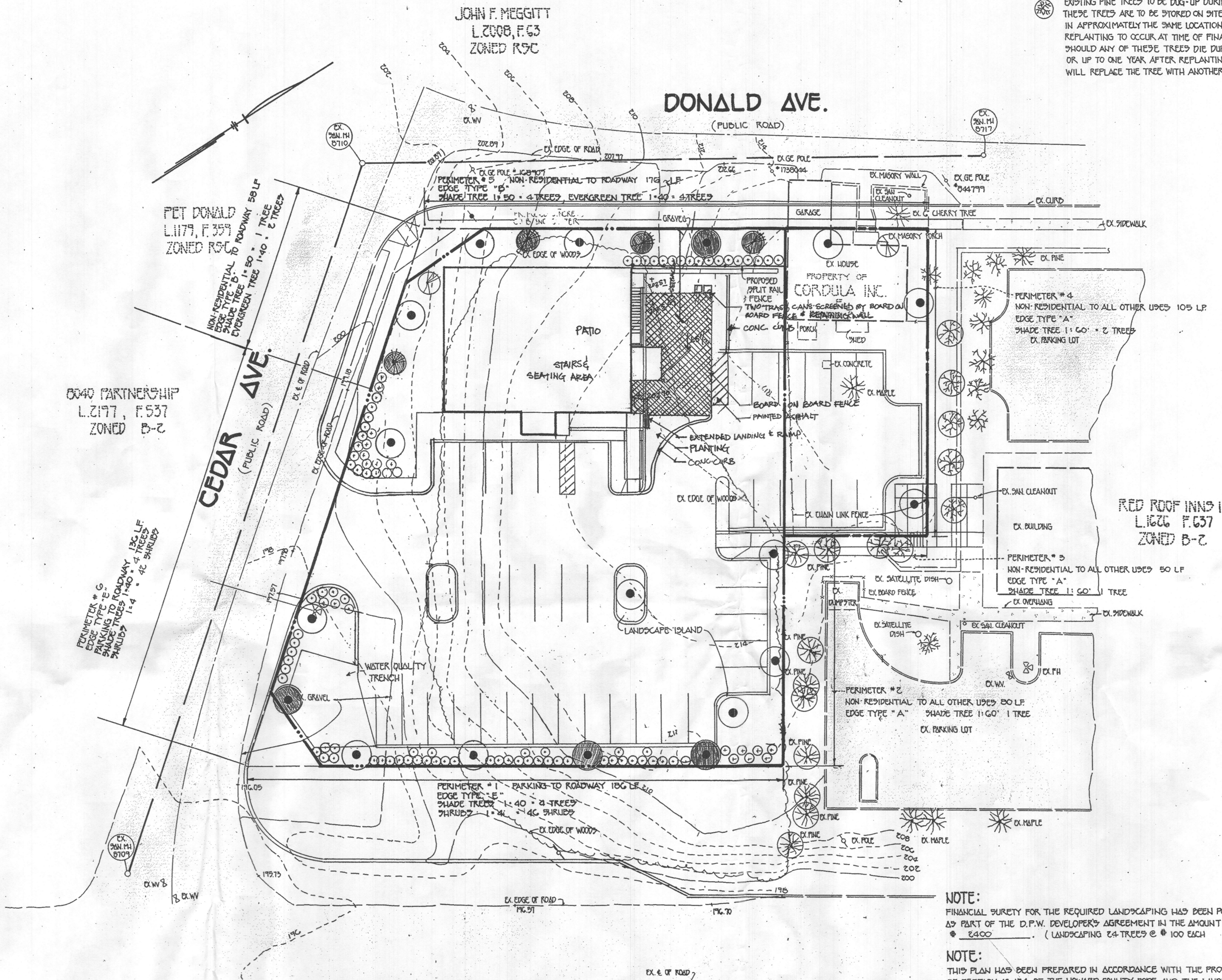
MISSING TREES TO BE REPLANTED TO BRING SITE INTO COMPLIANCE WITH PREVIOUSLY APPROVED SPP-94-70

PERIMETER	SCHEDULE A PERIMETER LANDSCAPE EDGE					
	1	2	3	4	5	6
PERIMETER	Adjacent to Roadway	Adjacent to Perimeter Properties	Adjacent to Perimeter Properties	Adjacent to Properties	Adjacent to Roadway	Adjacent to Roadway
LANDSCAPE TYPE	E	A	A	A	B	B
LINEAR FEET OF PERIMETER (YES, NO, LINEAR FEET DESCRIBE IF NEEDED)	180'	80'	50'	105'	175'	50'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE IF NEEDED)	-	-	-	-	-	-
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE IF NEEDED)	-	-	-	-	-	-
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1	1	1	2	4	1
EVERGREEN TREES	16	-	-	-	4	2
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	4	3
NUMBER OF PLANTS PROVIDED						
SHADE TREES	1	1	1	2	4	1
EVERGREEN TREES	16	-	-	-	4	2
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	4	3
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED						

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces	42
Number of Trees Required	2
Number of Trees Provided	2
Shade Trees	2
Other Trees (2:1 substitution)	0

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE D.P.W. DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 2400 (LANDSCAPING 24 TREES @ \$ 100 EACH)

NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.



U.S. ROUTE 1
WASHINGTON BOULEVARD
(PUBLIC ROAD)

Developer's/Builder's Certificate
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING
REVISIONS

ISSUED FOR	DATE
CHANGE IN USE & ADDING PATIO AREA TO THE EXTERIOR	10/02/98

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
Date: 10/17/94

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: [Signature]
Date: 10/19/94

HOWARD SOIL CONSERVATION DISTRICT
APPROVED: [Signature]
DATE: 10/19/94

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature]
DATE: 10/19/94

APPROVED: DEPT. OF PLANNING AND ZONING
PLANNING DIRECTOR: [Signature]
DATE: 11/7/94

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH: [Signature]
DATE: 11/4/94

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
HEALTH OFFICER: [Signature]
DATE: 11/2/94

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.
DIRECTOR, PUBLIC WORKS: [Signature]
DATE: 10/21/94

CHIEF, BUREAU OF ENGINEERING: [Signature]
DATE: 10/21/94

PROPERTY/SUBDIVISION: THE CEDARS
SECTION/AREA: B
PARCEL/LOT NO.: B

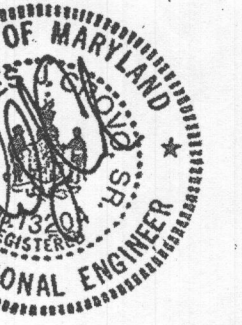
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BLOCK NO.: 14
ZONE: B-2
TAX/ZONE: 43
ELEC. DIST.: 6TH
CENSUS TR.: GOC9.01

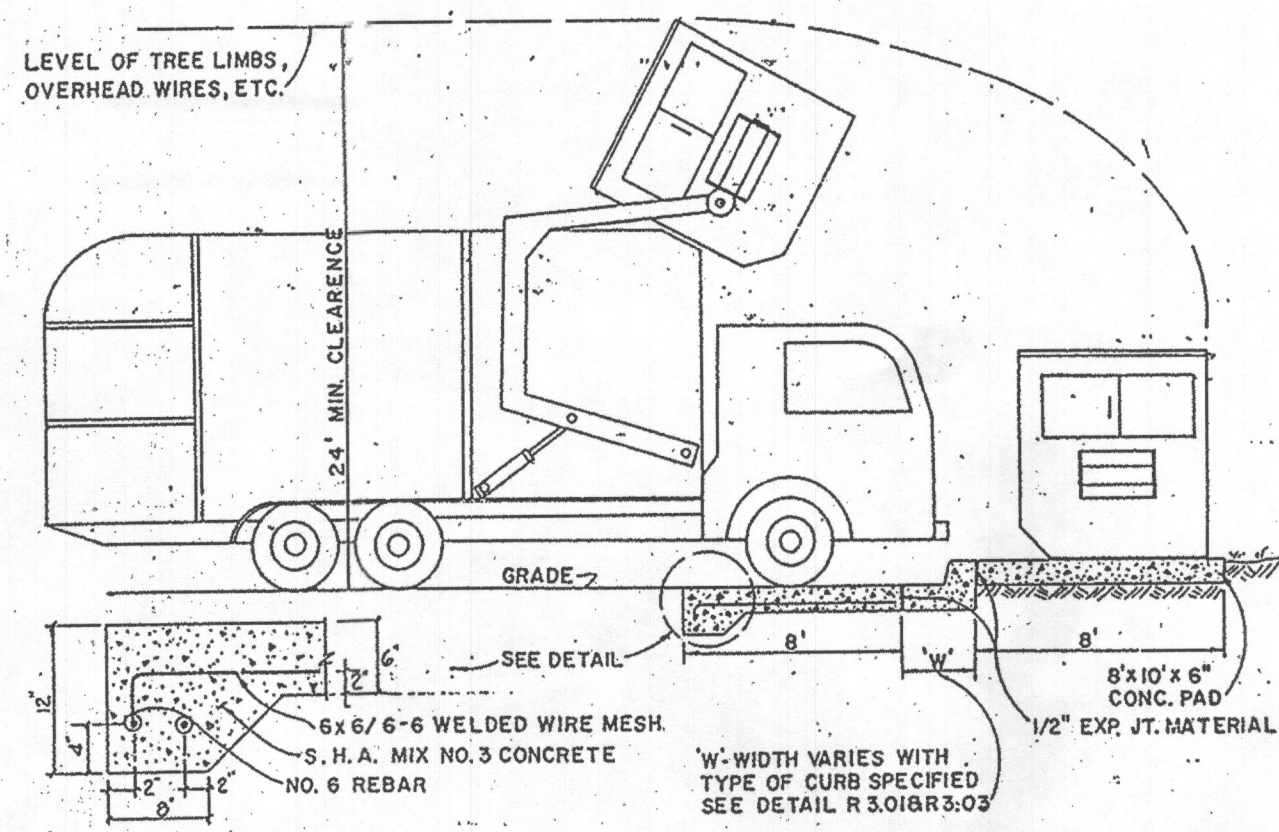
WATER CODE: 002
SEWER CODE: 3290000

LANDSCAPE PLAN
FRANKS DINER
THE CEDARS
SUBTITLE: TOBACCO LEAF

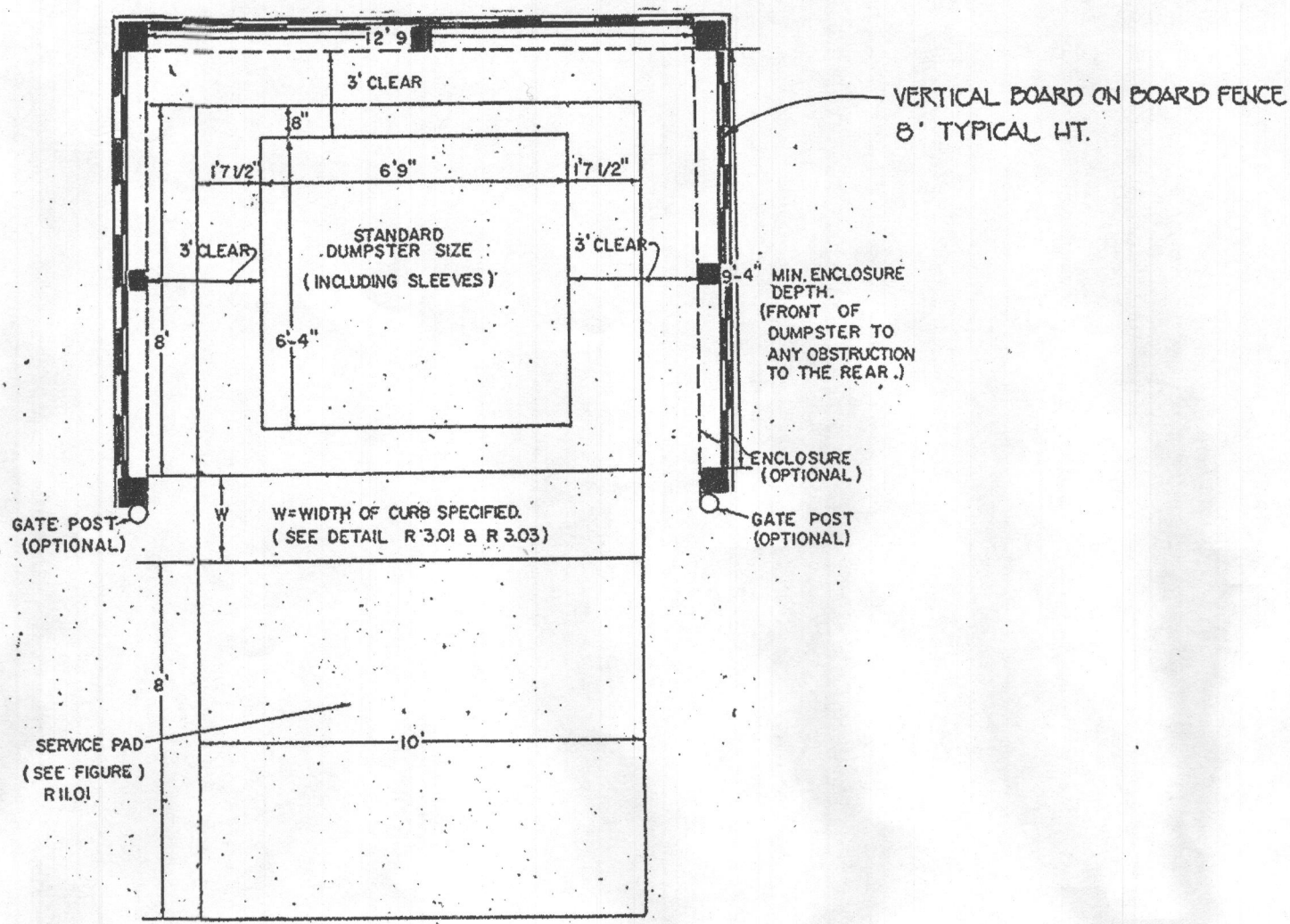
F 94-51
PARCEL B
HOWARD COUNTY, MARYLAND
DATE: AUGUST 3, 1994

TAX MAP 43
SIXTH ELECTION DIST.
SCALE: 1" = 20'
SHEET 4 OF 5

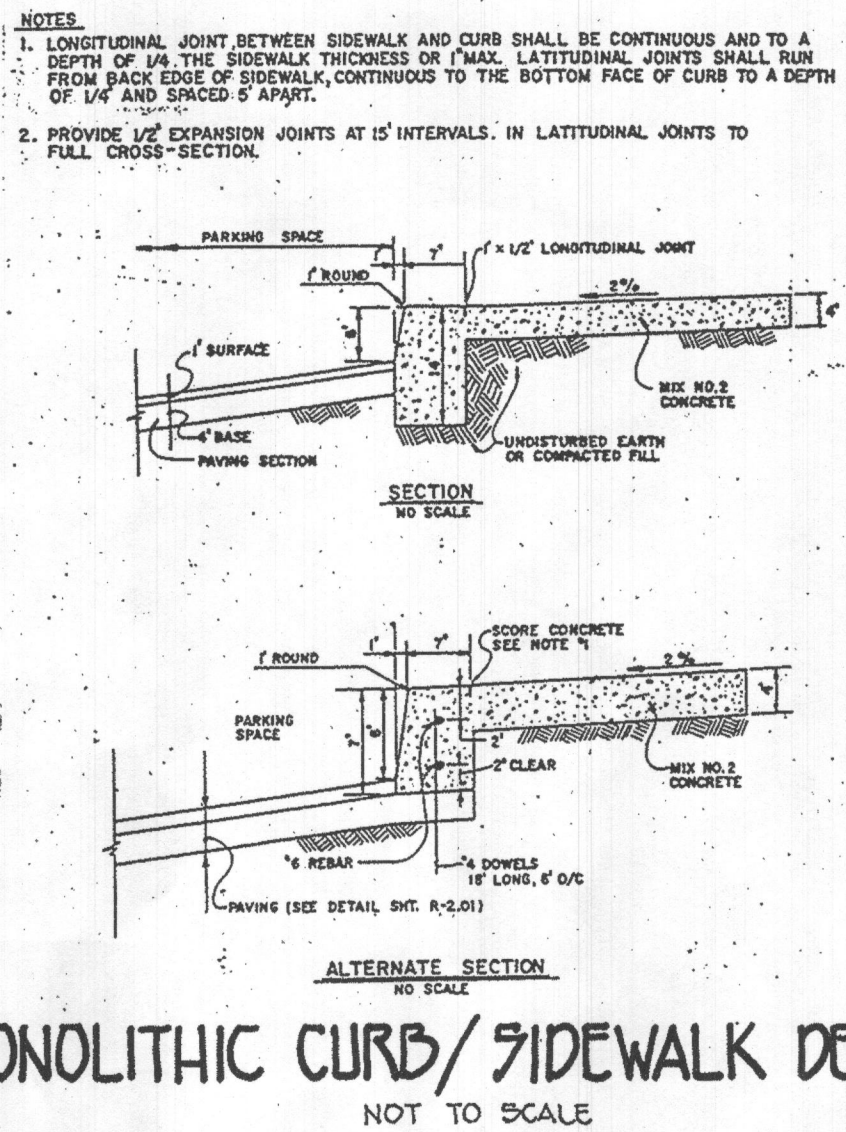




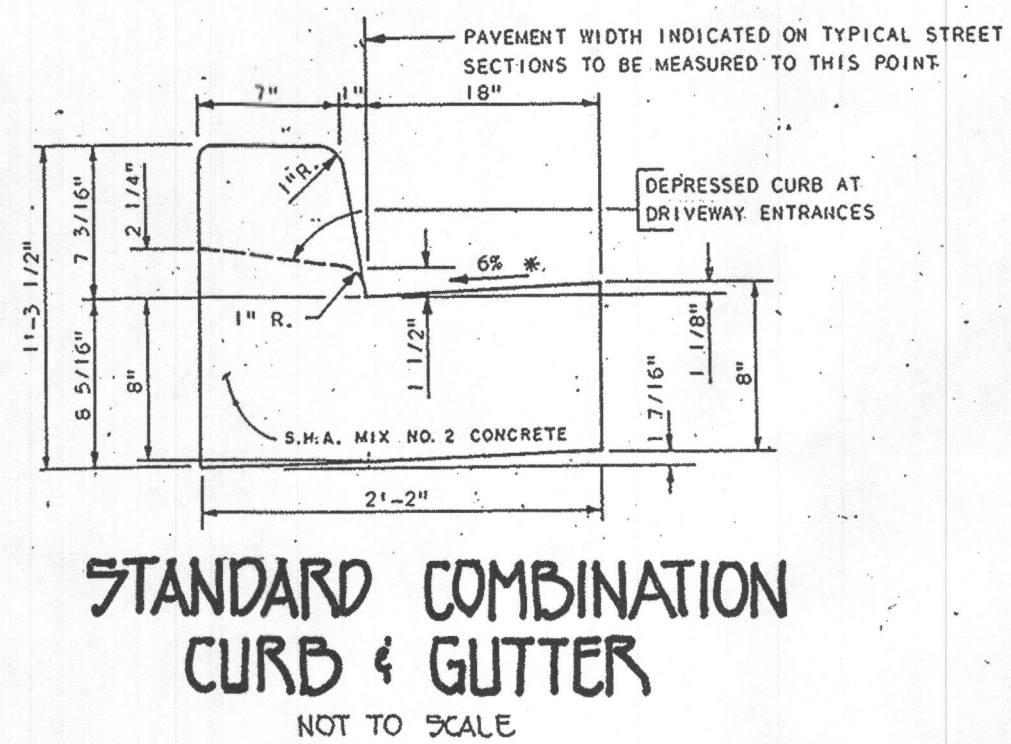
SOLID WASTE SERVICE PAD
NOT TO SCALE



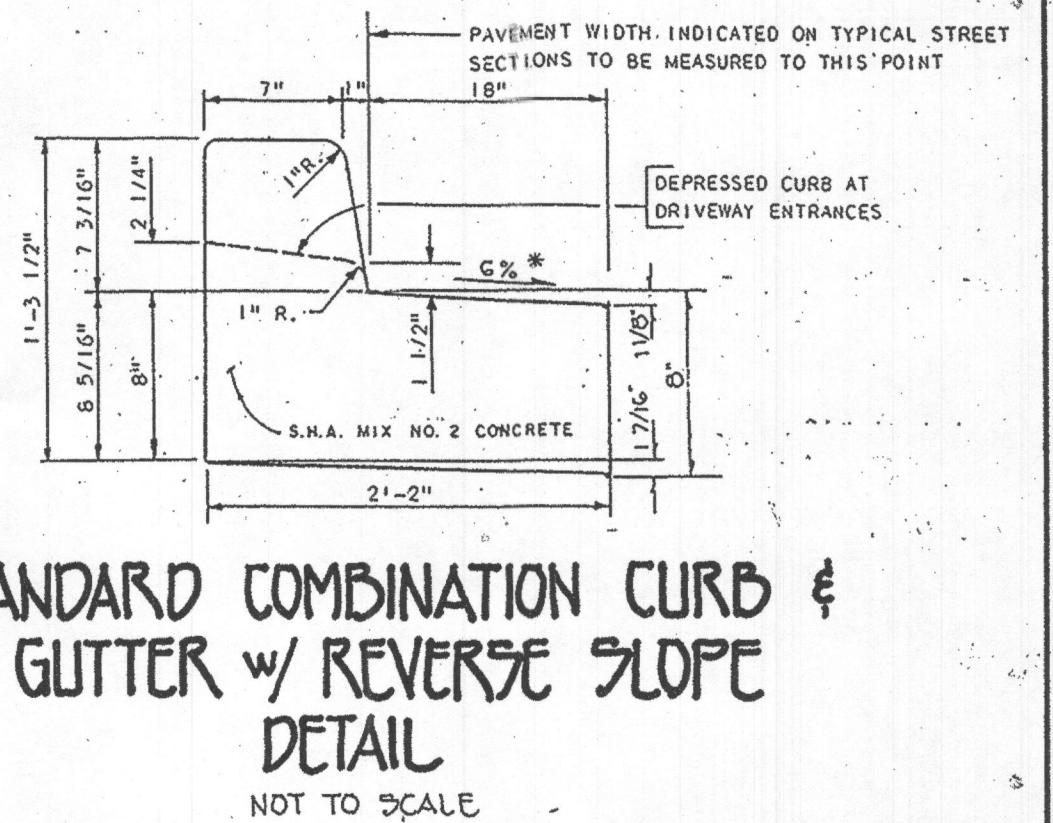
SOLID WASTE OPTIONAL CONTAINER ENCLOSURE
DETAIL
NOT TO SCALE



MONOLITHIC CURB/SIDEWALK DETAIL
NOT TO SCALE



STANDARD COMBINATION CURB & GUTTER
NOT TO SCALE



STANDARD COMBINATION CURB & GUTTER w/ REVERSE SLOPE DETAIL
NOT TO SCALE

PAVEMENT MATERIALS	
FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
1 1/2" BIT. CONC. SURFACE	1 1/2" BIT. CONC. SURFACE
5" BIT. CONC. BASE	2 1/2" BIT. CONC. BASE
	6" GRADED AGGREGATE BASE (GAB)

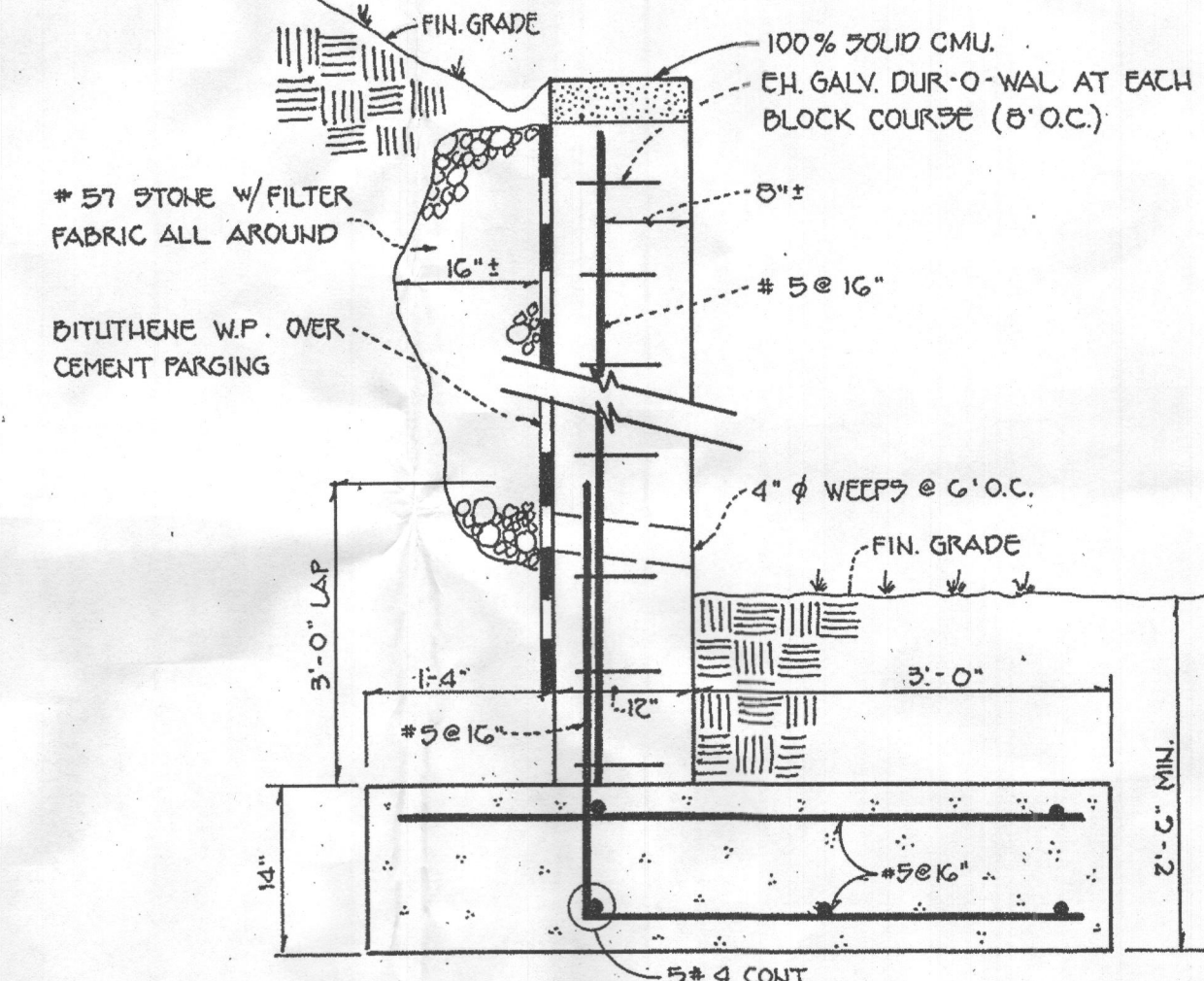
P-2 PAVING SECTION DETAIL
NOT TO SCALE

PAVEMENT MATERIALS	
FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
1" BIT. CONC. SURFACE	1" BIT. CONC. SURFACE
4" BIT. CONC. BASE	2" BIT. CONC. BASE
	4" GRADED AGGREGATE BASE (GAB)

P-1 PAVING SECTION DETAIL
NOT TO SCALE



RESERVED HANDICAPPED PARKING SIGN DETAIL
NOT TO SCALE

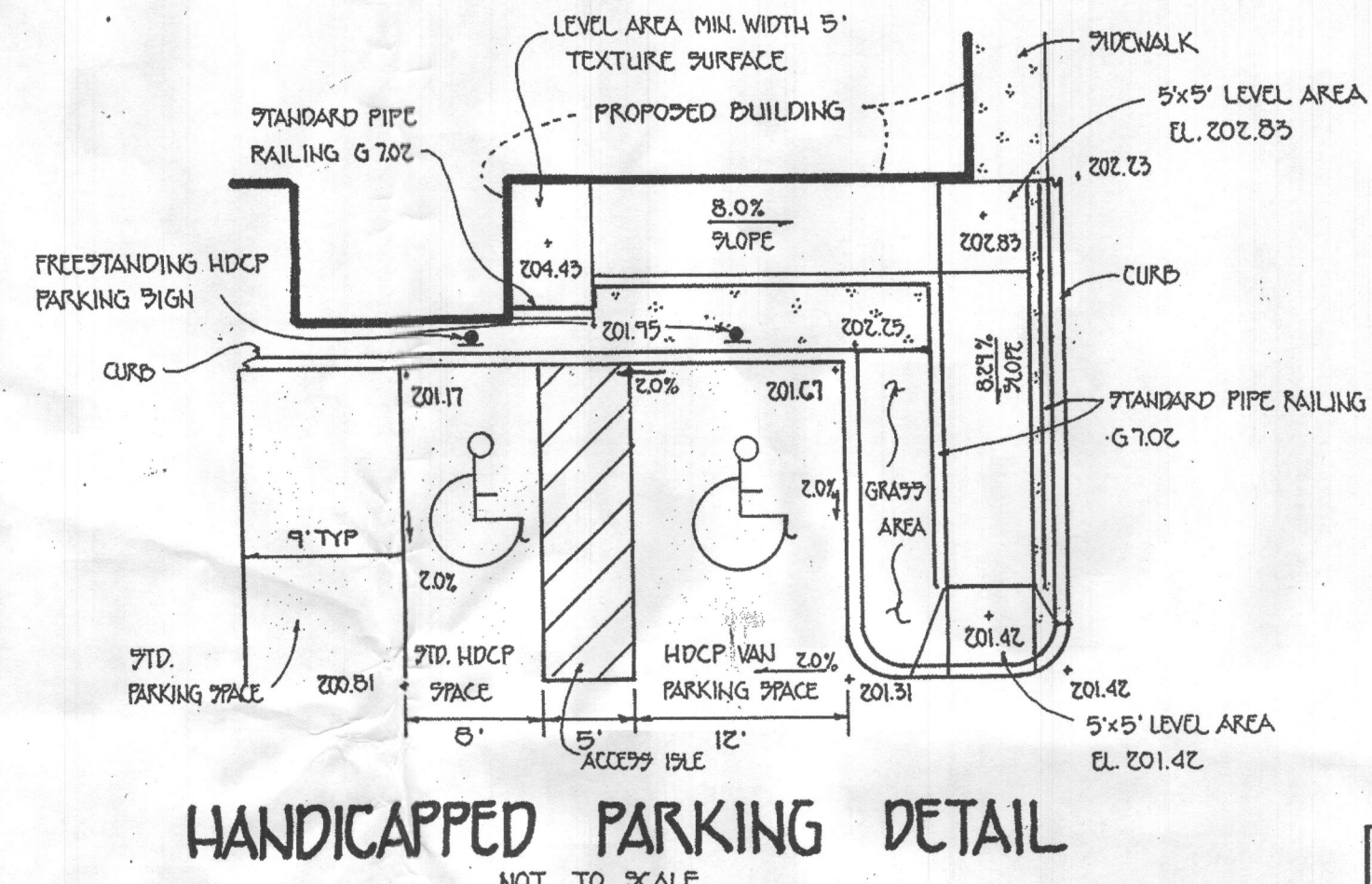


TYPICAL RETAINING WALL SECTION

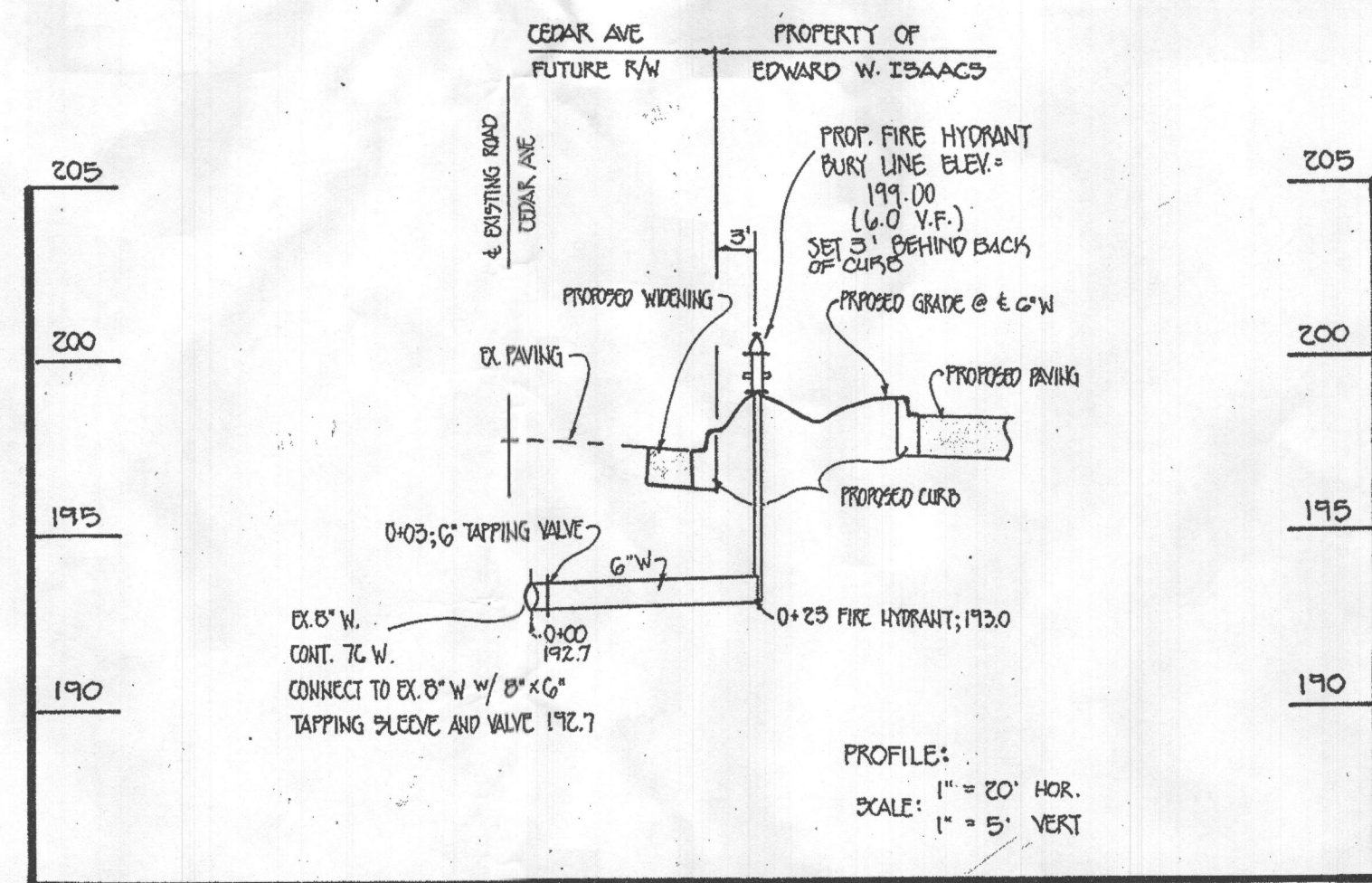
NOTES

- 1. ALL WORK IN ACCORDANCE WITH LOCAL AND STATE CODES.
- 2. SOIL VALUE ASSUMED TO BE MIN. 2000 P.S.F. VERIFY IN FIELD.
- 3. CONCRETE TO BE 3000 P.S.I. @ 28 DAYS.
- 4. MASONRY TO BE ASTM C90 CMU MORTAR TO BE TYPE S.
- 5. FILL ALL CELLS WITH MIN. 2,500 P.S.I. PEA GRAVEL CONCRETE.
- 6. REINFORCE STEEL TO BE ASTM A615 GRADE 60.
- 7. PROVIDE 2 CONTROL JOINTS IN WALL. (16\"/>

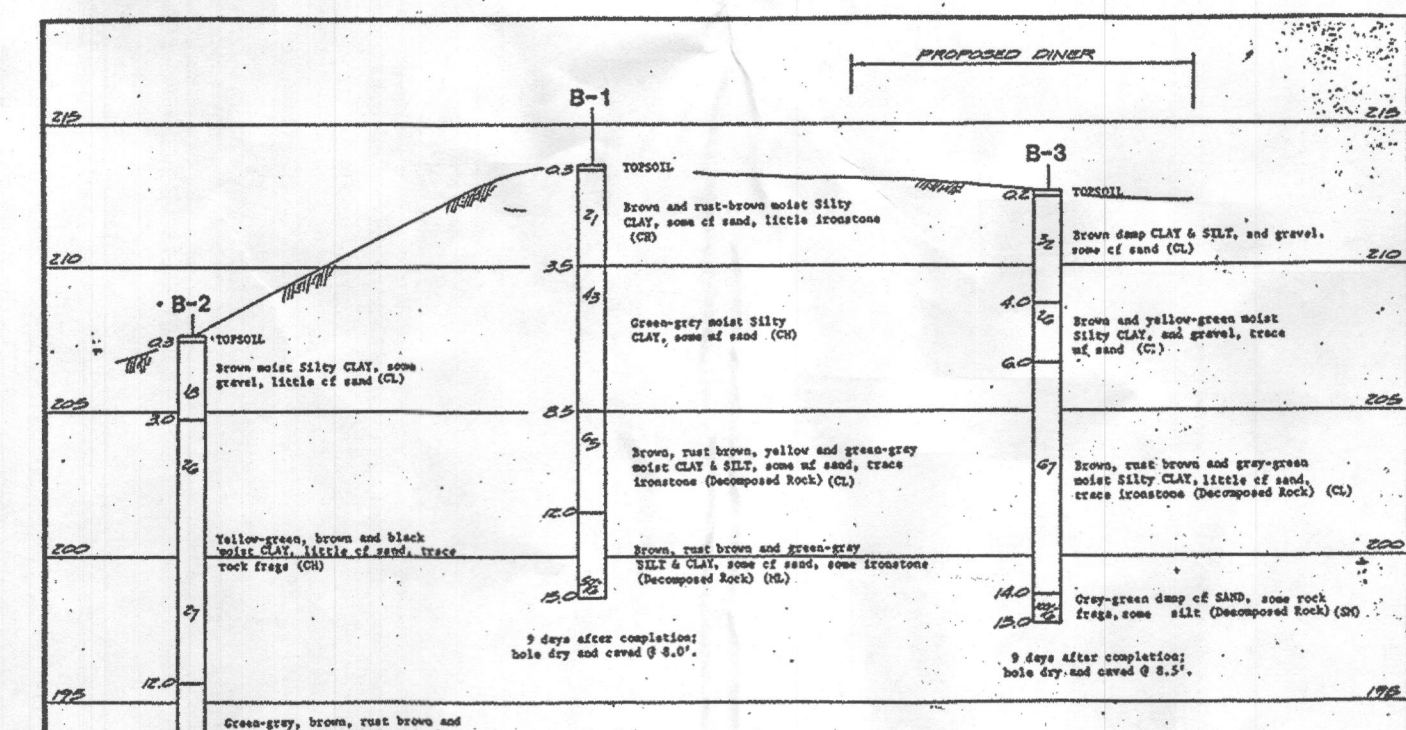
TYPICAL WALL CROSS-SECTION DETAIL
NOT TO SCALE



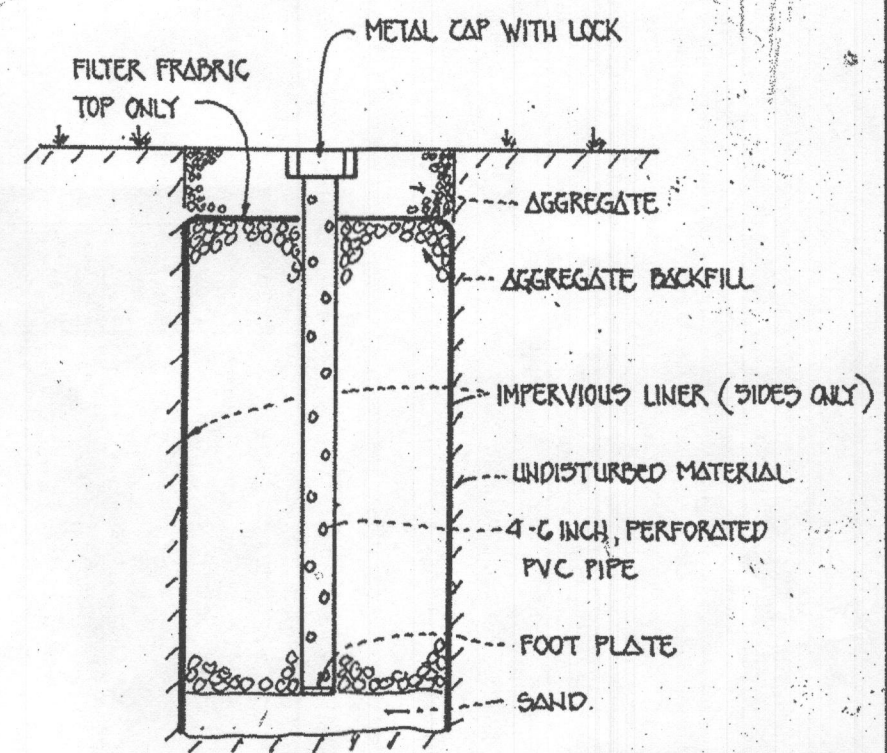
HANDICAPPED PARKING DETAIL
NOT TO SCALE



PROPOSED 6" PUBLIC WATER FIRE HYDRANT LEAD



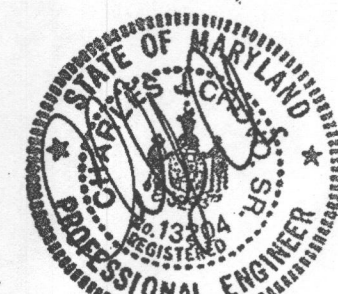
SOIL BORING LOGS
NOT TO SCALE



TYPICAL TRENCH SECTION
NOT TO SCALE

OWNER
MR. EDWARD W. ISAACS
124 MARYLAND ROUTE 3
MILLERSVILLE, MARYLAND 21108

DEVELOPER
MR. & MRS. FRANKLIN DAVIS +/c
CORDULA, INC.
7799 ELBERTA DRIVE
SEVERN, MARYLAND 21144



NOTES AND DETAILS
FRANKS DINER
THE CEDARS

TAX MAP 43 9TH ELECTION DIST. SCALE: 1" = 20'
F 74-51 PARCEL B HOWARD COUNTY, MARYLAND DATE: AUGUST 3, 1994
SHEET 5 OF 5

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
917 BALTIMORE NATIONAL PIKE, SUITE 100
ELLICOTT CITY, MARYLAND 21043
300 461 - 2855

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Charles J. Frank
SIGNATURE OF ENGINEER
10/17/94
DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Franklin Davis
SIGNATURE OF DEVELOPER
10-13-94
DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

John R. Roberts
DATE 10/19/94
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts
DATE 10/19/94
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

James R. Smith
PLANNING DIRECTOR
DATE 11/7/94
Aina M. Juvirami
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE 11/4/94

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Joyce M. Boyd
HEALTH OFFICER
DATE 11/2/94

APPROVED: DEPARTMENT OF PUBLIC WORKS, FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

James W. Shaw
DIRECTOR, PUBLIC WORKS
DATE 10/21/94
Charles J. Frank
CHIEF, BUREAU OF ENGINEERING
DATE 10/21/94

PROPERTY/SUBDIVISION		SECTION/AREA		PARCEL	
THE CEDARS				B	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
11195	14	B-2	43	C-74	GOC9.01
WATER CODE		SEWER CODE			
B02		3890000			