

LAYOUT 1/23/08 INSP 4 2/28/08
INSP 2 2/4/08 INSP 5 _____
INSP 3 2/25/08 INSP 6 _____

ISSUE DATE: 12/13/07

PERMIT

P 528402

APPROVAL DATE: 2/28/08

A 520895

TAX ID # 06-584373

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

J. Joseph Gartland IS PERMITTED TO INSTALL ALTER

ADDRESS: 1835 Old Liberty Road, Westminster PHONE NUMBER: 410-875-2400

SUBDIVISION: Larenas Property LOT NUMBER: 2

ADDRESS: 7527 Old Columbia Rd PROPERTY OWNER: Carrigan Homes Inc

SEPTIC TANK CAPACITY (GALLONS): 1500 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): 1500^{SS} COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: _____

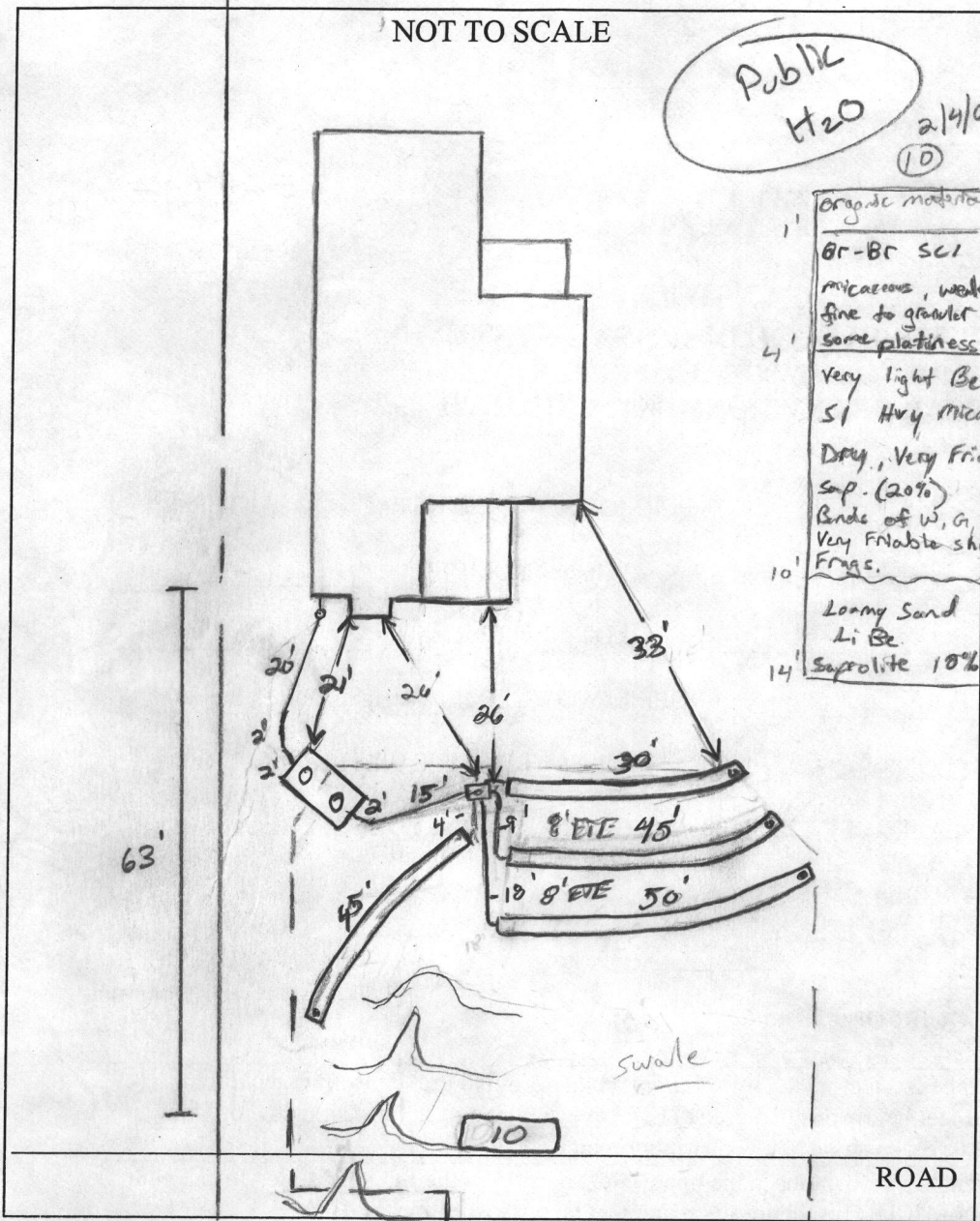
LINEAR FEET OF TRENCH REQUIRED: ~~248~~ 165

TRENCHES:	Trench to be 2.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 8.0 8.0 feet below original grade. Effective area begins at 5.0 feet below original grade. 3.0 feet of stone below distribution pipe.
LOCATION:	Install trenches on contour in the upper-most portion of the SDA possible. Install per direction of HCHD inspections personnel at layout inspection.
NOTES:	Septic system layout inspection required. Pump may not be necessary with proper plumbing.

PLANS APPROVED: Gabriel Creighton DATE: 10/19/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	4'	7-8'
NUMBER OF TRENCHES		4
TOTAL LENGTH		170'
ABSORPTION AREA		340' + SW
DISTRIBUTION BOX LEVEL		Yes
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	2-3'
BAFFLES	Yes
BAFFLE FILTER	—
MANHOLE LOC	Front/Rear
6" PORT LOC	none
WATERTIGHT TEST	—
SEPTIC TANK 2 LEVEL	
CAPACITY	— GAL
SEAM LOC	—
TANK LID DEPTH	—
BAFFLES	—
BAFFLE FILTER	—
MANHOLE LOC	—
6" PORT LOC	—
WATERTIGHT TEST	—

Baby in
slitted

PRE-CONSTRUCTION 1/23/08 SRA not staked. No layout given. (KW)

2/4/08 SRA staked. Position S.T. according to B.P. Place Dbox ~ 40'

INSTALLATION from house, about 20' down from top right corner septic. Install a 42' trench on center running diagonally towards upper-right cut in SRA. Install another 3 trenches running towards left lot line starting with a straight 32' trench following a 42' and 52' wrapping slightly to adjust for true' contour. Give an extra 1' SW credit to shorten trench length total to 165'. Perc hole dug to verify, c/p required before S.T. Call for f/u insp. (KW)

2/25/08 Tank set. Plumbing to Dbox installed. Bottom right two trenches

FINAL INSPECTOR H. Wolf DATE OF APPROVAL 2/28/08
 installed. Carving condition last 20' of 45' trench. (KW) 2/27/08 Sys. complete
 Need riser on tank. Need levels in Dbox (KW) 2/28/08 R/R on talk. Dbox
 checked (KW)

SEWAGE SYSTEM DESIGN DATA

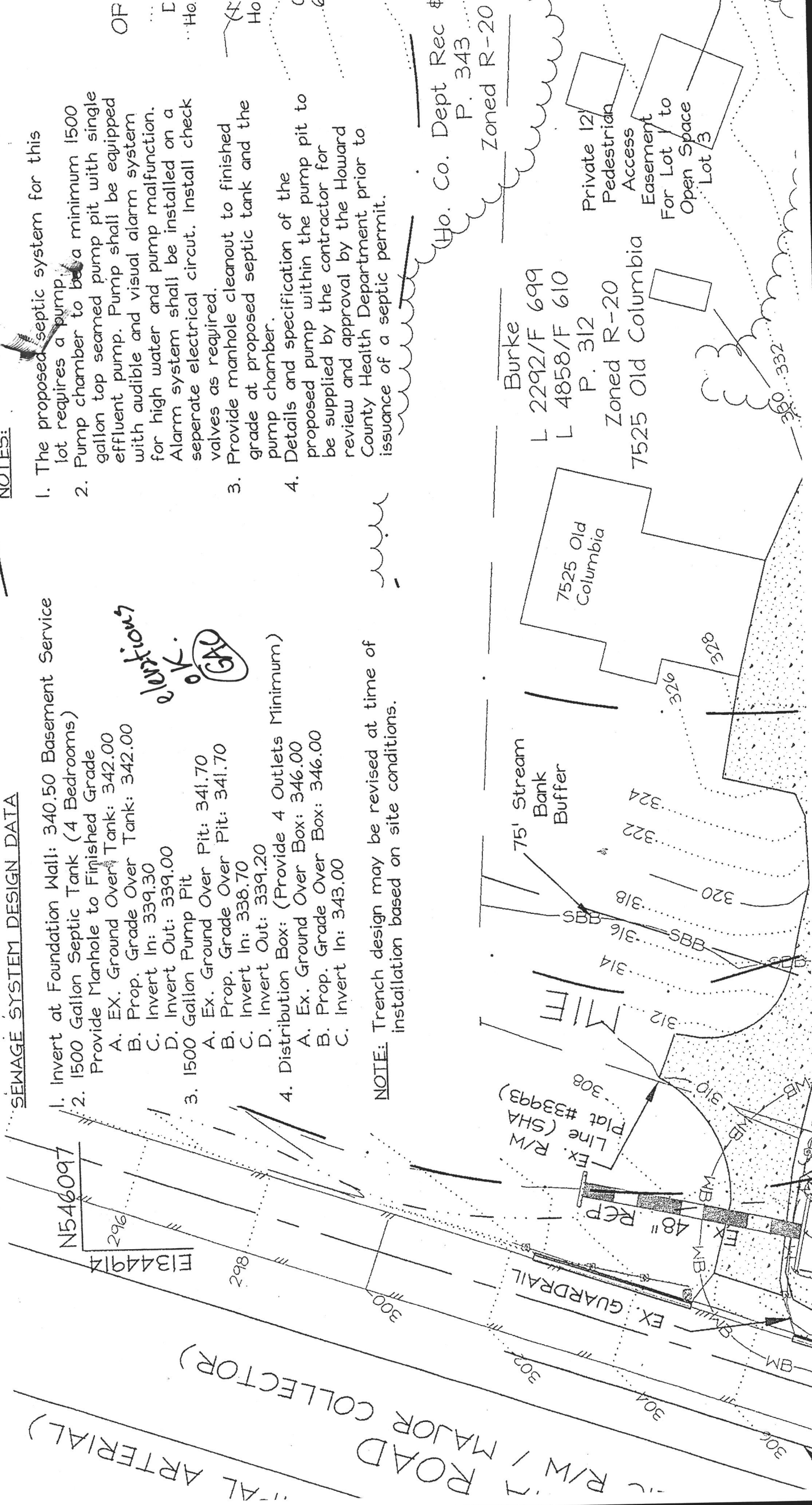
1. Invert at Foundation Wall: 340.50 Basement Service
2. 1500 Gallon Septic Tank (4 Bedrooms)
Provide Manhole to Finished Grade
 - A. Ex. Ground Over Tank: 342.00
 - B. Prop. Grade Over Tank: 342.00
 - C. Invert In: 339.30
 - D. Invert Out: 339.00
3. 1500 Gallon Pump Pit
 - A. Ex. Ground Over Pit: 341.70
 - B. Prop. Grade Over Pit: 341.70
 - C. Invert In: 338.70
 - D. Invert Out: 339.20
4. Distribution Box: (Provide 4 Outlets Minimum)
 - A. Ex. Ground Over Box: 346.00
 - B. Prop. Grade Over Box: 346.00
 - C. Invert In: 343.00

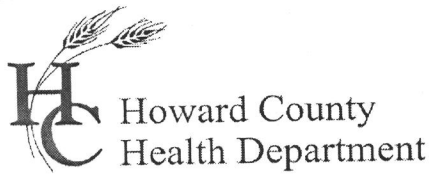
OK
GAD

NOTES:

1. The proposed septic system for this lot requires a pump.
2. Pump chamber to be a minimum 1500 gallon top seamed pump pit with single effluent pump. Pump shall be equipped with audible and visual alarm system for high water and pump malfunction. Alarm system shall be installed on a separate electrical circuit. Install check valves as required.
3. Provide manhole cleanout to finished grade at proposed septic tank and the pump chamber.
4. Details and specification of the proposed pump within the pump pit to be supplied by the contractor for review and approval by the Howard County Health Department prior to issuance of a septic permit.

NOTE: Trench design may be revised at time of installation based on site conditions.





Bureau of Environmental Health
7178 Gateway Drive Columbia, MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

May 6, 2008

Carrigan Homes, Inc.
9812 Caitlins Court
Ellicott City, MD 21042

SENT BY FACSIMILE 410-465-5608

RE: Larenas Property, Lot2
7527 Old Columbia Road
Laurel, MD 20723
BP# B07004052
PUBLIC WATER

Dear Sir/Madam:

This is to advise you that the septic system for the above referenced property has been installed and inspected. **Final approval of the septic system was granted on 02/28/2008.**

The property is served by public water and is therefore exempt from the Health Department water sampling requirements.

By issuance of this letter, this office recommends release of the Use and Occupancy permit for the referenced property.

Approving Authority,

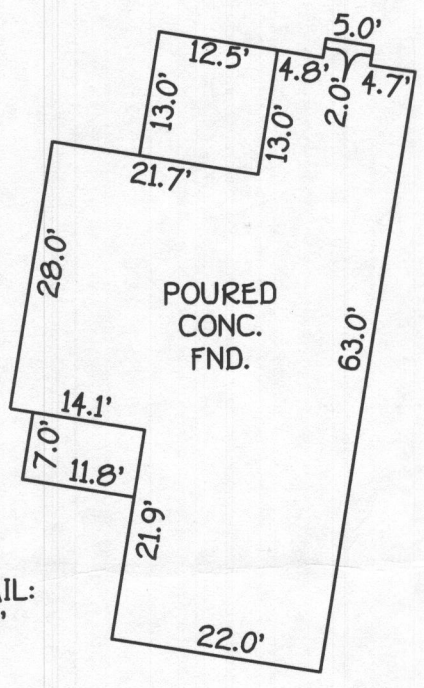
Brian Baker, R. S.
Well & Septic Program

mlb
cc: Building Inspector's Office
File

7527 Old Columbia Rd. # B07004052

GENERAL NOTES:

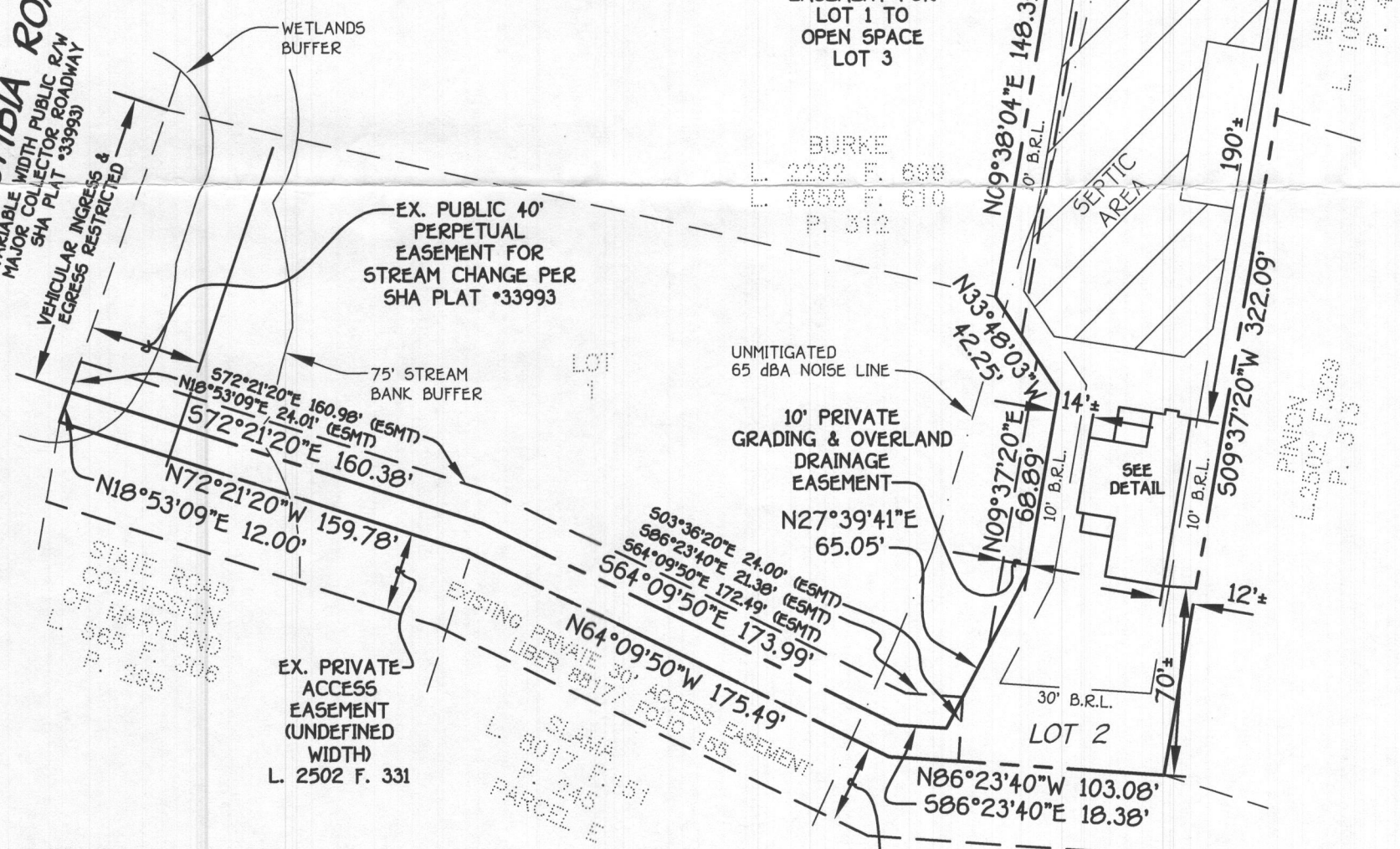
- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE C ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 2400440038B EFFECTIVE DEC. 4, 1986.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1'±
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.



12/12/07
Wall Check OK
(Signature)

DETAIL:
1"=20'

OLD COLUMBIA ROAD
(VARIABLE WIDTH PUBLIC R/W
MAJOR COLLECTOR ROADWAY
SHA PLAT *33993)
VEHICULAR INGRESS &
EGRESS RESTRICTED



Mark L. Bobel 12/06/07
PROFESSIONAL LAND SURVEYOR DATE
REG. # 339

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2855

LOT 2
LARENAS PROPERTY
LOTS 1 & 2 AND
OPEN SPACE LOT 3
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PLAT *19337

*7527 OLD COLUMBIA ROAD
B.R.L. = BUILDING RESTRICTION LINE
TOP OF FND. ELEV. = 352.6±

HOUSE LOCATION DRAWING

FOUNDATION LOCATION: 12/4/07
FINAL LOCATION: _____
BOUNDARY SURVEY: _____

SCALE: 1"=60'
DATE: 12/06/07
DRAWN BY: V.L.J.
CHECKED BY: M.L.R.
PROJECT No.: 07078-6001