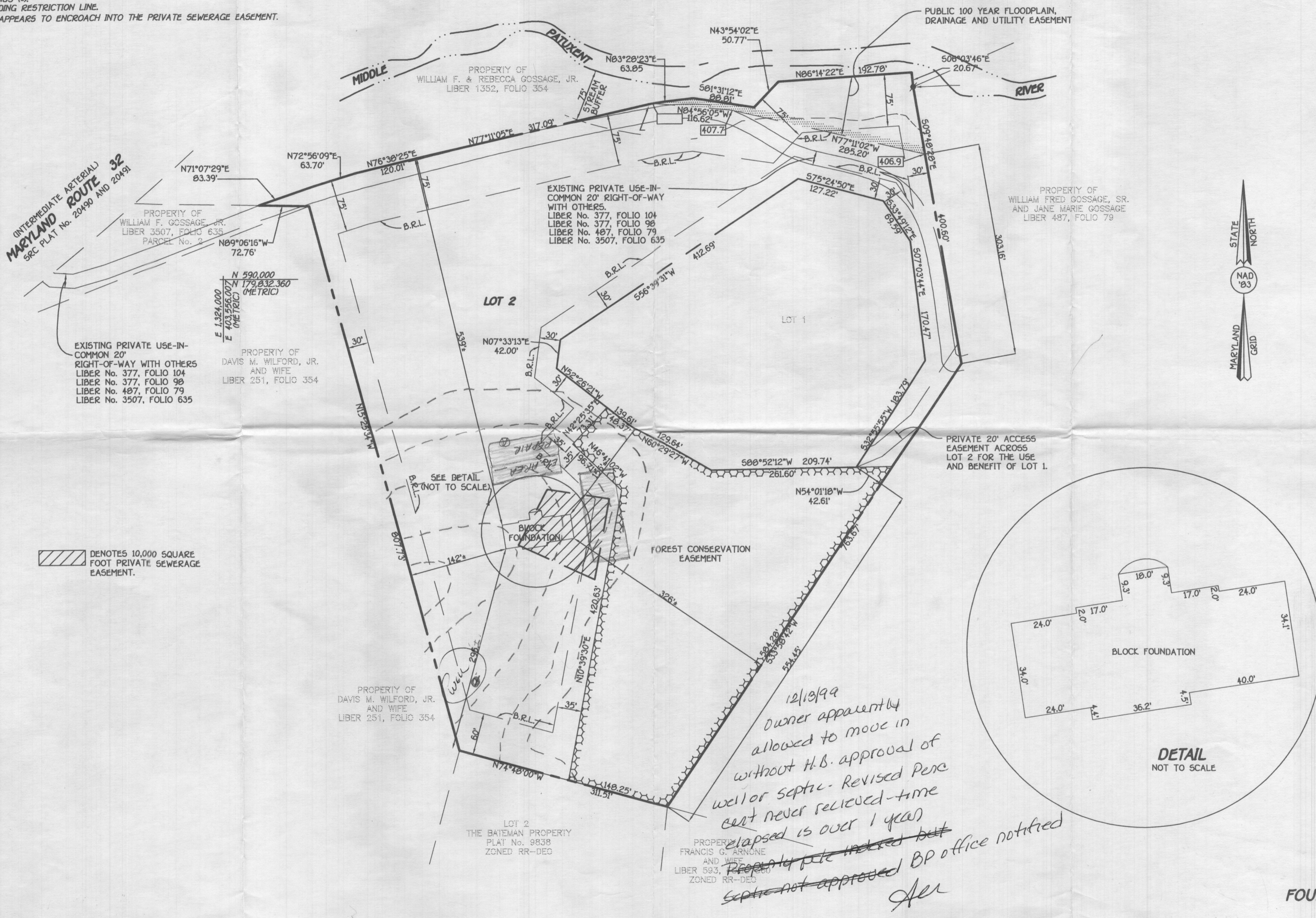
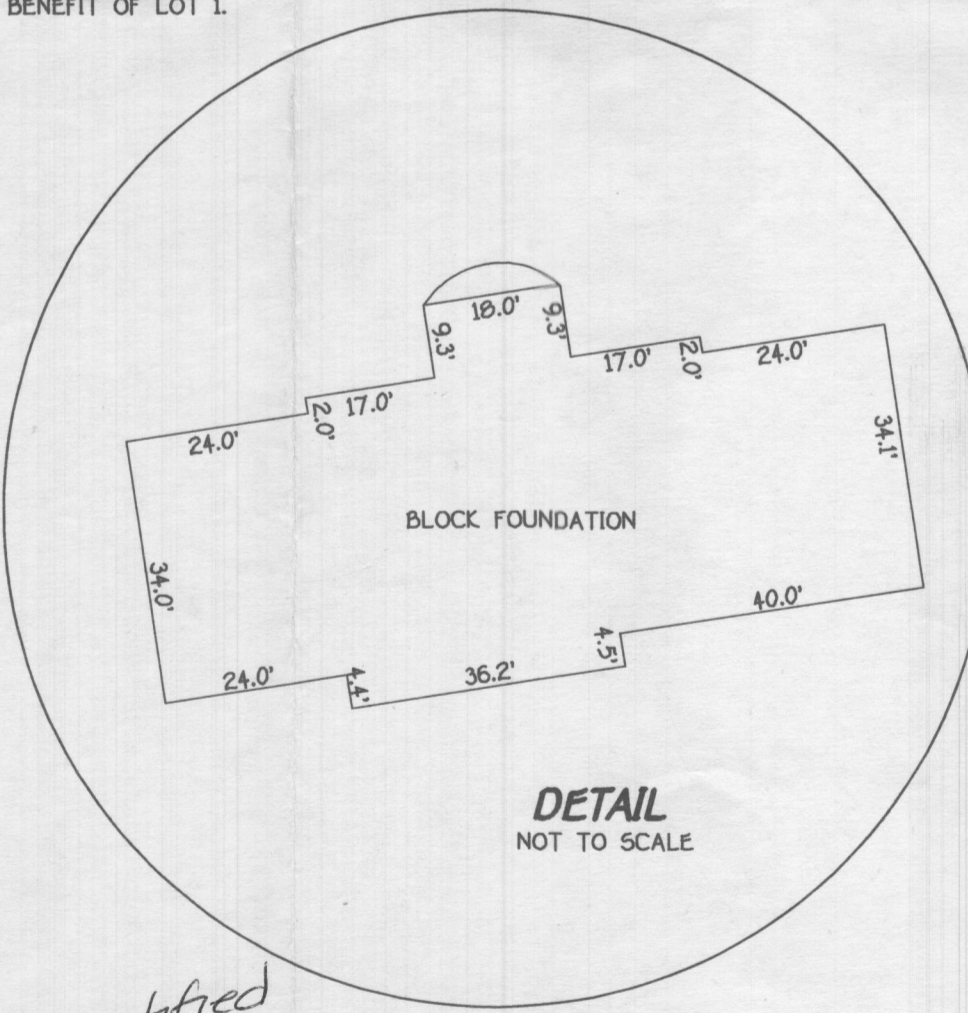


**GENERAL NOTES:**

- 1) THIS PLAT IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR RE-FINANCING. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS PLAT IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS PLAT DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINE, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE C ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 2400440015B, EFFECTIVE DATE: 12-4-1986.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF 1' PLUS OR MINUS (±).
- 4) B.R.L. = BUILDING RESTRICTION LINE.
- 5) FOUNDATION APPEARS TO ENCROACH INTO THE PRIVATE SEWERAGE EASEMENT.



/// DENOTES 10,000 SQUARE FOOT PRIVATE SEWERAGE EASEMENT.



*12/19/99  
Owner apparently allowed to move in without H.B. approval of well or septic. Revised Permit never received - time elapsed is over 1 year.  
~~Property file included but septic not approved~~ BP office notified  
Aer*

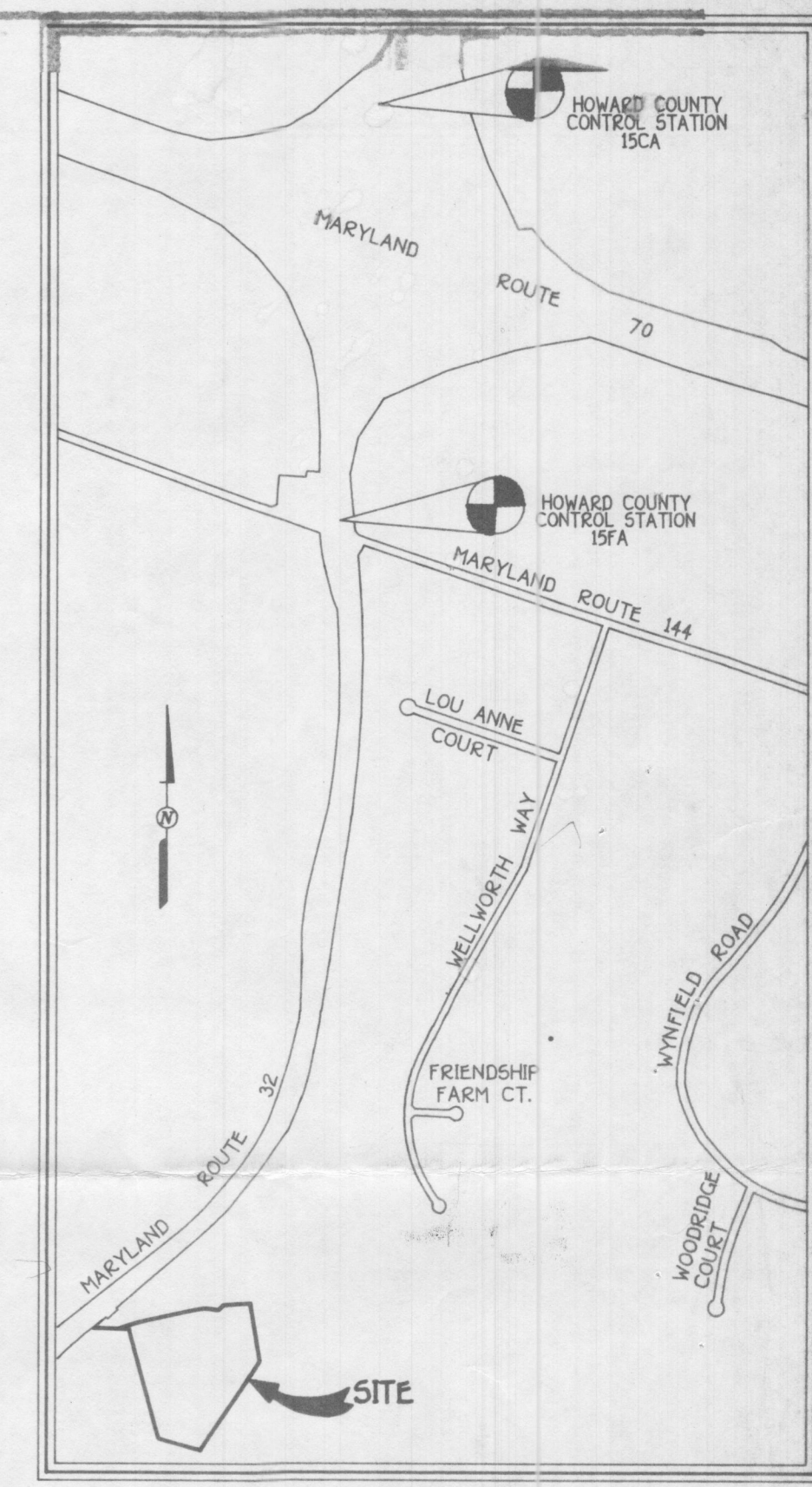
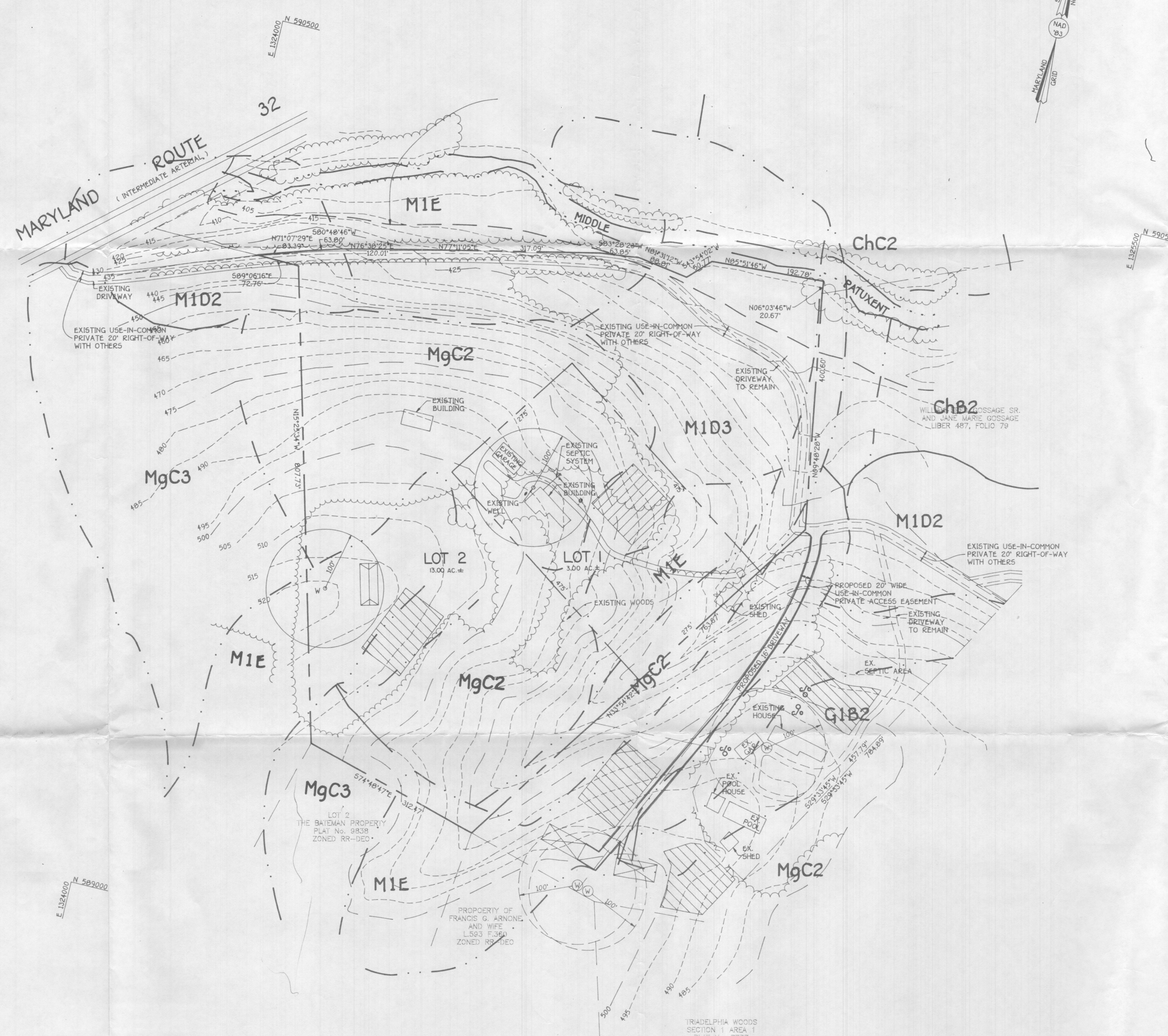
**LOT #2**  
TRIADELPHIA WOODS OVERLOOK  
LOTS #1 & #2  
THIRD ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
PLAT No. 12940

**FOUNDATION LOCATION DRAWING**

FOUNDATION LOCATION: 5-21-98  
FINAL LOCATION:  
BOUNDARY SURVEY:  
SCALE: 1" = 100'  
DATE: 5-22-98  
DRAWN BY: D.A. NEWTON  
CHECKED BY: M.L. ROBEL  
PROJECT No.: 30532

PROFESSIONAL LAND SURVEYOR DATE REG. \*

SOILS CHART	
SOIL	NAME
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded
ChC2	Chester silt loam, 8 to 15 percent slopes, moderately eroded
G1B2	Glencol loam, 3 to 8 percent slopes, moderately eroded
MgC2	Manor gravelly loam, 3 to 8 percent slopes, moderately eroded
MgC3	Manor gravelly loam, 8 to 15 percent slopes, severely eroded
M1D2	Manor loam, 15 to 25 percent slopes, moderately eroded
M1D3	Manor loam, 15 to 25 percent slopes, severely eroded
M1E	Manor loam, 25 to 45 percent slopes



- GENERAL NOTES:**
1. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES HAVE BEEN SHOWN.
  2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
  3. THE LOTS HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
  4. DENOTES PROPOSED DWELLING
  5. DENOTES APPROVED PERCOLATION HOLE
  6. DENOTES FAILED HOLE
  7. DENOTES PROPOSED WELL

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS,  
HOWARD COUNTY, HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
971 BALTIMORE NATIONAL PKZ, SUITE 100  
ELLCOTT CITY, MARYLAND 21042  
410-461-2995

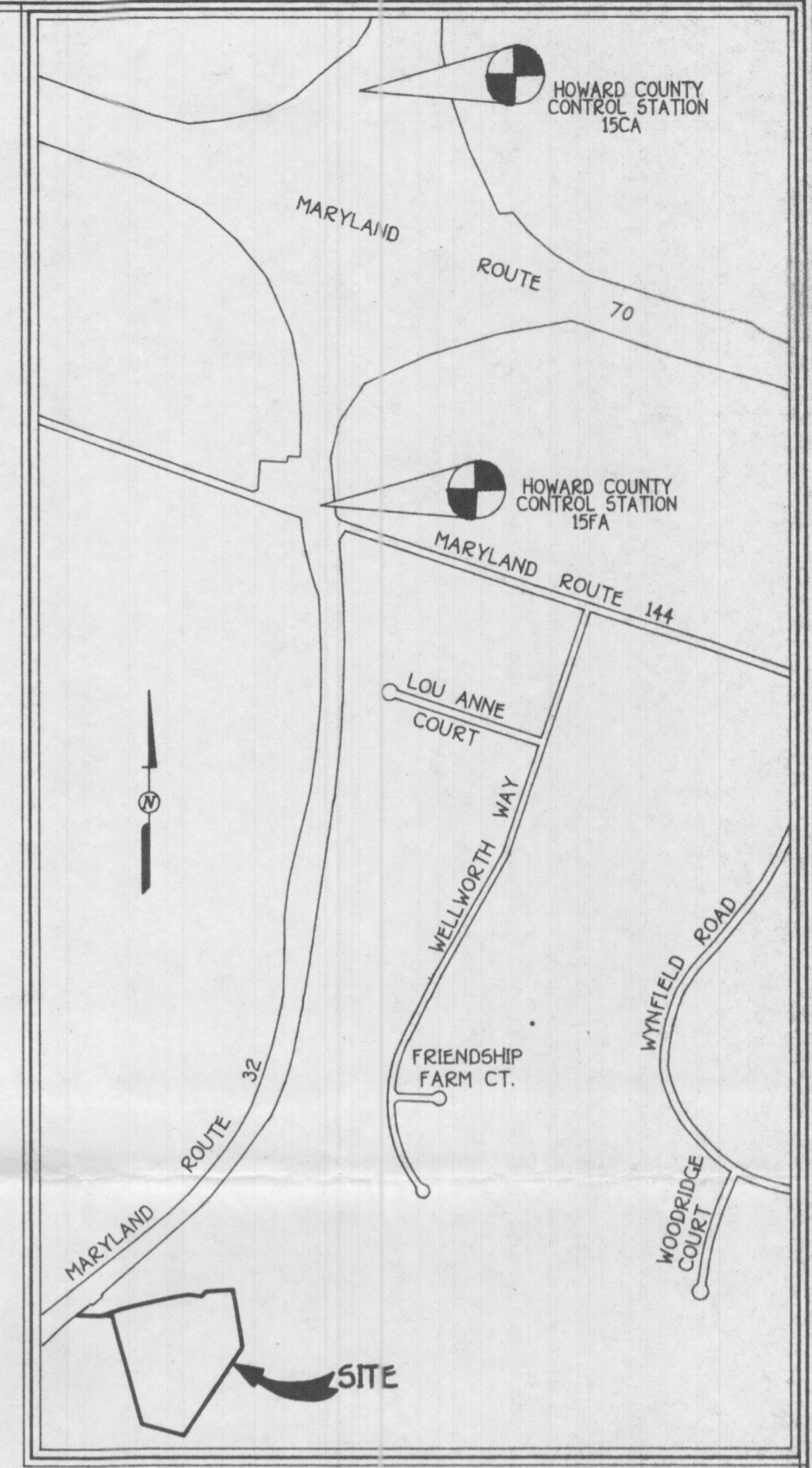
**OWNER / DEVELOPER**  
WILLIAM FREDERICK GOSSAGE, JR.  
3035 ROUTE 32  
WEST FRIENDSHIP, MD. 21794



**PERC CERTIFICATION PLAN**  
PROPERTY OF  
**FRED GOSSAGE, JR.**  
TAX MAP: 15 PARCEL: 76 GRID: 23  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DATE: NOVEMBER 6, 1996

0' 100' 150' 200'  
Scale: 1" = 100'

SOILS CHART	
SOIL	NAME
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded
ChC2	Chester silt loam, 8 to 15 percent slopes, moderately eroded
GIB2	Glenn loam, 3 to 8 percent slopes, moderately eroded
HgC2	Manor gravelly loam, 3 to 8 percent slopes, moderately eroded
HgC3	Manor gravelly loam, 8 to 15 percent slopes, severely eroded
MD2	Manor loam, 15 to 25 percent slopes, moderately eroded
MD3	Manor loam, 15 to 25 percent slopes, severely eroded
ME	Manor loam, 25 to 45 percent slopes



VICINITY MAP  
SCALE: 1"=1200'

**GENERAL NOTES:**

1. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF THE PROPERTY BOUNDARIES HAVE BEEN SHOWN.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
3. THE LOTS HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
4. [Symbol] DENOTES PROPOSED DWELLING
5. [Symbol] DENOTES APPROVED PERCOLATION HOLE
6. [Symbol] DENOTES FAILED HOLE
7. [Symbol] DENOTES PROPOSED WELL

RECEIVED  
HOWARD CO. HEALTH DEPT.  
ENVIRONMENTAL HEALTH  
1997 MAR 11 A 10:03

APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS,  
HOWARD COUNTY, HEALTH DEPARTMENT.  
*[Signature]* 2-20-97  
COUNTY HEALTH OFFICER DATE

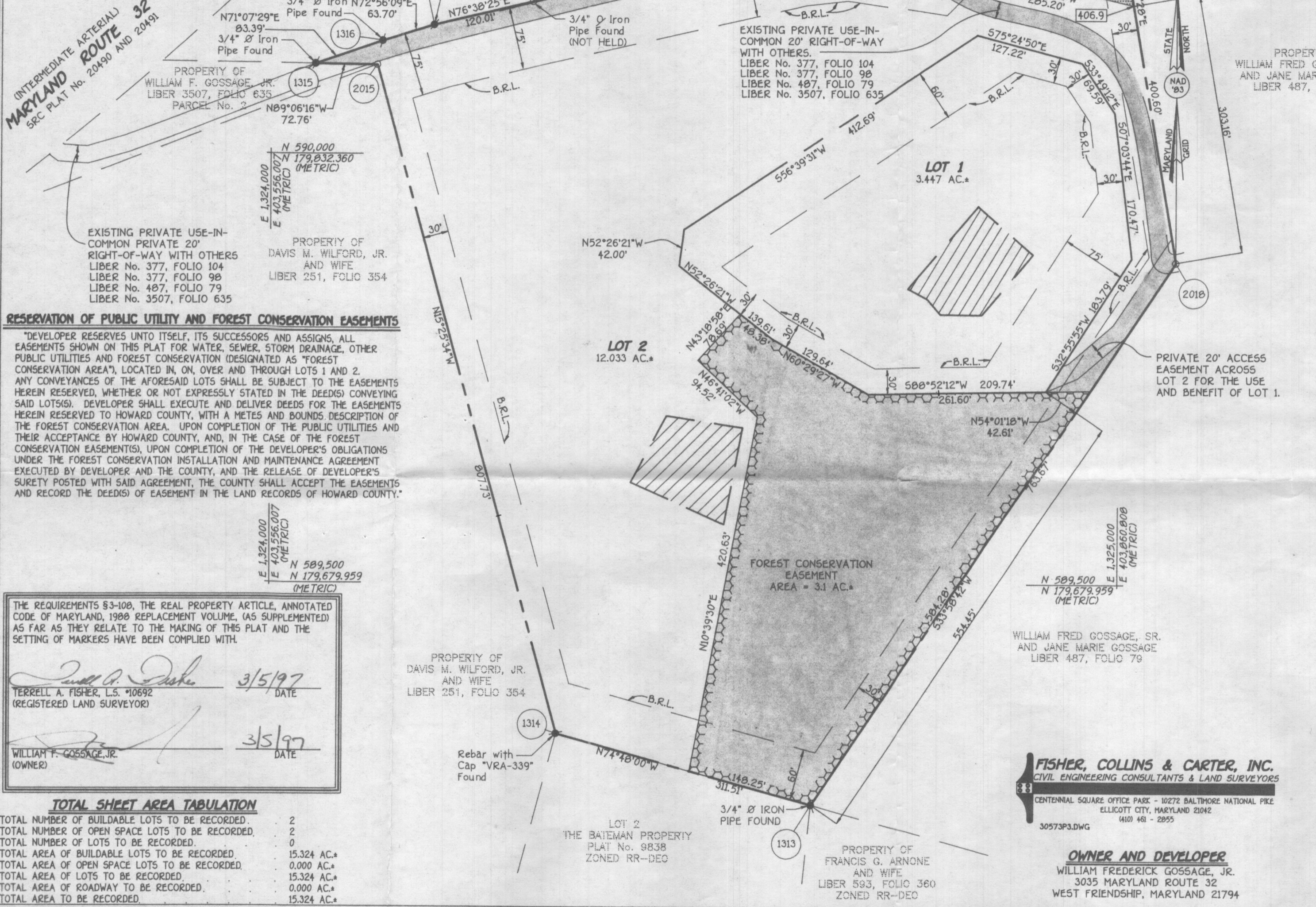
PERC CERTIFICATION PLAN  
PROPERTY OF  
**FRED GOSSAGE, JR.**  
TAX MAP: 15 PARCEL: 76 GRID: 23  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DATE: FEBRUARY 10, 1997  
0' 100' 150' 200'  
Scale: 1" = 100'

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
410-461-2095

**OWNER**  
WILLIAM FREDRICK GOSSAGE SR.  
3025 RTE. 32  
WEST FRIENDSHIP, MARYLAND 21794  
  
WILLIAM FREDRICK GOSSAGE JR.  
AND REBECCA L. GOSSAGE  
3025 RTE. 32 BOX 300 S  
WEST FRIENDSHIP, MARYLAND 21794

**DEVELOPER**  
BRITTEN PROPERTY PARTNERSHIP  
P.O. BOX 1371  
ELLCOTT CITY, MARYLAND 21041

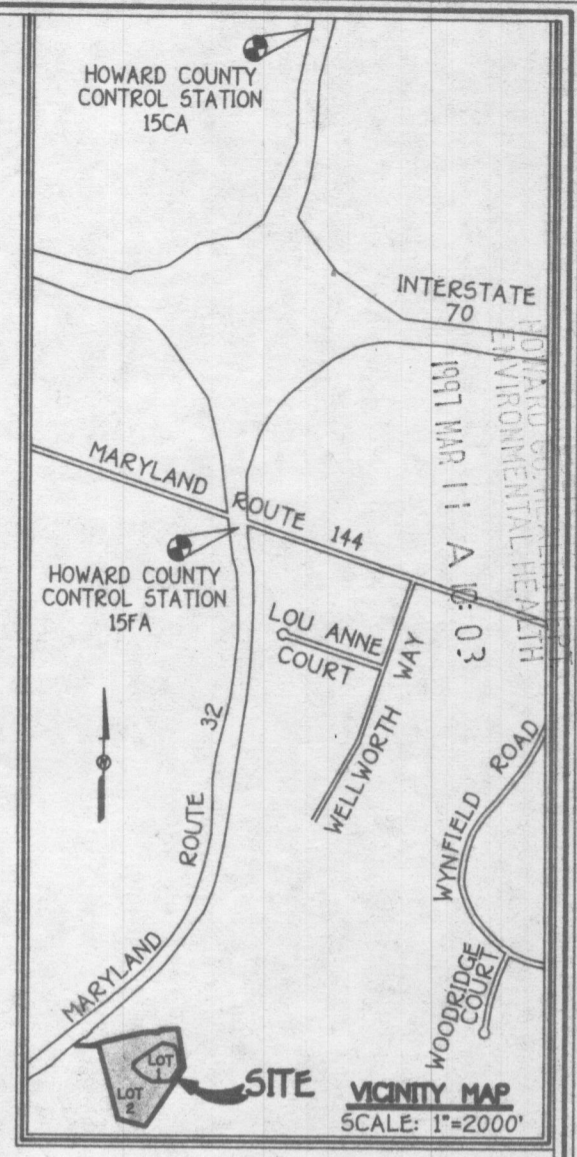
U.S. EQUIVALENT COORDINATE TABULATION			METRIC EQUIVALENT COORDINATE TABULATION		
POINT	NORTH	EAST	POINT	NORTH	EAST
1313	599243.266161	1324640.269915	1313	179601.706729	403751.61772
1314	599324.941607	1324339.656492	1314	179626.601455	403659.534618
1315	590104.710293	1324052.050640	1315	179864.275426	403571.872179
1316	590131.686721	1324130.952958	1316	179872.497858	403595.921653
1317	590150.378418	1324191.847124	1317	179878.195098	403614.482232
1333	590271.281416	1324998.826344	1333	179915.046406	403860.449991
1334	590279.108370	1324804.278711	1334	179917.456450	403801.151753
1335	590242.604404	1324769.072427	1335	179906.305635	403790.420857
1336	590255.700210	1324681.236788	1336	179910.297245	403763.648500
1337	590248.442847	1324617.803974	1337	179908.085196	403744.314140
2007	590291.832051	1324996.643640	2007	179921.310252	403859.784701
2011	590178.109220	1324308.612692	2011	179886.647464	403650.072449
2015	590103.573201	1324124.801754	2015	179863.928840	403594.046763
2018	589976.536290	1325067.066495	2018	179794.727851	403681.249630



**GENERAL NOTES**

- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENT RECORDATION OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- SUBJECT PROPERTY ZONED RR-DEO PER 9-18-92 COMPREHENSIVE ZONING PLAN.
- COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS No. 15CA AND No. 15FA
 

15CA	{ N 182533.6933 m.
	{ E 404139.3115 m.
15FA	{ N 181632.7968 m.
	{ E 404092.116 m.
- THIS PLAT IS BASED ON FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY 1995 BY FISHER, COLLINS AND CARTER, INC.
- B.R.L. DENOTES BUILDING RESTRICTION LINE AS STIPULATED BY CURRENT ZONING DISTRICT.
- DENOTES IRON PIN SET CAPPED "F.C.C. 106".
- DENOTES IRON PIPE OR IRON BAR FOUND.
- DENOTES ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHTS-OF-WAY.
- DENOTES CONCRETE MONUMENT SET WITH ALUMINUM PLATE "F.C.C. 106".
- DENOTES CONCRETE MONUMENT OR STONE FOUND.
- DENOTES EXISTING CENTERLINE OF STREAM
- ALL LOT AREAS ARE MORE OR LESS \*
- ALL DISTANCES SHOWN ARE BASED ON SURFACE MEASUREMENT AND NOT REDUCED TO NAD83 GRID MEASUREMENT.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLAND OR STREAM BUFFERS, UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY, MARYLAND.
- THERE IS AN EXISTING HOUSE ON LOT No. 1 TO REMAIN.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
  - WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
  - SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING;
  - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS;
  - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (25H LOADING);
  - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
  - STRUCTURE CLEARANCES - MINIMUM 12 FEET;
  - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- 350.7 DENOTES APPROXIMATE FLOOD LEVEL ELEVATION.
- DENOTES OUTLINE OF PUBLIC 100 YEAR FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT BASED ON (FEMA) FLOOD INSURANCE RATE MAP PANEL 15 OF 45 DATED DECEMBER 4, 1986.
- PORTION OF EXISTING GARAGE ON LOT 1 TO BE REMOVED.
- DENOTES FOREST CONSERVATION EASEMENT. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.



THE REQUIREMENTS §3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

*Terrell A. Fisher* 3/5/97 DATE  
TERRELL A. FISHER, L.S. \*10692 (REGISTERED LAND SURVEYOR)

*William F. Gossage, Jr.* 3/5/97 DATE  
WILLIAM F. GOSSAGE, JR. (OWNER)

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

SENT FOR SIGNATURE 9/29/97 DATE  
HOWARD COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DIRECTOR DATE

**OWNER'S CERTIFICATE**

WILLIAM F. GOSSAGE, JR., OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS: (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE; (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAY. WITNESS MY HAND THIS 26<sup>th</sup> DAY OF FEBRUARY, 1997.

*William F. Gossage, Jr.*  
WILLIAM F. GOSSAGE, JR.  
WITNESS

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 481 - 2955  
30573P3.DWG

**OWNER AND DEVELOPER**  
WILLIAM FREDERICK GOSSAGE, JR.  
AND JANE MARIE GOSSAGE  
LIBER 487, FOLIO 79  
3035 MARYLAND ROUTE 32  
WEST FRIENDSHIP, MARYLAND 21794

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT: THAT IT IS A SUBDIVISION OF ALL OF THE FIRST PARCEL OF LAND CONVEYED BY EUGENIA B. PEREZ AND CHARLES A. ROQUETA TO WILLIAM F. GOSSAGE, JR., BY DEED DATED AUGUST 26, 1994 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 3507 AT FOLIO 635, AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE SUBDIVISION BY HOWARD COUNTY, MARYLAND, AS SHOWN, IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, AS AMENDED, AND MONUMENTATION IS IN ACCORDANCE WITH THE HOWARD COUNTY SUBDIVISION REGULATIONS.

*Terrell A. Fisher* 3/5/97 DATE  
TERRELL A. FISHER, PROFESSIONAL LAND SURVEYOR No. 10692

RECORDED AS PLAT No. \_\_\_\_\_ ON \_\_\_\_\_  
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

**TRIADDELPHIA WOODS OVERLOOK**  
LOTS 1 AND 2  
TAX MAP No. 15, GRID \*23, PARCEL No. 76  
ZONING: "RR-DEO"  
THIRD ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

Scale: 1" = 100'  
DATE: MARCH 5, 1997  
SHEET 1 OF 1  
F97-137