



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B18003156

Building Address: 14522 Old Frederick Rd
 City: Cooksville State: MD Zip Code: 21273
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: 3 Tax Map: _____ Parcel: 047

Existing Use: _____
 Proposed Use: _____
 Estimated Construction Cost: \$ _____
 Description of Work: _____

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Catonsville Homes, LLC
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: MD Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
Email Address _____
Title/Company _____

Print Name _____
Date 9/5/18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>11/7/18</u>	<u>R. Buell</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>25603</u>



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19000573

Building Address: 14522 Old Frederick Road
 City: Chantilly State: MD Zip Code: _____
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Subdivision: _____
 Lot: 2 Tax Map: _____ Parcel: _____

Property Owner's Name: James H. Jones
 Address: 14522 Old Frederick Road
 City: Chantilly State: MD Zip Code: 20151
 Phone: 410-412-7211 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Existing Use: Office
 Proposed Use: Office
 Estimated Construction Cost: \$ 2200

Contractor Company: Thompson
 Contact Person: J. Randall Thompson
 Address: 6705 Old Frederick Rd
 City: Chantilly State: MD Zip Code: 20151
 License No.: 60003
 Phone: 703-434-6617 Fax: _____
 Email: jrthompson@thompson.com

Description of Work: Install underground gas
 line to garage

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
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	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	

Building Shell Permit Number:	

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Applicant's Signature
J. Randall Thompson
Email Address
jrthompson@thompson.com
Title/Company
Project Manager

Print Name
James H. Jones
Date
March 6 2019

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/18/19</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>10179</u>

STREAM BUFFER FOREST CONSERVATION

344

N89°44'06"E 135.03'

S64°46'55"W 42.43'

LEVEL SPREADER

30' BRL

30' BRL

T3-3
T3-2
2nd REPLACEMENT 30'70"
T3-1

T2-2
1st REPLACEMENT 20'79"
T2-1

INITIAL TRENCH T1-2=53'
INITIAL TRENCH T1-1=53'

5'-4" PVC @2.0%

10'-4" PVC @14.20%

2000 GAL SEPTIC TANK

25'-4" PVC @7.60%

PROP. HOUSE
F.F. 594.50
B. 584.50

Approved for
LA 4/8/19
B19000573
LOT 3
50,000 s.f.
1,1478 AC.±

REVISED
Date: 4/1/19
Comments: B19000573
MEASUREMENTS/DISTANCES
SHOWN

PRESERVATION
PARCEL 'A'
QUARTZ HILL III
PLAT# 22813-15

EX. WELL
H095-2638

EX. WELL
H095-2633

ALT. WELL

N24°49'53"W

10' BRL

271.44'

33

UNDER
1000'
PROPA

PROP. DRIVEWAY
DISCONNECTION

MONITOR TOP

60'±

596

598

600

N88°11'10"E 192.21'

ALT. WELL

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**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 10/30/18 ^{11/1/18}
 To: DAN S. ANNETTE MENSEN - DPZ/DED/HEALTH
 (Person's Name and Division)
 From: CADONVILLE HOMES (410) 442-2211 x202
 (Your Name, Company Name and Telephone Number)
 Subject: Project name QUINCY HILL III LOT 3
 Project site address 14522 OLD FREDERICK RD
 Permit # B18003156 SDP # _____
 Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of REVISED PLOT PLAN (be specific). REVISER: SWM & SEPTIC BACKUP AREA
- Health Department Request DPZ/DED Request Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

Rob Scranton
 Please Print Name

Telephone No: 410-977-1725
 E-Mail Address: rscranton@cadonvillehomes.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH

PER DPZ-DED-HEALTH

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/New/SFD	B18003156	09/11/2018
Description of Work		
SFD/ MODEL 'CHARLESTON II'/ 2-STORY, FULL BSMT, 10R, 4FB, 1RI, 1FP, 3-CAR GARAGE, (4BR), PORCH, ENERGY CODE PRESCRIPTIVE METHOD		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
14522	OLD FREDERICK	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.01654	39.33862
City	State	Zip Code	Primary
COOKSVILLE	MD	21723	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1102531	401	1.15	111800	111800	0	RURAL
Legal Description						
LOT 3 1.1478 A. []14522 OLD FREDERICK RD []QUARTZ HILL III						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Supervisor Dist	Map #	DAP Zone	Primary
	3	604001	5				Yes
Plan Area	State Tax Id	Subdivision Name					
	1404596402	Quartz Hill III					
Section	Area	Tax Map					
		8					
Grid	Zoning District	ADC Map					
8-11	RC-DEO	4692-H6					
SDP No.	Final Plan No.	WP File No.					
	ECP-12-066						
Record Plat No.	WS Contract No.	FDP No.					
22813-2281							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-02	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *		
CATONSVILLE HOMES LLC		
Address Line 1		
11175 STRATFIELD CT		
Address Line 2		
Address Line 3		
Mail City	Mail State	Mail Zip Code
MARRIOTTSVILLE	MD	21104

Phone	410-442-2211	Primary	Yes
E-mail	PWALTER@CATONSVILLEHOMES.COM		
Cell Number	Fax Number		

Professionals (This section is not required.)

Search Reset Clear

License # *	990			Business Name	CATONSVILLE HOMES, LLC		
License Type *	Home Bldr	First Name	Middle Name	Last Name	FRANK POTEPAN		
Primary	Yes	Address Line 1					
11175 STRATFIELD COURT							
Address Line 2							
City							
MARRIOTSVILLE		State		MD		ZIP Code	
21104		Phone 1		Phone 2		Fax	
410-442-2211		410-442-2215		410-442-2215		E-mail	
FPOTEPAN@CATONSVILLEHOMES.COM							

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	Applicant	First Name	MI	Last Name	FRANK POTEPAN		
Relationship	Applicant	Full Name					
FRANK POTEPAN							
Primary	No	Organization Name					
CATONSVILLE HOMES, LLC							
Street Address							
11175 STRATFIELD COURT							
Address Line 2							
City							
MARRIOTSVILLE		State		MD		Zip Code	
21104		Phone		Cell		Fax	
410-442-2211		410-442-2215		410-442-2215		E-mail *	
FPOTEPAN@CATONSVILLEHOMES.COM							

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	Contact	First Name	MI	Last Name	FRANK POTEPAN		
Relationship	Licensed Professiona	Full Name					
FRANK POTEPAN							
Primary	Yes	Organization Name					
CATONSVILLE HOMES, LLC							
Street Address							
11175 STRATFIELD COURT							
Address Line 2							
City							
MARRIOTSVILLE		State		MD		Zip Code	
21104		Phone		Cell		Fax	
410-442-2211		410-442-2215		410-442-2215		E-mail	
FPOTEPAN@CATONSVILLEHOMES.COM							

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
350000	1	1	No
Construction Type			

-Select-

BUILDING INFORMATION

BUILDING INFORMATION

Capital Project-No Fee * Yes No Capital Project Number [] Fee Exempt * Yes No Guaranty Fund Required * Yes No Roadside Tree Project Permit Yes No

Roadside Tree Project Permit # [] Condominium Yes No Existing Use [Vacant Lot] 1st Floor Width [58] FT 1st Floor Depth [66] FT

2nd Floor Width [58] FT 2nd Floor Depth [38] FT Basement Width [56] FT Basement Depth [50] FT Height [] FT Total Square Footage * [6723] SQFT Occupiable Square Footage * [6567] SQFT Bedrooms * [4]

Full Baths [4] Half Baths [] Foundation [Full Basement] Basement [Unfinished] Other Structure [Attached Garage] Building Construction Type [Conventional]

W&S Fees Paid * Yes No Water Supply * [Private] Sewage Disposal * [Private] Utilities * [Gas & Electric] Heating System * [Propane Gas] Sprinkler System * [NFPA #13D]

No of Fireplaces [1] Type of Fireplace [-Select-] Entrance Permit Required Yes No Road Frontage [County] Location Survey Approval Date [] Expiration Date [3/20/2019]

U&O Issued On [] U & O Comments []

[check spelling](#)

GRADING INFORMATION

Grading Permit No [] Grading Certification Required Yes No Grading Certification Received in DILP On [] Grading Certification Received in CID On []

Grading Certification Comments [] Seasonal Surety Comments []

[check spelling](#) [check spelling](#)

Seasonal Grading Surety Depositor [] Driveway Apron Surety Depositor [] Stormwater Surety Depositor []

GREEN NEIGHBORHOOD INFORMATION

Check List Points Goal [] Check List Points Achieved [] Date of Certification []

PAYMENT INFORMATION

Check 1 [] Payee 1 [] Check 2 [] Payee 2 [] SAP Doc No [] SAP Entered []

PRIVATE ON LOT SWM FACILITIES

Green Roofs A1 Yes No Permeable Pavements A2 Yes No Reinforced Turf A3 Yes No

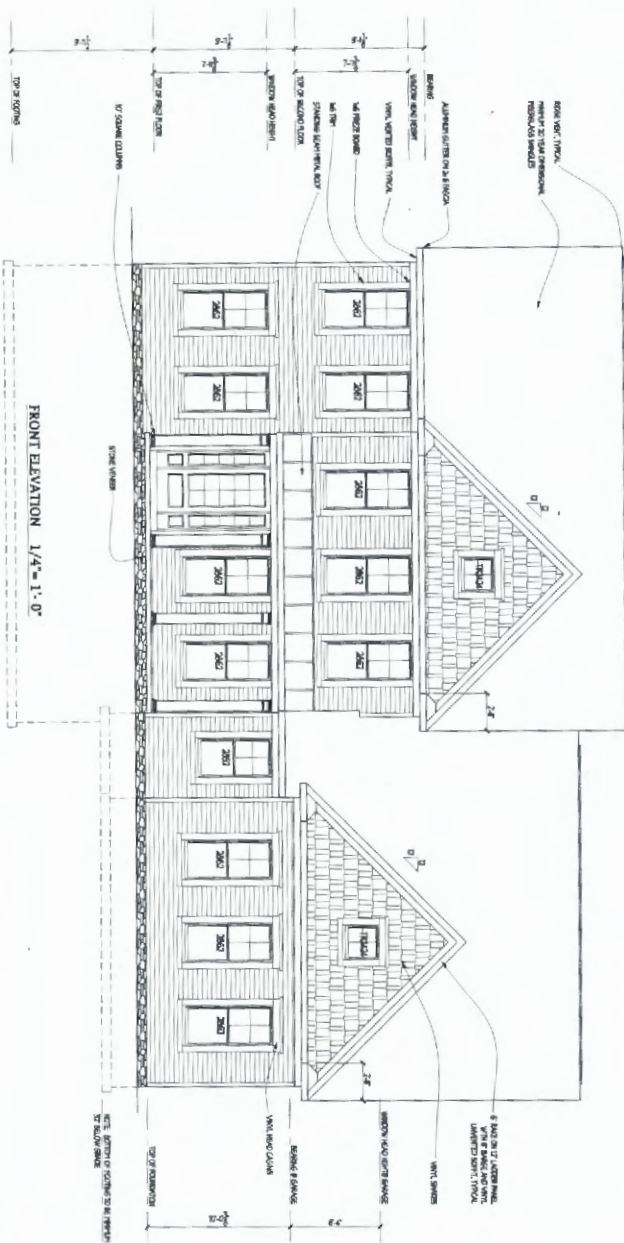
Disconnection of Rooftop Runoff N1 [] Disconnection of Non Rooftop Runoff N2 Yes No Sheetflow to Conservation Areas N3 Yes No

Rainwater Harvesting M1 [] Submerged Gravel Wetlands M2 [] Landscape Infiltration M3 [] Infiltration Berms M4 []

Dry Wells M5 [] Micro Bioretention M6 [] Rain Gardens M7 [] Swales M8 [] Enhanced Filters M9 []

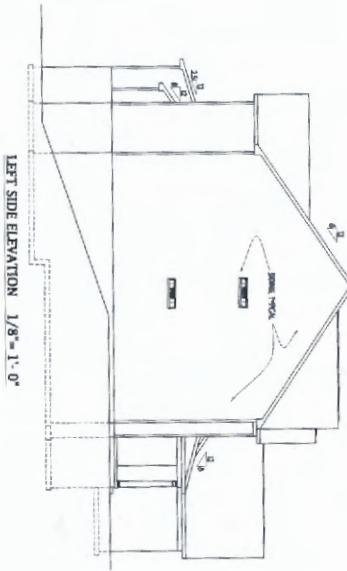
Submit Cancel

B1800 3156



FRONT ELEVATION 1/4" = 1'-0"

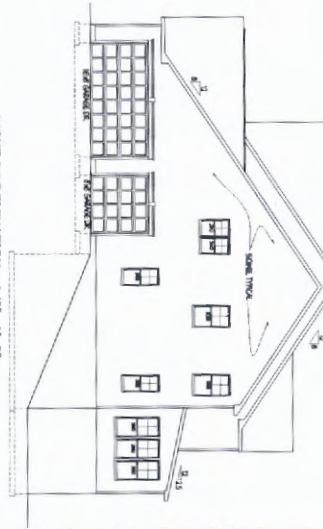
LEFT SIDE ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"



RIGHT SIDE ELEVATION 1/8" = 1'-0"



BID AND PERMIT SET 8/28/18

8/28/2018 10:30 AM

8/28/2018 10:30 AM

1

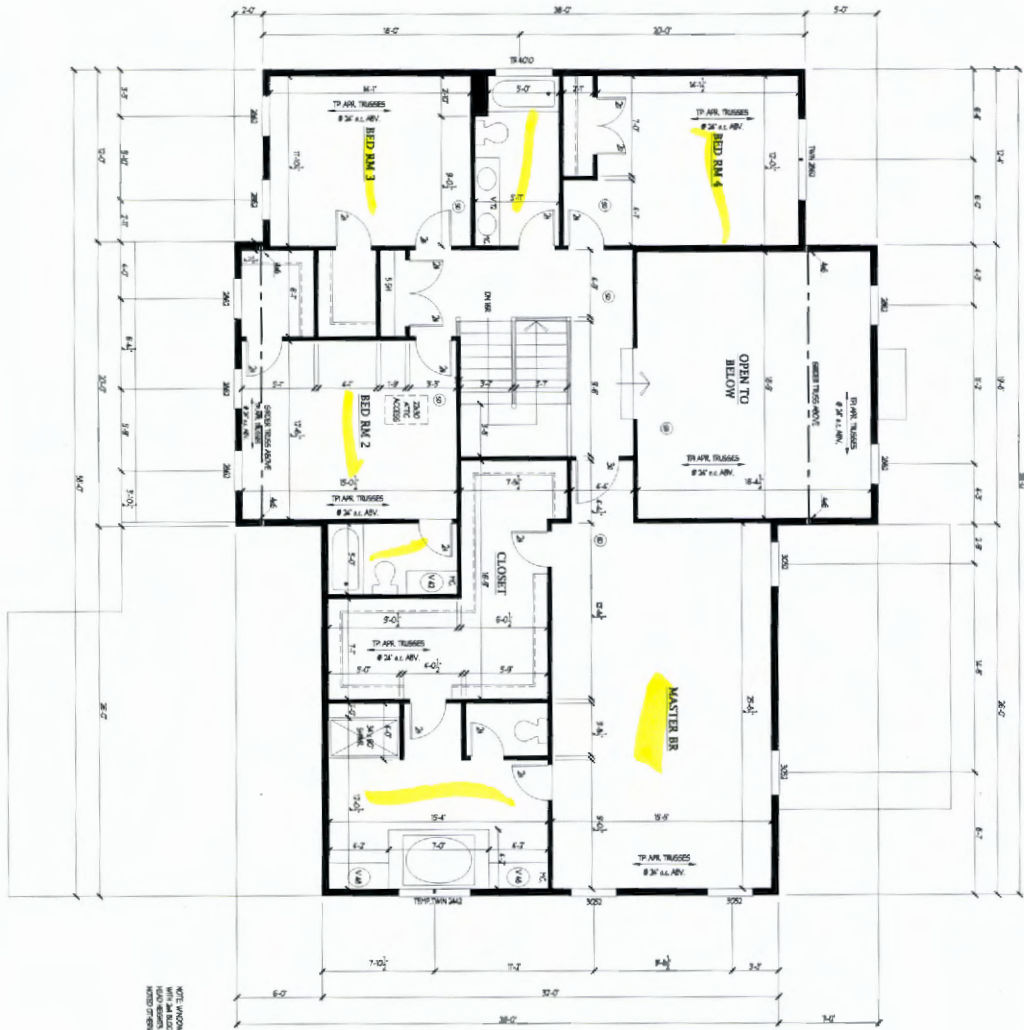
Project No.: C18.07
Date: 8/18
Scale: NOTED

Drawing: ELEVATIONS
Project: CATONVILLE HOMES
CHARLESTON 2
QUARTZ HILL LOT 3

Notes:

Plymouth Road Architects
640 Plymouth Road, Baltimore, MD 21229. 410-788-0281
PlymouthRoadArchitects.com

145 22 OLDFREDERICK RD.
21723



NOT TO SCALE
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED
 1/4" = 1'-0"

*2
 1/4
 FIF
 Bedroom*

BID AND PERMIT SET 8/28/18
 6/20/2018 9:26 AM
 Drawing: 020 - 2nd Flr Plan (1) - 1/4"

4

Project No.: C18.07
 Date: 8/18
 Scale: 1/4"=1'-0"

Drawing: SECOND FLOOR PLAN
 Project: CATONSVILLE HOMES
 CHARLESTON 2
 QUARTZ HILL LOT 3

Notes:

Plymouth Road Architects
 640 Plymouth Road, Baltimore, MD 21229. 410-788-0281
 PlymouthRoadArchitects.com

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Frank Potepan, Catonsville Homes, LLC*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *14522 Old Frederick Road*, Potential Basement Bedroom

DATE: 10/3/2018

I have reviewed the floor plans in support of Building Permit **B18003156** for a new home at **14522 Old Frederick Road** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the entire basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5*)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

*'Library' on First Floor fits Code description of bedroom. (See bedroom definition.)

