



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000290

Building Address: 13834 Mill Creek Court
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. #: _____ SDP/WP/BA #: GP-19-044
 Census Tract: _____ Subdivision: Mill Creek
 Section: _____ Area: _____ Lot: 6
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family house
 Estimated Construction Cost: \$ 230,000
 Description of Work: New 2 story "Stratford Hall" 4.5' B, 2 car garage, 1st floor Bedroom and finished lower level (Rec rm + Bath rm)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Crist Gagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: ccagle@NVRInc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>54 x 54</u>	
Area of construction (sq. ft.):	2 nd floor: <u>48 x 54</u>	
Use group:	Basement: <u>54 x 54</u>	
Construction type:	<input checked="" type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:	
Roadside Tree Project Permit #	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
	Footings:	
	Roof:	
	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>G1900027</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT NV Homes
 Title/Company

Jim Kerwin
 Print Name
2/1/2019
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>2/1/19</u>	<u>H. G. Swab</u>

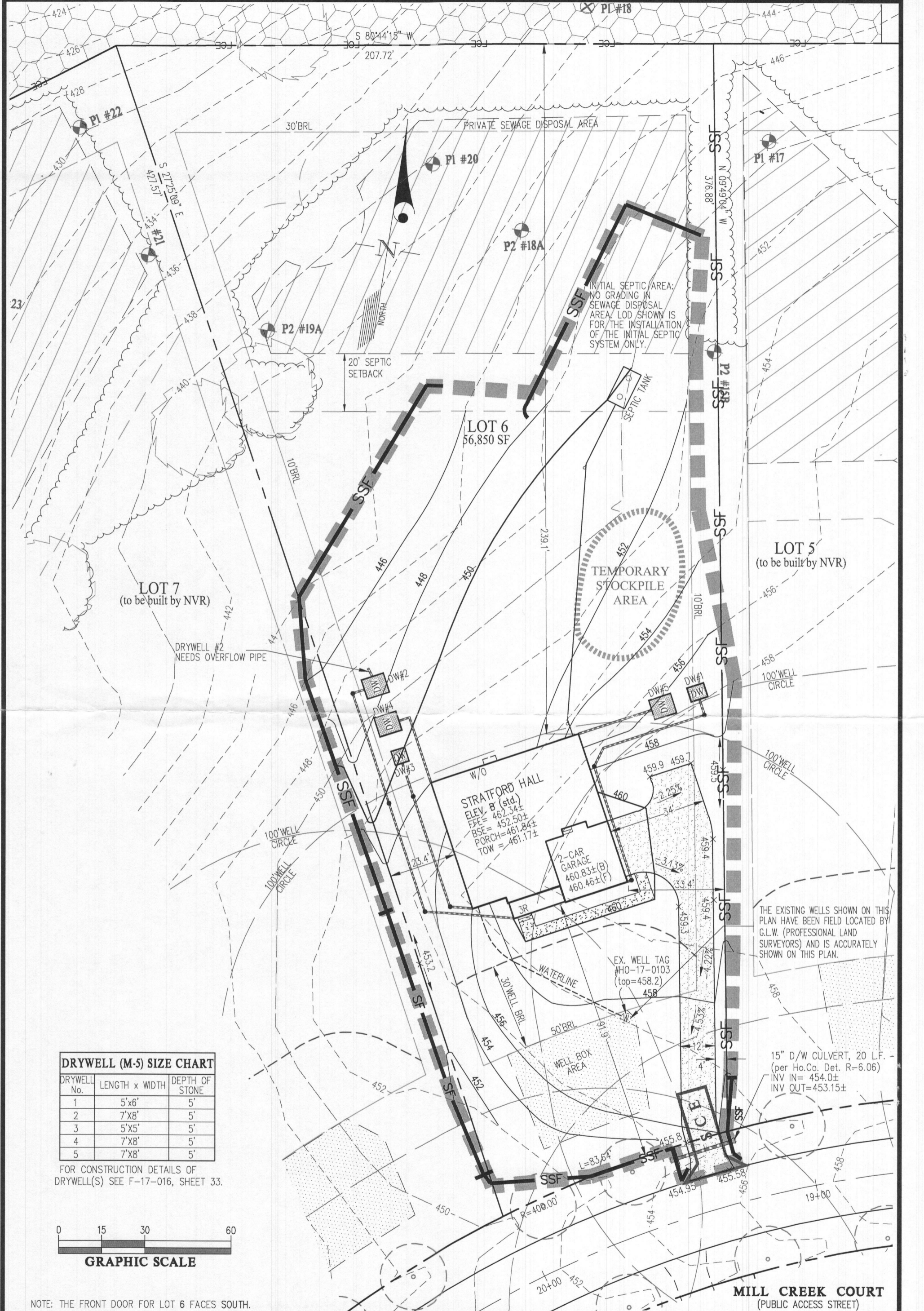
Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>150.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>241303</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

MITHU → Yes



LOT 7
(to be built by NVR)

LOT 6
56,850 SF

LOT 5
(to be built by NVR)

DRYWELL #2
NEEDS OVERFLOW PIPE

STRATFORD HALL
ELEV. B (std.)
FFE = 462.34±
BSE = 452.50±
PORCH = 461.84±
TOW = 461.17±

2-CAR GARAGE
460.83±(B)
460.46±(F)

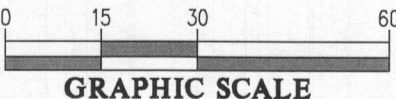
THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

15" D/W CULVERT, 20 L.F.
(per Ho.Co. Det. R-6.06)
INV IN = 454.0±
INV OUT = 453.15±

DRYWELL (M-5) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	5'x6'	5'
2	7'x8'	5'
3	5'x5'	5'
4	7'x8'	5'
5	7'x8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.



NOTE: THE FRONT DOOR FOR LOT 6 FACES SOUTH.

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR : NVR INC. 9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956	CRAWFORD SUBDIVISION LOT 6 (13834 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.	17071
	DRN.			ZONING	RR-DEO
	CHK.			TAX MAP/GRID	34&39-19&6
L:\CADD\DRAWINGS\17071\PLANS BY GLW\LOT PLANS\LOT 06\17071 MC_PLOT PLAN LOT 06.dwg				DATE	Dec. 2018
				SCALE	1"=30'
				SHEET	1 OF 1

13834 Mill Creek Court
Lot 6

Heath Dept

B19000290



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

STRATFORD HALL

	FULL BASEMENT										CRAWL SPACE										STANDARD DETAILS			
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE ECC, SAA, SAB	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH		OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE ECC, SAA, SAB	
SPEC SHEET	55-1											55-1												AD-1
GENERAL NOTES	2											2												AD-1b
SCHEDULES	3											3												FD-1
ELEVATIONS		4,5	6	7	8	4	10,11,11,2,12,1,2,2	13					4,5	6	7	8	4	10,11,11,2,12,1,2,2	13					FD-2
FOUNDATIONS	14	14	15,1	15,1	15,2	15,2			14	14	16	17	17	18,1	18,1	18,2	18,2			17	17	19		FD-2b
FOUNDATION GRADE BEAMS	20										20,21	20												FD-3
FOUNDATION HOLD DOWNS	22,23,24,25											22,23,24,25												JT-1
PLUMBING	26											26												JT-3
BASEMENT FLOOR PLAN	27,28											27,28	29	29	30,1	30,1	30,2	30,2		31,1	31,1	31,2		JT-3b
FIRST FLOOR PLAN	29	29	30,1	30,1	30,2	30,2			31,1	31,1	31,2	29	29	30,1	30,1	30,2	30,2							RF-1
SECOND FLOOR PLAN	32,1,33	32,1	33	32,1	33	33						32,1,33	32,1	33	32,1	33	33							RF-1b
BUILDING SECTIONS THROUGH FOYER	34	34	35	35	35	35						34	34	35	35	35	35							ET-1
BUILDING SECTIONS THROUGH GARAGE	36	36	37,1	37,1	37,1	37,1			36	37,2	37,2	36	36	37,1	37,1	37,1	37,1		36	37,2	37,2			ET-1b
STAIR SECTIONS	38,39,40											38,39,40												ET-1c
KITCHENS - LAUNDRY	41,42,43											41,42,43												ET-1e
BATH - ELEVATIONS	44											44												ET-1f
BASEMENT ELECTRICAL	45,46,1,46,2																			44,1	44,1	44,2		ET-2
FIRST FLOOR ELECTRICAL	47	47	48	48	48	48			44,1	44,1	44,2	47	47	48	48	48	48			44,1	44,1	44,2		ET-2b
SECOND FLOOR ELECTRICAL	50	50	51	51	51	51						50	50	51	51	51	51							MD-1
FIRST FLOOR FRAMING	52								52	53,2	53,2,53,3	52										53,2	53,1,53,3	MD-2
SECOND FLOOR FRAMING	54											54												MD-3
ROOF FRAMING		55	56	57	58	59			60	60	60		55	56	57	58	59		60	60	60			DR-1
TRUSS BRACING	61,62											61,62												DR-2
WALL BRACING - 90 MPH	63,65											63,65												DR-3
WALL BRACING - 100 MPH	64,66											64,66												FP-1
HVAC LAYOUT - BASEMENT FOUNDATION - 5XN	67																							IT-1
HVAC LAYOUT - BASEMENT FOUNDATION - 5XS	68																							IT-1b
HVAC LAYOUT - CRAWL FOUNDATION - 5XN												69												IT-1c
HVAC LAYOUT - CRAWL FOUNDATION - 5XS												70												IT-2
HVAC LAYOUT - FIRST FLOOR	71																							ST-1
HVAC LAYOUT - FIRST FLOOR												72												ST-2
HVAC LAYOUT - SECOND FLOOR - 5XN	73											73												WS-1
HVAC LAYOUT - SECOND FLOOR - 5XS	74											74												KT-1
																								SP-1
																								SP-2
																								SP-3
																								SEP-1
																								SEP-2
																								SEP-3
																								SEP-4
																								F-1
																								FC-1
																								FC-2
																								FC-4
																								WB-1
																								WB-2
																								DW-2

FOOTPRINT	
BASE HOUSE:	
WIDTH:	54'-0"
DEPTH:	54'-4"
MAXIMUM:	
WIDTH:	103'-0"
DEPTH:	66'-4"

BASE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
2ND FLOOR (BASE SF)	2133 SF
	4284 SF

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	34 SF
1ST FLOOR ONE CAR GARAGE (DEDUCT SF)	6 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
TWO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	448 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
FINISHED BASEMENT TWO CAR SIDE ATTACHED GARAGE (DEDUCT SF)	7 SF
FINISHED BASEMENT ONE CAR GARAGE (DEDUCT SF)	6 SF

UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT (BASE SF)	2181 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
UNFINISHED BASEMENT ELEV. 'B' OR 'L' (ADD. SF)	40 SF
UNFINISHED BASEMENT ONE CAR SIDE ATTACHED GARAGE (DEDUCT SF)	6 SF

SET - VERSION
11900 - 01

CS-1

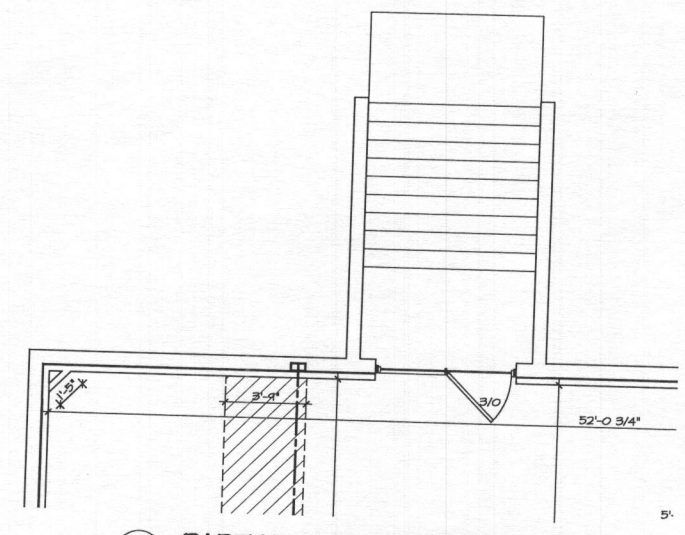
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NOTES:
 1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

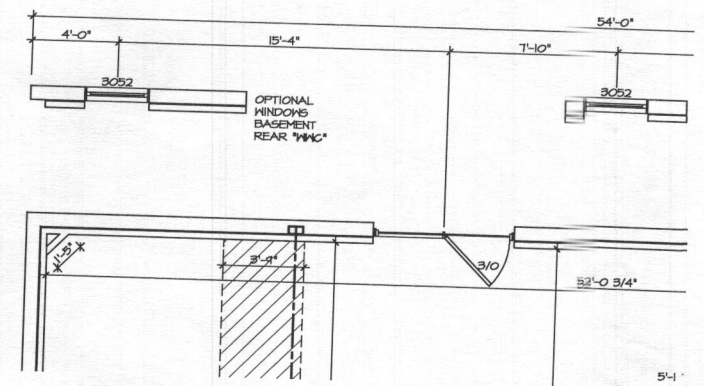
LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	BEAM-HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

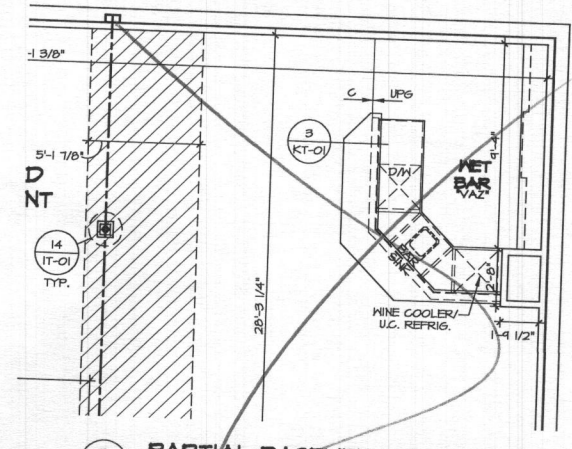
SEE FC DETAILS FOR FRAMING CONNECTORS



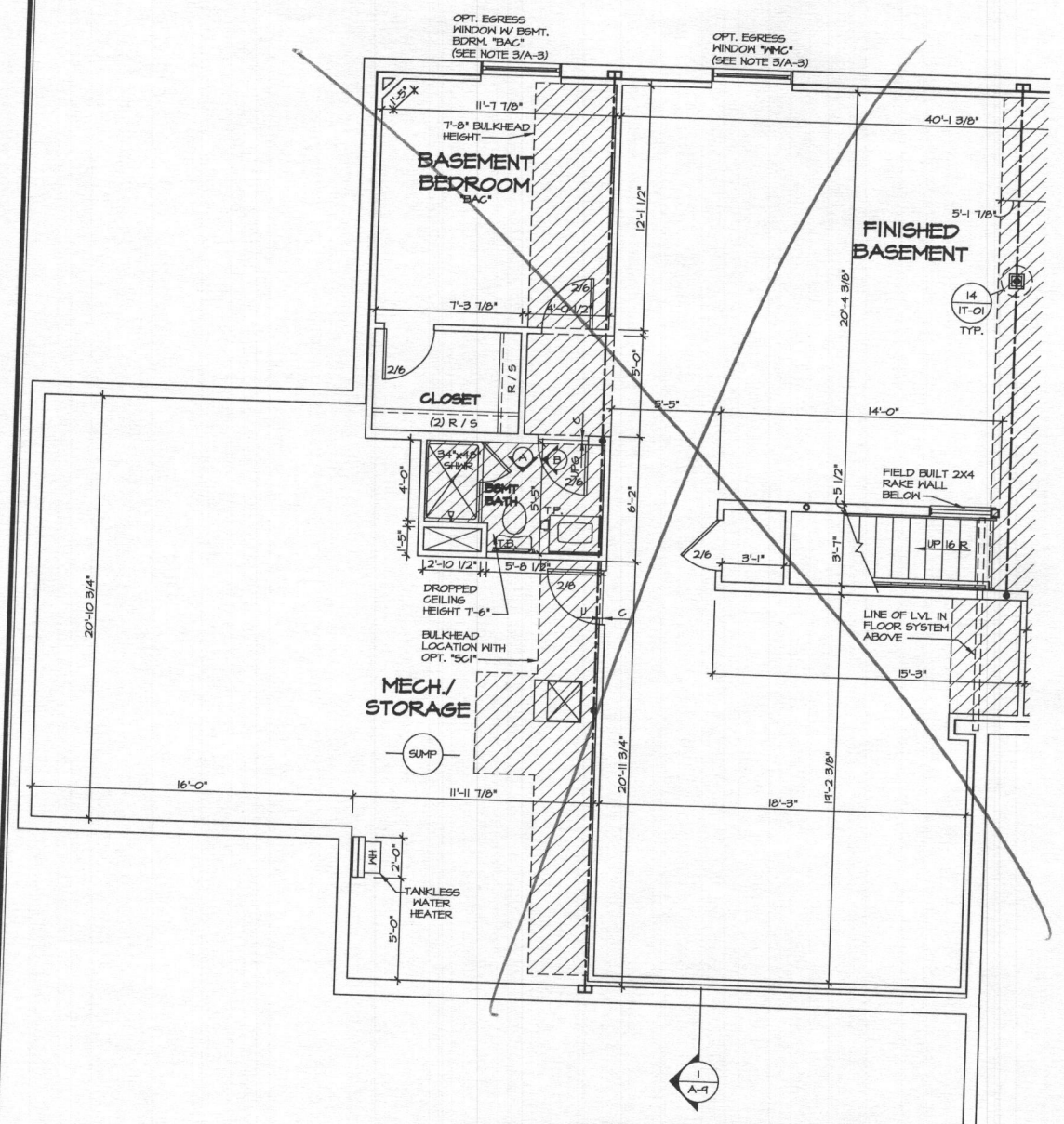
3 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DOUBLE PATIO DOOR AREAWAY HELLED EXIT "DCC"



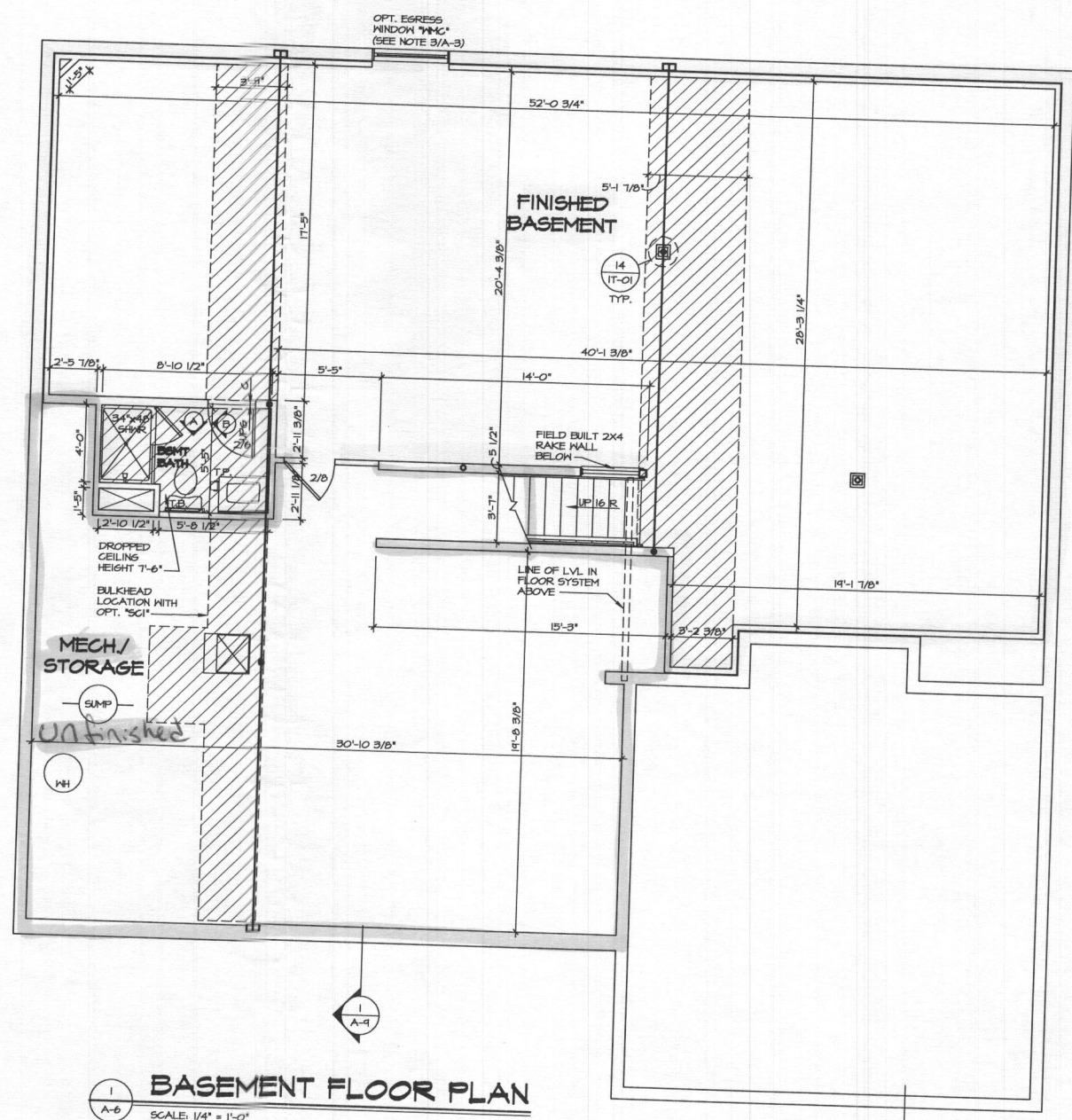
4 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DOUBLE PATIO DOOR WALKOUT BASEMENT "DCC"



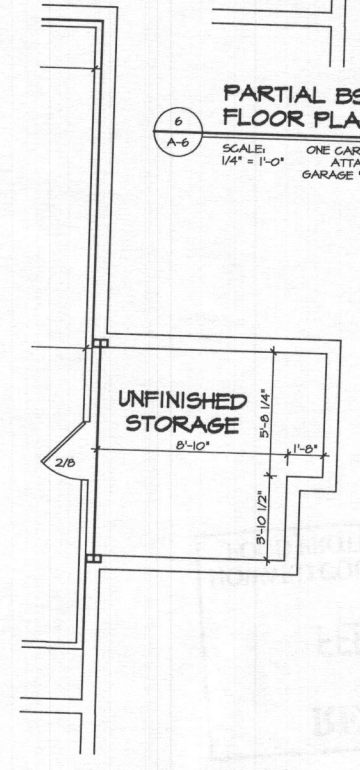
5 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BASEMENT NET BAR "VAZ"



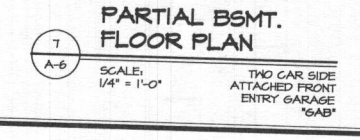
2 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED BASEMENT AREA #2 "MEC" BEDROOM BASEMENT "BAC" SUITE FIRST FLOOR "MSR" TANKLESS WATER HEATER "HW", "HW"



1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



6 PARTIAL BSMT. FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 ONE CAR SIDE ATTACHED GARAGE "GAA"



7 PARTIAL BSMT. FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE "GAB"

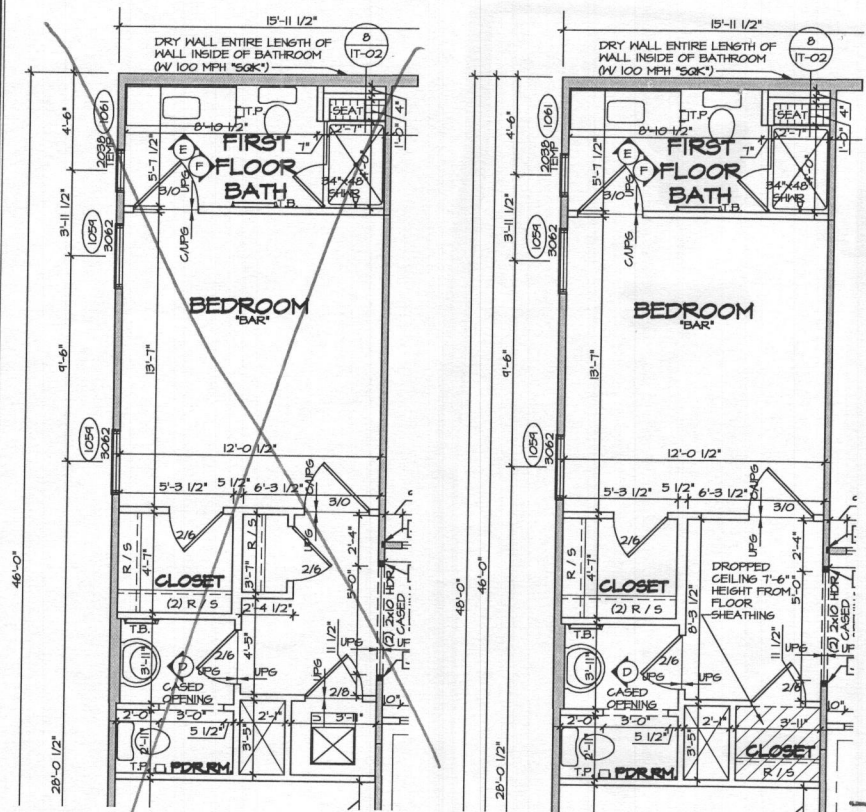
REVISIONS

REV. NO.	DATE	DESCRIPTION
1	01/24/17	BRK - TANKLESS WATER HEATER PROJECT DNR IIRH
2	01/24/17	TM - STANDARD DETAILS 9.0
3	5/17/17	MS6 - REVISED SUMP LOCATION (PAR M46566)
4	5/25/17	ATK - ADDED EGRESS WINDOW IN OPT. BSMT. BRKH. PER PAR # 46000
5	5/25/17	ATK - REDUCED BASEMENT BULKHEAD AT STAIR FOR IVAC (PAR ID 46474)
6	6/20/17	ATK - ADDED BASEMENT BULKHEAD AT STAIR FOR IVAC (PAR ID 46474)
7	6/20/17	MS6 - ADDED RAKE WALL NOTE AT BOTTOM OF STAIRS (PAR M46566)
8	7/20/17	JAB - CHANGED ROOM NAME "CLOS" TO "CLOSET" - ROUGH AUDIT
9	7/20/17	JAB - REVISED GARAGE SPACE UNDER "HBR" TO BE BASEMENT AREA (PROJ. 15247)

NVR, Inc. certifies that the information contained herein is true and correct to the best of our knowledge and belief, and that we are not providing any warranty, express or implied, for the information contained herein. The information is provided for your information only and is not to be used for any other purpose without the express written consent of NVR, Inc.

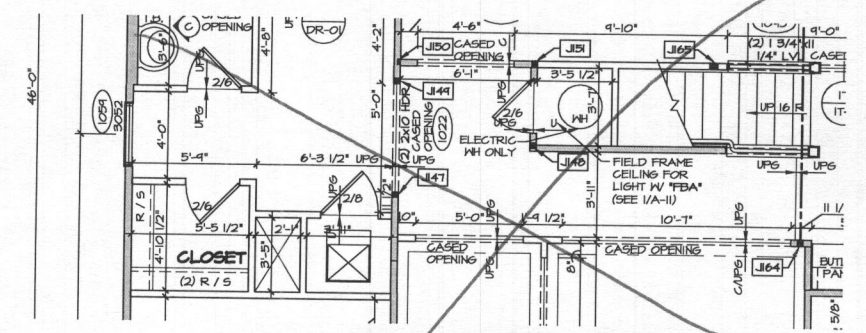
NVR
 NVR, Inc.
 Architectural Services
 5285 Wake Archdale Rd, Suite 100
 Frederick, MD 21704

MODEL	SET NO. 11400	DATE: 3/7/2016
DRAWING TITLE	VERSION 01	OPTION FEA
DRAWN BY BIM		MAC
DRAWING TITLE		
OPTION DESCRIPTION		
FULL BASEMENT		
FINISHED BASEMENT		
SHEET NO.	A-6	28

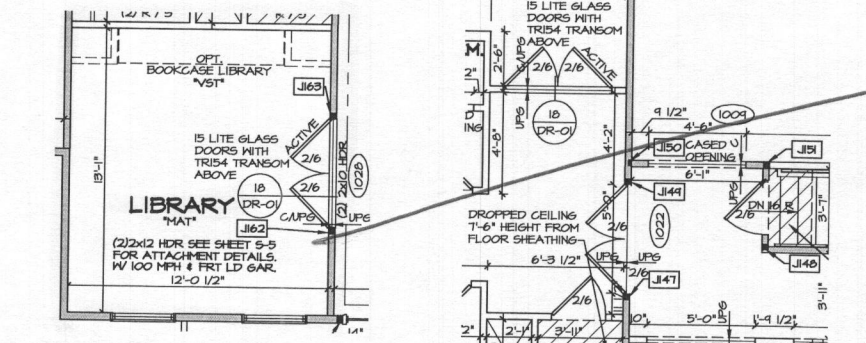


2 PART. FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" 1ST FLOOR BEDROOM "BAR" FOUNDATION GRAVEL "FGA"

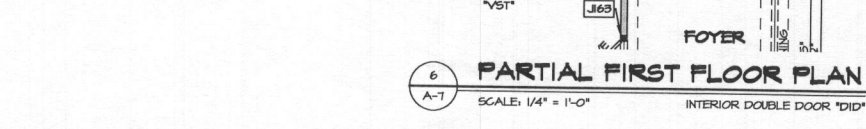
3 PART. FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" 1ST FLOOR BEDROOM "BAR" FOUNDATION BASEMENT "FBA"



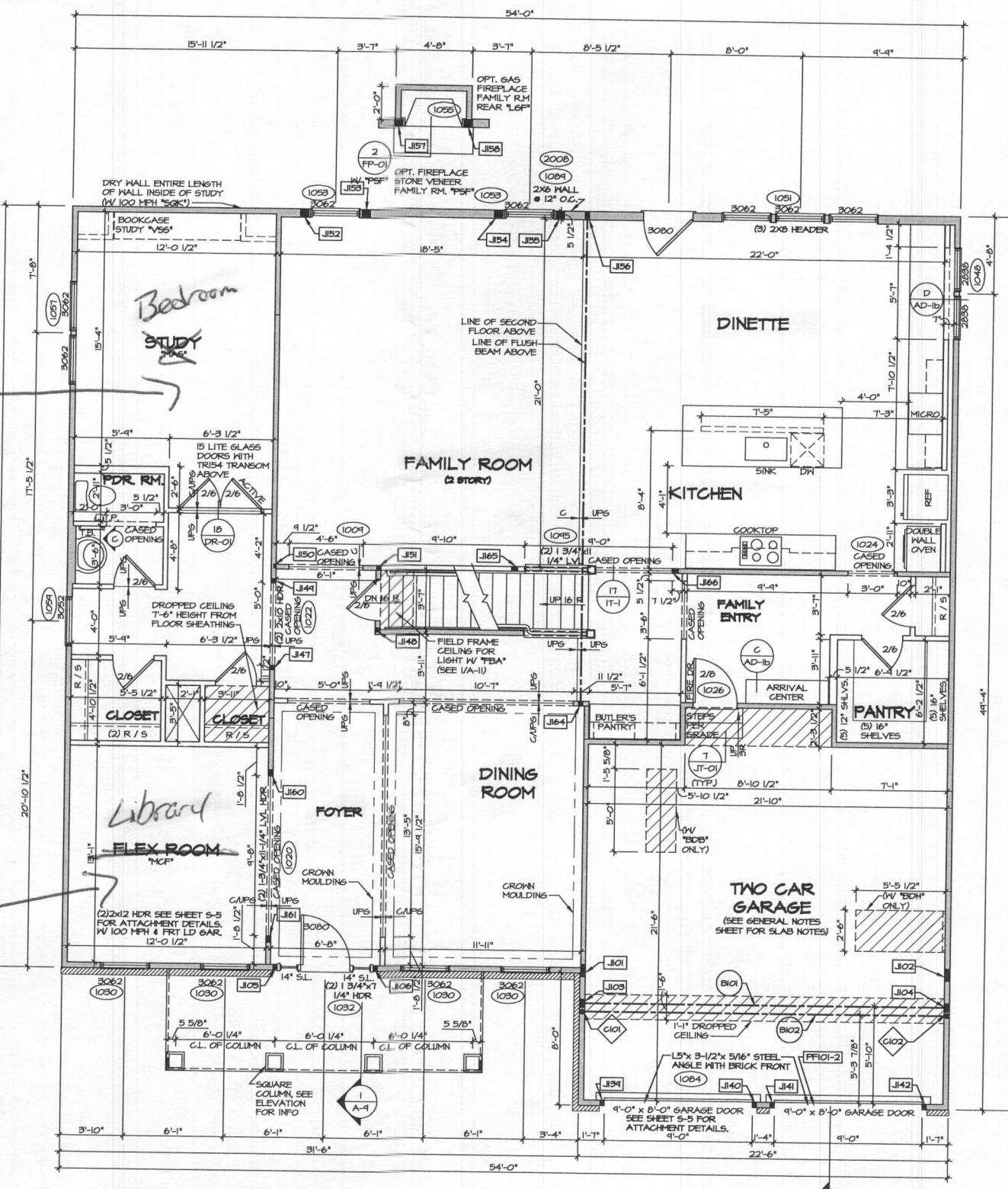
4 PART. FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" FOUNDATION GRAVEL "FGA" STUDY "MAS"



5 PARTIAL FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" SHOWN W/ ELEVATION A "ELA" LIBRARY "MAT"

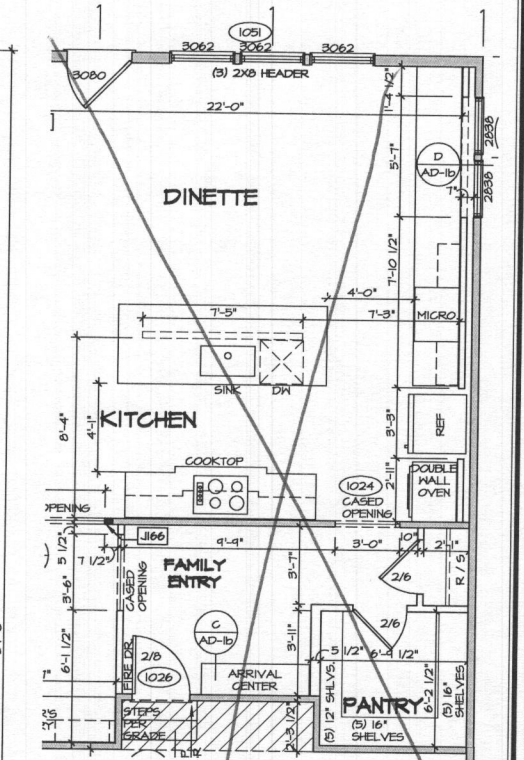


6 PARTIAL FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" INTERIOR DOUBLE DOOR "IDD"

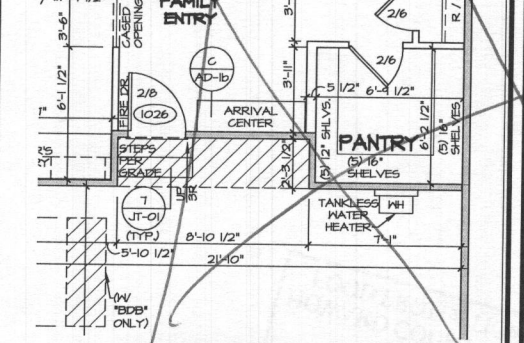


1 FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" ELEVATION A "ELA" FOUNDATION BASEMENT "FBA" STUDY "MAS" FLEX ROOM "MCP"

- NOTES:**
- GENERAL NOTES (N-1)
 - SCHEDULES (N-2)
 - L.V.L. NAILING SCHEDULE (N-3)
 - SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.
- NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0" 1/2" UNLESS OTHERWISE NOTED
- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - L.V.L.
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS



7 PARTIAL FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" KITCHEN CABINET HOOD (B) "KFR"



8 PART. FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" FOUNDATION GRAVEL "FGA" TANKLESS WATER HEATER "TW", "TH"

REV. NO.	DATE	REMARKS
1	2/21/16	ATK - ADDED NOTE FOR DROPPED CEILING HEIGHT PER PAR 50972
2	2/22/16	ATK - REVISED BALNEO ABOVE GARAGE ENTRY DOOR (PAR ID: 46456)
3	2/22/16	ATK - CORRECTED LIGHT AT BRAT STAIRS TO LED FIXTURE PER DMR 1849
4	2/22/16	LAB - ADDED FRONT TO BACK DIM. OF FIRST FLOOR BATH - ROUGH ADIT
5	2/22/16	LAB - ADDED FRONT TO BACK DIMENSION AT PANTRY - ROUGH ADIT
6	2/22/16	LAB - ADDED ENGINEERING * TO CASED OPENING (COVER/FAM, RW) - ROUGH ADIT
7	2/22/16	LAB - ADDED DETAIL "TWT-1" - ROUGH ADIT
8	2/22/16	BRN - TANKLESS WATER HEATER PROJECT DMR 1849
9	2/22/16	ZDM - UPDATED HALLWAY FIELD FRAME FOR LIGHT PER PAR 50972

REVISIONS

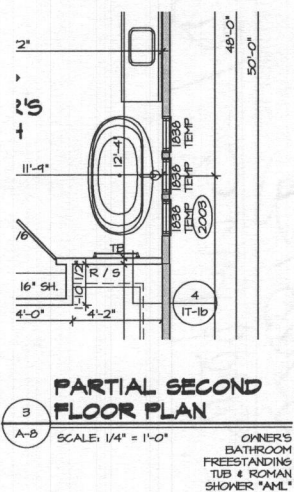
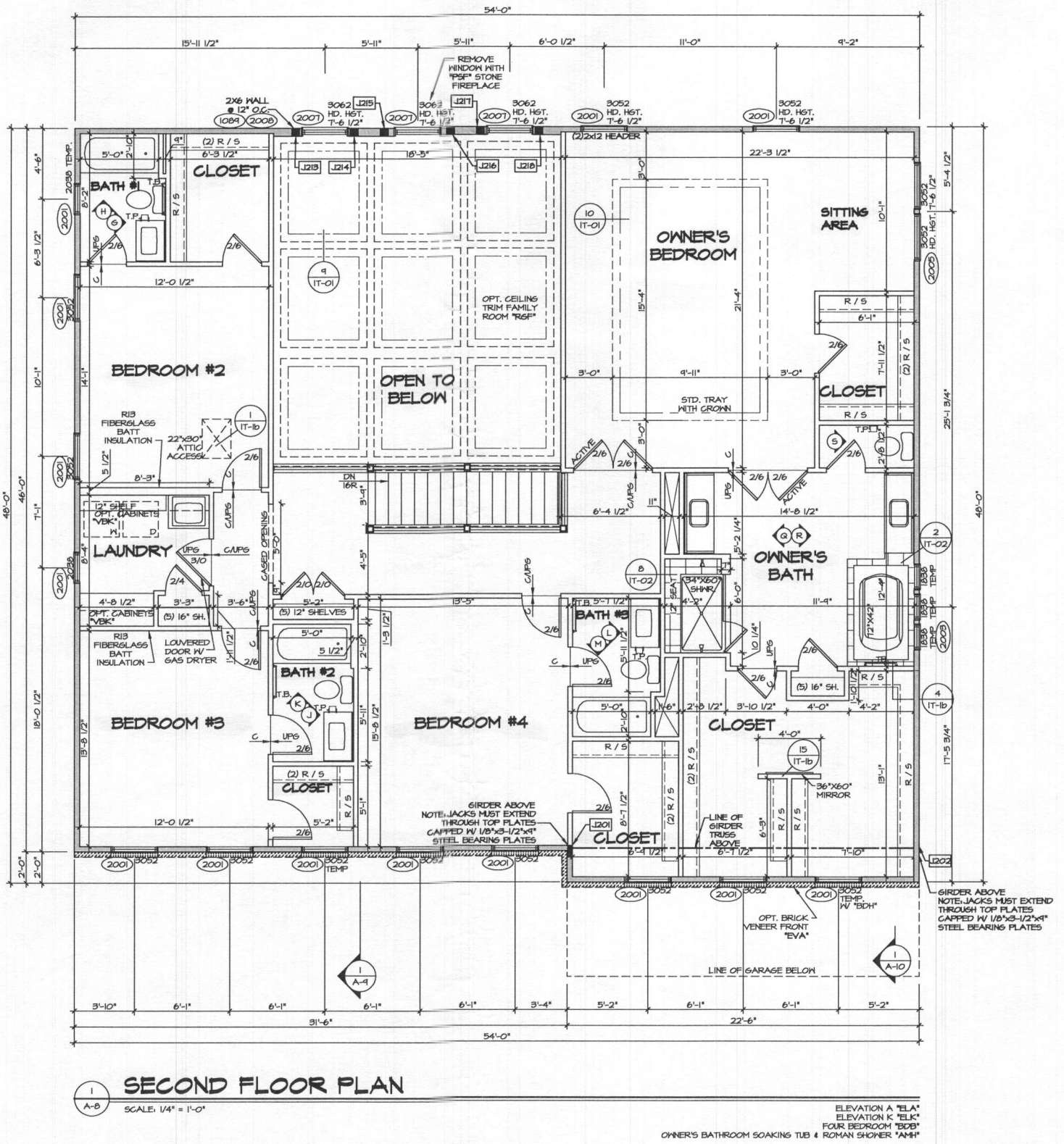
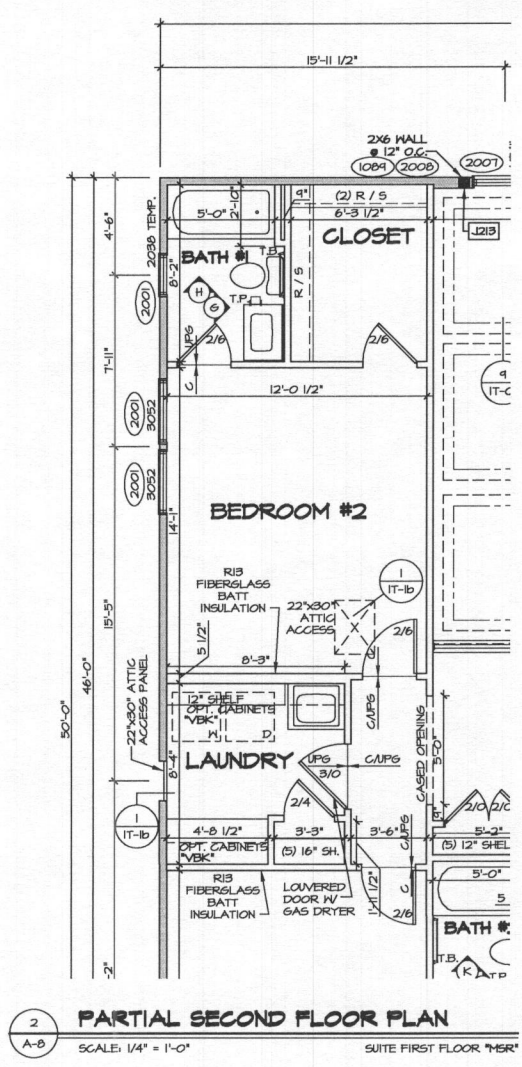
SET NO. 11900
VERSION 01
DRAWN BY BIM
DATE: 3/7/2016
OPTION

NVR
Architects
5285 Mesquite Drive, Suite 100
Frederick, MD 21703

SHEET NO. **A-7**
DRAWING TITLE **STRATFORD HALL FIRST FLOOR PLAN**
OPTION DESCRIPTION

29

C:\NVR\Solmes\STRATFORD_HALL_11900_01_1063A_SheetA_Visitor_Srv\Frst Floor_Plan_29_A-7_Plot.dwg 03/30/16 - 10:43 am



NOTES:
1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-3)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAMHEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

SHEET NO. A-8	MODEL STRATFORD HALL	SET NO. 11500	DATE: 5/7/2016
	DRAWING TITLE SECOND FLOOR PLAN	VERSION 01	OPTION
	OPTION DESCRIPTION		
	32.1		

REMARKS

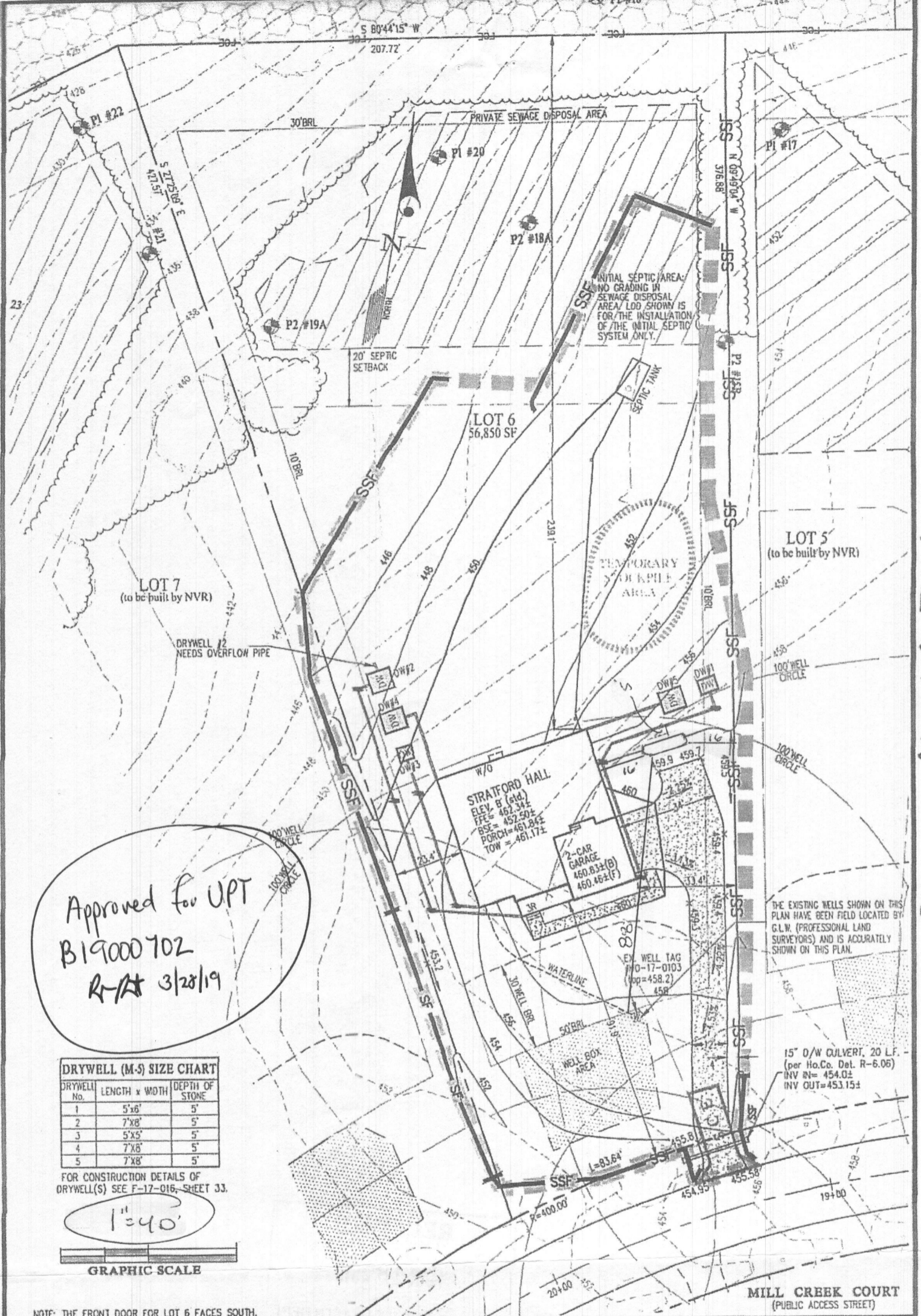
REV. NO.	DATE	DESCRIPTION
1	01/24/17	TH - STANDARD DETAILS B.O
2	6/12/17	M56 - ADDED ACCESS PANEL IN L.A.N. TO REACH "MER" ATTIC (PASE #46577)
3	10/25/17	T86 - ADDED CEILING TRIM OPTION
4	10/25/17	M86 - ADDED T.B. REMOVED T.P.S FROM OWNER'S BATH (PASE #46589)

REVISIONS

1. NVR, Inc. hereby represents, warrants, its services are copyright and other proprietary rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, without the expressed written consent of NVR, Inc.

NVR
NVR, Inc.
Architectural Services
5285 Washview Drive, Suite 100
Frederick, MD 21703

C:\NVR\Solves\STRATFORD HALL_11500_01_1063\Streets\Nester_Sol\Second Floor Plan\32.1 A-B PLN2.dwg 03/20/18 - 10:43 am



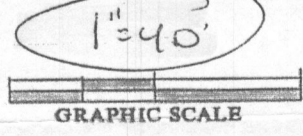
1000 GAL underground TANK

Approved for UPT
B19000702
R-AT 3/28/19

DRYWELL (M-S) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	5'x6'	5'
2	7'x8'	5'
3	5'x5'	5'
4	7'x8'	5'
5	7'x8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.



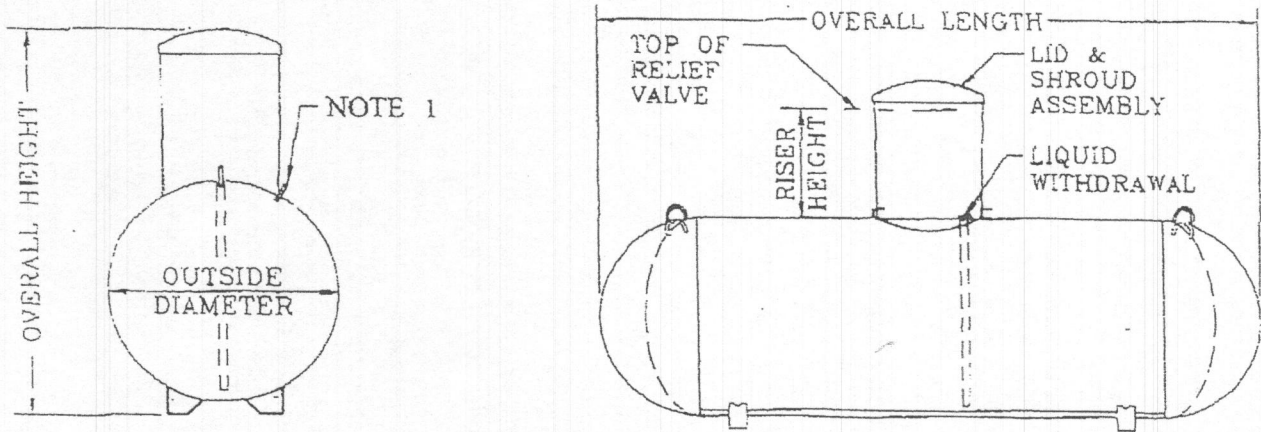
NOTE: THE FRONT DOOR FOR LOT 6 FACES SOUTH.

BUILDING PERMIT PLOT PLAN

<p>GLW Professional Land Surveyors</p>	DES.	PREPARED FOR:	G. L. W. No. 17071 ZONING RR-DEO TAX MAP/GRID 34&39-19&6 DATE Dec. 2018 SCALE 1"=40' SHEET 1 OF 1	
	DRN.	NVR INC. 9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956		CRAWFORD SUBDIVISION LOT 6 (13834 MILL CREEK CT.) Plat No. 24600-24607
	CHK.			

TRINITY INDUSTRIES, INC.

Underground Vesse



General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

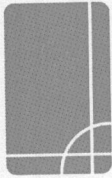
Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				Riser Height			
				14"	28"		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.8 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8



GLW

PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DR. SUITE 250
BURTONSVILLE, MD 20866
301-421-4024 | FAX: 301-421-4186
WWW.GLWPA.COM

LETTER OF TRANSMITTAL

TO: Bureau of Environmental Health
8930 Stanford Blvd.
Columbia, MD 21045

ATTN: _____

DATE	12-21-2018	JOB NO.	17071
PROJECT	Crawford Subdivision		
	Lot 6 (13834 Mill Creek Ct.)		

WE ARE SENDING THE FOLLOWING ITEMS:

- ATTACHED
- UNDER SEPARATE COVER
- MYLARS
- PRINTS
- COST ESTIMATES
- DESCRIPTIONS
- GRADE SHEETS
- COPY OF LETTER
- APPLICATIONS
- COMPUTATIONS
- OTHER _____

VIA: MAIL OVERNIGHT GLW COURIER COURIER OTHER _____

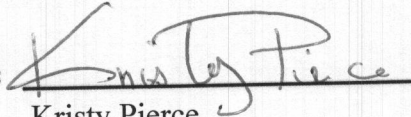
COPIES	DATE	PAGES	DESCRIPTION
3		1 of 1	OSDS Plan for Crawford Subdivision - Lot 6 (13834 Mill Creek Ct.)

THESE ARE TRANSMITTED as checked below:

- FOR APPROVAL
- FOR YOUR USE
- FOR REVIEW & COMMENT
- PER YOUR REQUEST
- SIGN & RETURN
- AS SUBMITTED TO _____
- AS REQUESTED BY _____
- _____

REMARKS: _____

COPY TO: _____

SIGNED: 
Kristy Pierce

If enclosures are not as noted, kindly notify us at once.

Collins, Sarah

From: Mike Isom <misom@mbwd.us>
Sent: Friday, October 20, 2017 9:09 AM
To: Wolf, Kevin; Collins, Sarah
Subject: Mill Creek

Follow Up Flag: Flag for follow up
Flag Status: Completed

Wanted to let you know that we were asked to extend the pvc well casings on lots 4, 5, 6, & 7 and the steel casings on lots 20 & 21 because of changes in the grade. All of them were extended at least 7 feet, so grout will not be visible any longer and likely won't be apparent when the water lines are excavated. The tags were relocated and will be visible after the grading is complete.

--

Sincerely,

Michael Isom
Project Manager
Michael Barlow Well Drilling Service
Phone: (410) 838-6910
Fax: (410) 838-3582
522 Underwood Lane
Bel Air, MD 21014
www.michaelbarlowwelldrilling.com
www.thermalloopcorp.com
[Click HERE to like us on Facebook!](#)



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 3/12/19
Permit No.: B19 000702

Building Address: 13834 MILL CREEK COURT
City: CLARKSVILLE State: MD Zip Code: 21029
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: 6
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: 56,850

Property Owner's Name: NVR
Address: 9720 PATUXENT WOODS DRIVE
City: COLUMBIA State: MD Zip Code: 21045
Phone: _____ Fax: _____
Email: _____
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000
Description of Work: INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth: _____ Width: _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
	<input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms: _____
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling
<input type="checkbox"/> Structural Steel	No. of efficiency units: _____
<input type="checkbox"/> Masonry	No. of 1 BR units: _____
<input type="checkbox"/> Wood Frame	No. of 2 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
RECEIVED MAR 12 2019 LICENSES & PERMITS DIVISION	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature]
Applicant's Signature
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address
PERMITS
Title/Company

MICHELLE CLANCY
Print Name
3/12/19
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/28/19 ASD</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? Yes No
Is Entrance Permit Required? Yes No
Historic District? Yes No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$	<u>100</u>
Permit Fee	\$	
Tech Fee	\$	<u>10</u>
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	<u>110</u>
Check	#	<u>7013</u>