



**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 4/24/2019 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 565455

INSTALLATION APPROVAL DATE: ~~4/24/2019~~ 6/20/19 **PERMIT**  
**SEWER HOUSE CONNECTION**

A \_\_\_\_\_

PROPERTY ADDRESS: 5030 Crape Myrtle Court

SUBDIVISION: Walnut Creek LOT: 154 TAX ID: 05-598907

CONTRACTOR: Craftmark Homes EMAIL: jpavlik@craftmarkhomes.com

CONTRACTOR ADDRESS: 1355 Beverly Road Suite 300, McClean VA, 22101 PHONE: 703-932-0573

PROPERTY OWNER: NVR Inc. EMAIL: N/A

OWNER ADDRESS: 9720 Patuxent Woods Road, Columbia, MD 21046 PHONE: 410-379-5956

NUMBER OF BEDROOMS: 5 CONNECTED TO PUBLIC WATER:  YES  NO

LOCATION:	INSTALL 4" SEWER LINE PER APPROVED SITE PLAN.
NOTES:	PIPE SPEC: CHARLOTTE PIPE 4" PVC COEX CELLULAR CORE SCH 40 ASTM F-891-10 GREEN TRACE WIRE

ISSUED BY: Robert Freeman ISSUE DATE: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

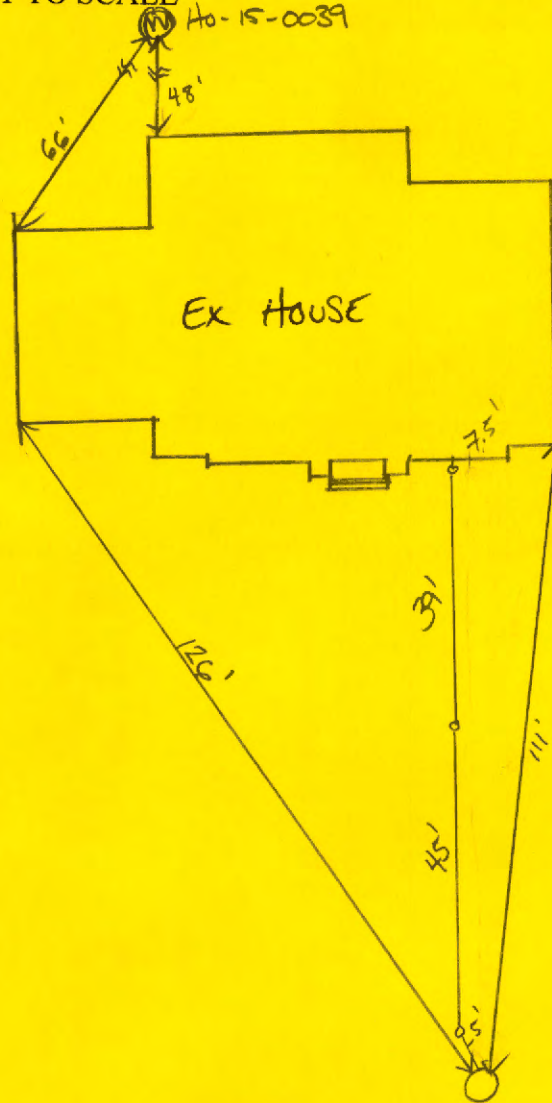
**NOTE: HOWARD COUNTY BUREAU OF UTILITIES APPROVAL OF GRINDER PUMP INSTALLATION IS REQUIRED PRIOR TO SEPTIC PERMIT APPROVAL**

**NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING**

**NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM**

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM.**

NOT TO SCALE



ROAD NAME  
CAPE MYRTLE

**TRENCH/DRAINFIELD DATA**

WIDTH \_\_\_\_\_ INLET \_\_\_\_\_ BOTTOM \_\_\_\_\_

NUMBER OF TRENCHES \_\_\_\_\_

TOTAL LENGTH \_\_\_\_\_

ABSORPTION AREA \_\_\_\_\_

DISTRIBUTION BOX LEVEL \_\_\_\_\_

DISTRIBUTION BOX BAFFLE \_\_\_\_\_

DISTRIBUTION BOX PORT \_\_\_\_\_

**SEPTIC TANK DATA**

SEPTIC TANK I LEVEL \_\_\_\_\_

MANUFACTURER \_\_\_\_\_

CAPACITY \_\_\_\_\_ GAL

SEAM LOC \_\_\_\_\_

TANK LID DEPTH \_\_\_\_\_

BAFFLES \_\_\_\_\_

BAFFLE FILTER \_\_\_\_\_

MANHOLE LOC \_\_\_\_\_

6" PORT LOC \_\_\_\_\_

WATERTIGHT TEST \_\_\_\_\_

SLOTTED \_\_\_\_\_

DATE ON LID \_\_\_\_\_

PUMP/SEPTIC TANK LEVEL \_\_\_\_\_

MANUFACTURER \_\_\_\_\_

CAPACITY \_\_\_\_\_ GAL

SEAM LOC \_\_\_\_\_

TANK LID DEPTH \_\_\_\_\_

BAFFLES \_\_\_\_\_

BAFFLE FILTER \_\_\_\_\_

MANHOLE LOC \_\_\_\_\_

6" PORT LOC \_\_\_\_\_

WATERTIGHT TEST \_\_\_\_\_

SLOTTED \_\_\_\_\_

DATE ON LID \_\_\_\_\_

PRE-CONSTRUCTION:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSTALLATION: 04/26/2019 GREEN TRACE WIRE INSTALLED. S/C AND SEWER LINE INSTALLED TO GRINDER PIT. OK TO BACKFILL. @ 6/20/19 Under pump startup r/c'd.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

FINAL INSPECTOR

DATE OF APPROVAL

04/26/2019 6/20/19

## Wolf, Kevin

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**From:** Bozzell, Duane  
**Sent:** Thursday, June 20, 2019 6:21 AM  
**To:** Miscbilling  
**Cc:** Hart, Amy; Rocco, Anthony; Martin, Sharhonda; Williams, Jeffrey; Bozzell, Duane; Bernard, Dana; Wolf, Kevin; Collins, Sarah; jpavlik@CraftmarkHomes.com  
**Subject:** U&O Release 5030 Crape Myrtle ct lot154

On the morning of 6-19-2019 observed the start-up of a Sewage Grinder Pump at the Walnut Creek Shared Septic System:  
Contract#

Lot #154  
5030 Crape Myrtle ct.  
Ellicott City MD. 21043

The Sewage Grinder Pump test was successful; the Bureau of Utilities releases its hold on this property for U&O.

*Thank You.*

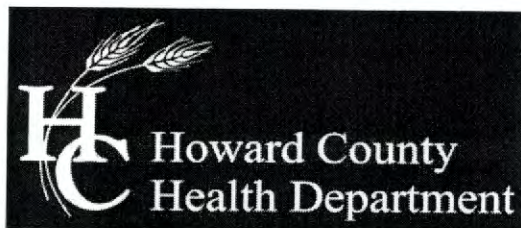
*Duane Bozzell*

*JNC.COM*

*DPW-Bureau of utilities*

*Phone: (410)313-4900*

*Fax: (410)313-4989*



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Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

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### Required Health Department Notations for Submitted Plans for Properties on Wells and Septic Systems

The following notations must be included on the following plans; site specific notations will be addressed during plan review:

#### Percolation Certification Plans and Preliminary Plans

1. This area designates a private sewage area of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
2. The lot shown herein complies with the minimum ownership, width, and lot area as required by the Maryland Department of the Environment.
3. Existing wells, septic systems, and sewage disposal areas within 100' of the property and those wells within 200' down gradient of existing or proposed septic systems or sewage disposal areas have been shown.
4. All wells shall be drilled prior to final plat recordation. It is the developer's responsibility to schedule the well drilling prior to final plat submission. It will not be considered "government delay" if the well drilling holds up Health Department signature of the record plat.
5. Topography shown is at two-foot contour intervals (one-foot intervals are required for mound systems and systems with pipe depth less than two feet) and has been field verified or field run.
6. Any changes to a private sewage area shall require a revised perc certification plan.
7. *If applicable*, groundwater appropriations permit shall be obtained prior to plat recordation.
8. *If sand mounds are being proposed*: The sand mound area(s) delineated and identified on this parcel must be staked by a surveyor and a field visit made by the Howard County Health Department to verify the areas have not been impacted, prior to final plat approval or building permit approval (if a final plat is not required). In addition, these areas must be protected by a fixed barrier at all times during demolition, grading, and construction activities. Thereafter protective measures should be implemented to protect these areas from erosion and encroachment by wheeled vehicles. Subsequent building permit applications may be denied should the sand mound areas be evaluated and found to be unsatisfactory for the intended use. In addition, a supplemental site plan with all of the necessary details for installation of the system will be required prior to the release of the building permit (if applicable) and septic system installation permit.
9. *If pretreatment is proposed*: An advanced pre-treatment system, which utilizes best available technology to perform nitrogen reduction, must be installed on the septic system. A supplemental site plan with all of the necessary details for installation of the system will be required prior to the release of the building permit (if applicable) and

septic system installation permit. In addition, an operation and maintenance contract agreement must be filed with Howard County Land Records within 60 days of plat recordation.

#### **Final Plats**

1. This area designates a private sewage area of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These areas shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
2. The lot shown herein complies with the minimum ownership, width, and lot area as required by the Maryland Department of the Environment.
3. *If applicable:* Groundwater Appropriation Permit number \_\_\_\_ has been obtained from Maryland Department of the Environment.
4. *If applicable:* A groundwater Appropriation Permit exemption has been obtained from the Maryland Department of the Environment.
5. *If sand mounds are being proposed:* The sand mound area(s) delineated and identified on this parcel must be protected by a fixed barrier at all times during demolition, grading, and construction activities. Thereafter protective measures should be implemented to protect these areas from erosion and encroachment by wheeled vehicles. Subsequent building permit applications may be denied should the sand mound areas be evaluated and found to be unsatisfactory for the intended use. In addition, a supplemental site plan with all of the necessary details for installation of the system will be required prior to the release of the building permit (if applicable) and septic system installation permit.
6. *If pretreatment is required:* A note must be included within the lot's boundaries stating "See General Note #. And a note must be included under "General Notes" stating, "An advanced pre-treatment system, which utilizes best available technology to perform nitrogen reduction, must be installed on the septic system located on Lot \_\_. A supplemental site plan with all of the necessary details for installation of the system will be required prior to the release of the building permit (if applicable) and septic system installation permit.

#### **Percolation Certification and Preliminary Plans for Shared Septic Systems**

In addition to the Percolation Certification Plan requirements, the following must also be included on the plan:

1. The design flow calculations must be shown
2. The signature block should state: Approved for private water, private septic systems, and shared septic systems (lot numbers included)
3. This area designates a private sewage area of at least 10,000 square feet for each lot on the shared system, as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These areas shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
4. Lot yield is dependent upon nitrogen balance study (if over 5,000gpd then add groundwater mounding and hydrologic balance studies)

5. Lot yield and bedroom counts are subject to review by Maryland Department of the Environment, Bureau of Utilities, and the Howard County Health Department when the water and sewer contract plans with the shared sewage disposal system are submitted.

#### **Final Plats for a Shared Septic System**

In addition to the Final Plat requirements the following must also be included on the plan:

1. This area designates a private sewage area of at least 10,000 square feet for each lot on the shared system as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These areas shall become null and void upon connection to a public sewerage system. The county Health
2. Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
3. *The signature block should state:* Approved for private water, private septic systems (if there are lots with on-site sewage disposal systems), and shared septic systems (include lot #). Use of the shared septic system is in conformance with the county plan.
4. The shared sewerage system will be available to lots \_\_\_\_\_. Plans for the facility including any necessary point of discharge have been approved by the Department of the Environment. *Include owner's signature and date.*
5. The design flow calculations must be shown
6. The groundwater discharge number must be included on the plan

#### **Revised Percolation Certification Plans**

1. A. This area designates a private sewage area of at least 10,000 square feet as required by the Maryland Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.  
**OR**  
B. This area designates a private sewage area as required by the Maryland Department of the Environment for individual sewage disposal. For lots created prior to March of 1972 it provides at least enough area to accommodate an initial and two replacement septic systems as required by the Howard County Health Department. Improvements of any nature in this area are restricted until public sewerage is available. This area shall become null and void upon connection to a public sewerage system. The county Health Officer shall have the authority to grant adjustments to the private sewage area. Recordation of a modified sewage area shall not be necessary.
2. Topography shown is at two-foot contour intervals (one-foot intervals are required for mound systems and systems with pipe depth less than two feet) and has been field verified or field run.
3. Any changes to a private sewage area shall require a revised perc certification plan.
4. Existing wells, septic systems, and sewage disposal areas within 100' of the property and those within 200' downgradient of existing or proposed septic systems or sewage disposal areas have been shown.
5. Add a purpose statement indicating the purpose for the revision
6. For a recorded lot after 1985 either 'a' or 'b' can be used:
  - a. The lot shown herein complies with the minimum ownership, width, and lot area as required by the Maryland Department of the Environment.

- b. The lot shown heron was recorded on the plat #\_\_\_\_. Refer to plat for lot dimensions, lot areas, all easements, any restrictions, and provisions.

**Additional Site Specific Notes:**

1. Well must be upgraded prior to final plat (or building permit) approval
2. Other well construction specific notes
3. Existing septic system must be abandoned and a new septic system installed for Lot \_\_\_\_ prior to final plat (or building permit) approval.
4. A low pressure dose system will be required for any system having unequal length trenches. A plan must be submitted showing system details prior to septic permit issuance.
5. The limitations of soil properties are such that a house with no more than \_\_\_\_bedrooms could be supported by the described easement.
6. After the house connection has been completed and approved for the well line for the existing residence on lot \_\_\_\_, and the existing buried well has been properly abandoned, a water quality sample form the existing house must pass Health Department standards for bacteriology prior to signature of the record plat by the Health Officer.
7. An ICOP for the replacement well will not be issued until the well driller's abandonment report for the existing buried well is in the Health Department file for the subject property.
8. Areas within defined septic areas that are wooded are not to be confused with wooded areas protected for forest conservation that are designated adjacent to the defined septic areas. Replacement of septic drainfield lines requires disruption and disturbance, and likely will result in damage or destruction of trees and other vegetation within the boundaries of the septic area.


**Additional Information**

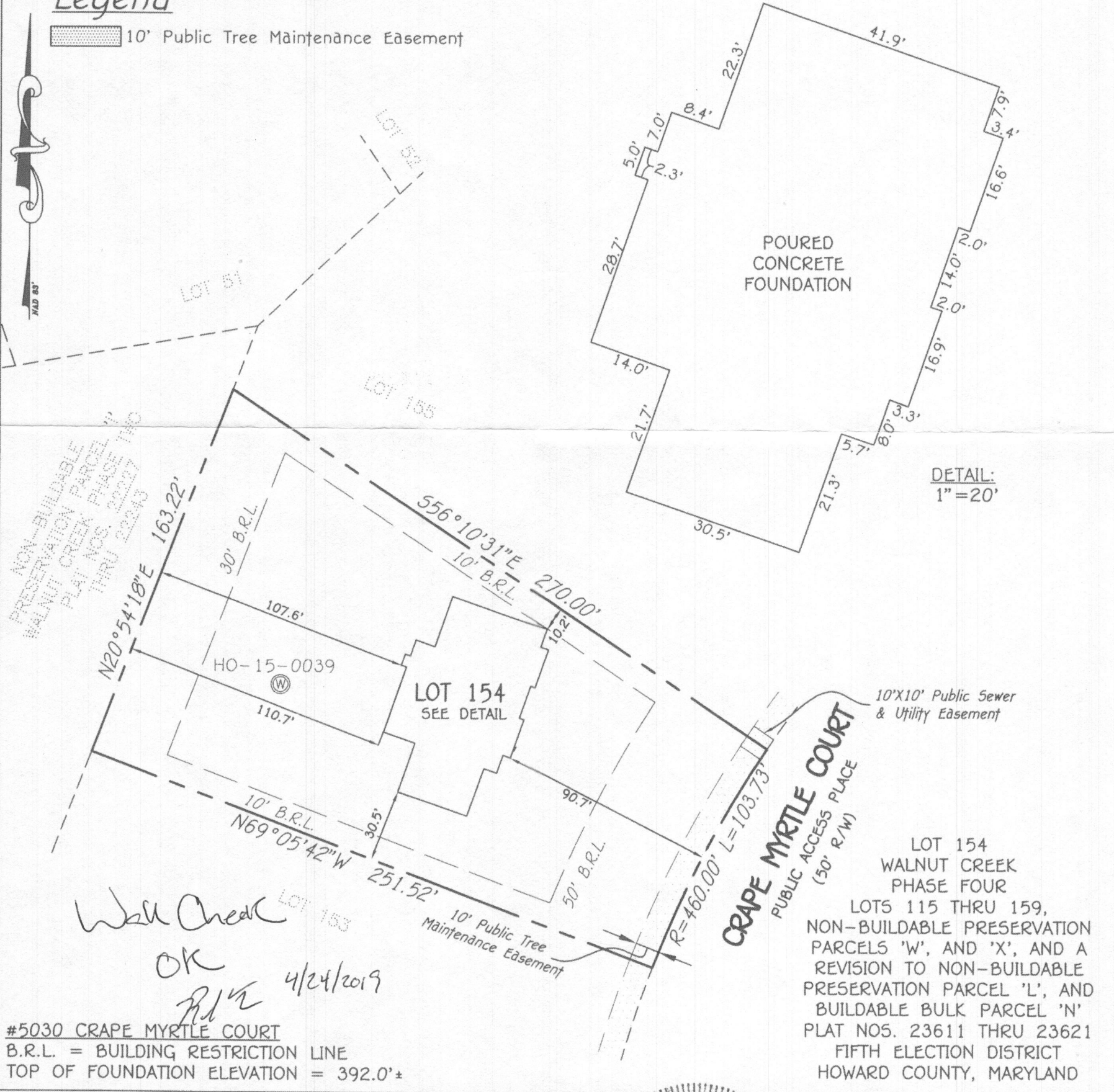
- All symbols must reflect what is shown on the plan.
- All notes must be reflective of the proposal.
- If modifications to wells or septic areas are being made, make sure to show the originally approved areas along with the modified areas.
- Purpose statement must be included in general notes.
- All neighboring wells, septic areas, and septic system components must be shown. If it is clear that the septic system is located in the 10,000 ft<sup>2</sup> septic area, only the septic tank needs to be shown. If information is from as-built, an additional note can be added stating, "Septic system information for \_\_\_\_ is from Howard County Health Department records dated\_\_\_\_."
- Three copies of the plans must be submitted to the Health Department.
- Engineer must sign and seal plan. Statement to be signed "I certify that the information shown herein is based on field work performed by me or under my direct supervision, as is correct, to the best of my knowledge and belief."

**GENERAL NOTES:**

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INSOFAR AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C01300 EFFECTIVE NOV. 6, 2013.
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 0.2'.
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-15-0039) HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2020.
- 7) LOTS 115 THRU 159 WILL BE SERVED BY LOW PRESSURE SEWER SYSTEM WITH A LIMIT OF (5) FIVE BEDROOMS AT 150 GALLONS PER BEDROOM FOR A TOTAL DESIGN FLOW OF 33,750 GALLONS PER DAY.
- 8) LOTS 115 THRU 159 OF THIS SUBDIVISION ARE CONNECTED TO THE SHARED SEWAGE DISPOSAL FACILITY GOVERNED BY SECTIONS 10.1200 ET SEQ. OF THE HOWARD COUNTY CODE. THE DEVELOPER IS OBLIGATED TO CONSTRUCT THE FACILITY UNDER THE PROVISION OF THE DEVELOPER AGREEMENT NUMBER 50-4441-D DATED APRIL 8, 2009. A BUILDING PERMIT FOR LOTS 115 THRU 159 MAY NOT BE ISSUED UNTIL THE CONSTRUCTION OF THE FACILITY IS COMPLETED. ACTIVITY ON THESE LOTS IS RESTRICTED AND IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, RIGHT-OF-ENTRY, AND RESTRICTION FOR SHARED SEWAGE DISPOSAL FACILITY INTENDED TO BE RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND. LOTS 115 THRU 159 SHALL BE ASSESSED SHARED SEWAGE DISPOSAL FACILITY CHARGES AND ASSESSMENTS PURSUANT TO SECTIONS 20.800 ET SEQ. OF THE HOWARD COUNTY CODE.
- 9) BUILDING PERMIT #B-18002699

**Legend**

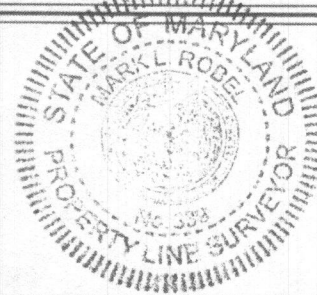
 10' Public Tree Maintenance Easement



#5030 CRAPE MYRTLE COURT  
 B.R.L. = BUILDING RESTRICTION LINE  
 TOP OF FOUNDATION ELEVATION = 392.0'±

LOT 154  
 WALNUT CREEK  
 PHASE FOUR  
 LOTS 115 THRU 159,  
 NON-BUILDABLE PRESERVATION  
 PARCELS 'W', AND 'X', AND A  
 REVISION TO NON-BUILDABLE  
 PRESERVATION PARCEL 'L', AND  
 BUILDABLE BULK PARCEL 'N'  
 PLAT NOS. 23611 THRU 23621  
 FIFTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 461 - 2855



*Mark L. Robel* 2/26/19  
 PROPERTY LINE SURVEYOR DATE  
 REG. #339

**HOUSE LOCATION DRAWING**

FOUNDATION LOCATION: 2/21/19  
 FINAL LOCATION: \_\_\_\_\_  
 BOUNDARY SURVEY: \_\_\_\_\_

SCALE: 1"=50'  
 DATE: 2/26/19  
 DRAWN BY: MD  
 CHECKED BY: MLR  
 PROJECT No.: 04001-3002

DS 3/1/19