



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B19001229

Building Address: 2826 HUNT VALLEY DRIVE
City: GLENWOOD State: MD. Zip Code: 21738
Suite/Apt. #: _____ SDP/WP/BA #: _____
Subdivision: WELLINGTON
Lot: 29 Tax Map: _____ Parcel: _____

Existing Use: RESIDENTIAL
Proposed Use: RESIDENTIAL
Estimated Construction Cost: \$ 20,000

Description of Work:
ADD SLAB ROOF OVER
EXISTING GARAGE FLAT ROOF
20 X 27.7'

Occupant/Tenant Name: PHILIP BOURNE
Was tenant space previously occupied? Yes No
Contact Name: PHILIP BOURNE
Address: 2826 HUNT VALLEY DRIVE
City: GLENWOOD State: MD. Zip Code: 21738
Phone: 301-680-9901 Fax: 301-680-9102
Email: peb@ndbdlp.com

Property Owner's Name: PHILIP BOURNE
Address: 2826 HUNT VALLEY DRIVE
City: GLENWOOD State: MD. Zip Code: 21738
Phone: 301-680-9901 Fax: _____
Email: peb@ndbdlp.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: CUNNER GIC
Contact Person: PHILIP BOURNE
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: 301-680-9901 Fax: _____
Email: peb@ndbdlp.com

Engineer/Architect Company: CHAD DESIGN
Responsible Design Prof.: VICTOR CHAO
Address: 5064 BUCKET HOLE COURT
City: COLUMBIA State: MD Zip Code: 21045
Phone: 410-428-4983 Fax: _____
Email: VIC@CHAOCONTACT.NET

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1st floor: _____ 2nd floor: _____
Area of construction (sq. ft.): _____	Basement: _____
Use group: _____	<input type="checkbox"/> Finished Basement
Construction type:	<input checked="" type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Masonry	No. of Bedrooms: <u>4</u>
<input type="checkbox"/> Wood Frame	Multi-family Dwelling
<input type="checkbox"/> State Certified Modular	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: VICTOR CHAO Print Name: VICTOR CHAO
Email Address: VIC@CHAOCONTACT.NET Date: 4-25-2019
Title/Company: CHAO DESIGN SERVICES

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

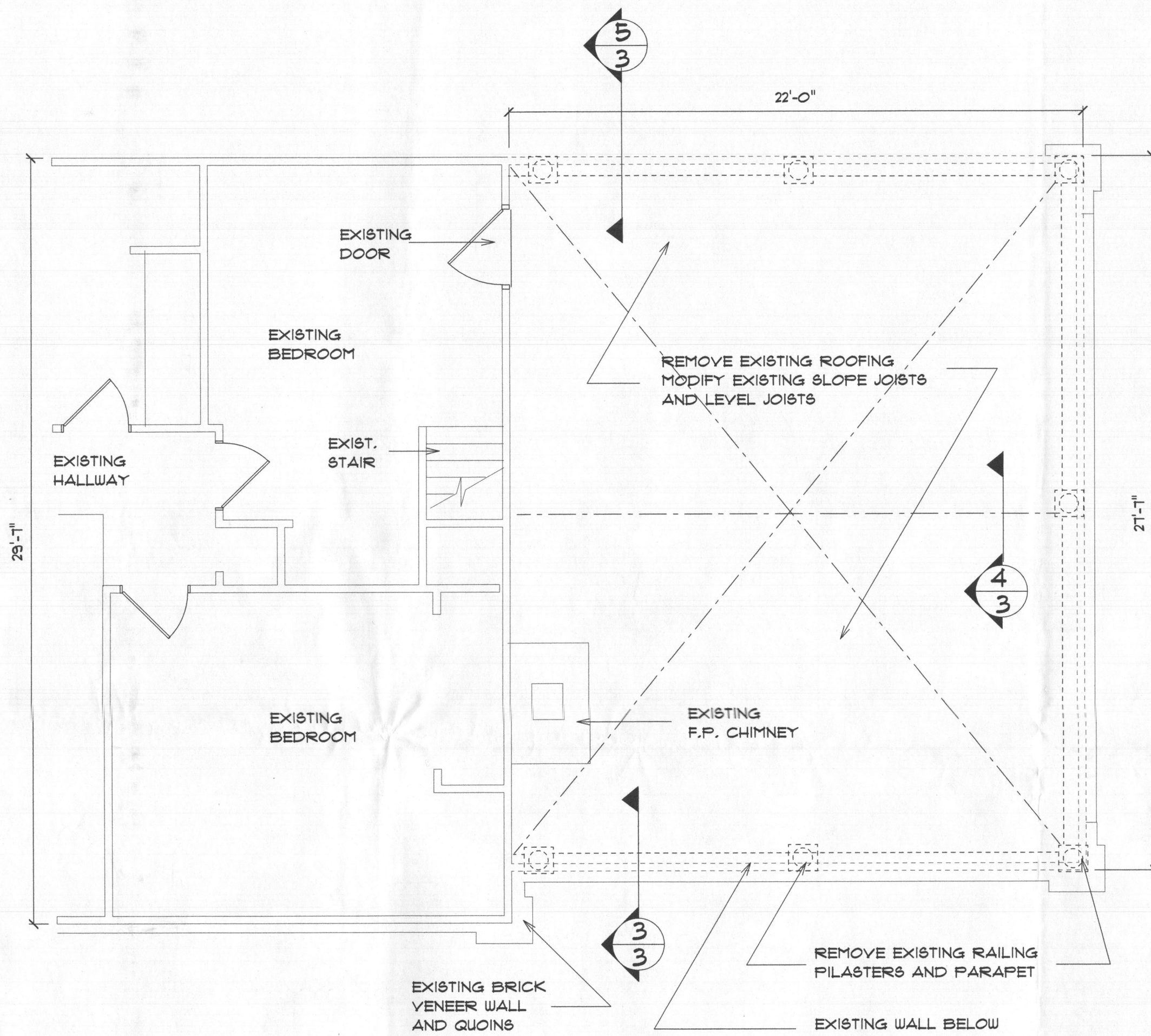
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>5739 D Bernard</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

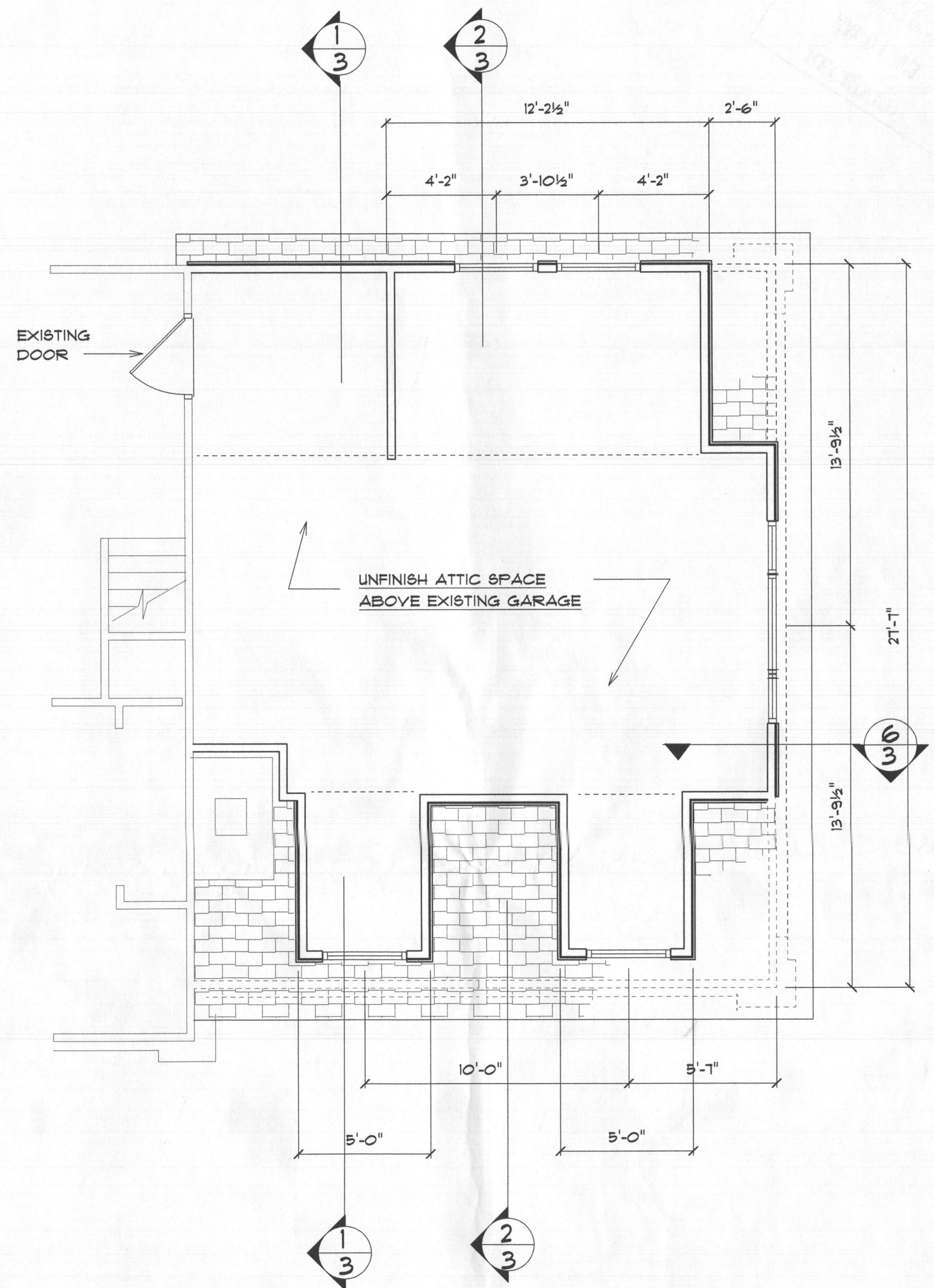
Filing Fee	\$	<u>25.00</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	<u>111</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health



**EXISTING GARAGE ROOF PLAN
- DEMO PLAN**

SCALE: 1/4" = 1'-0"



**UNFINISH SPACE AT NEW ROOF
ATTIC SPACE ABOVE GARAGE**

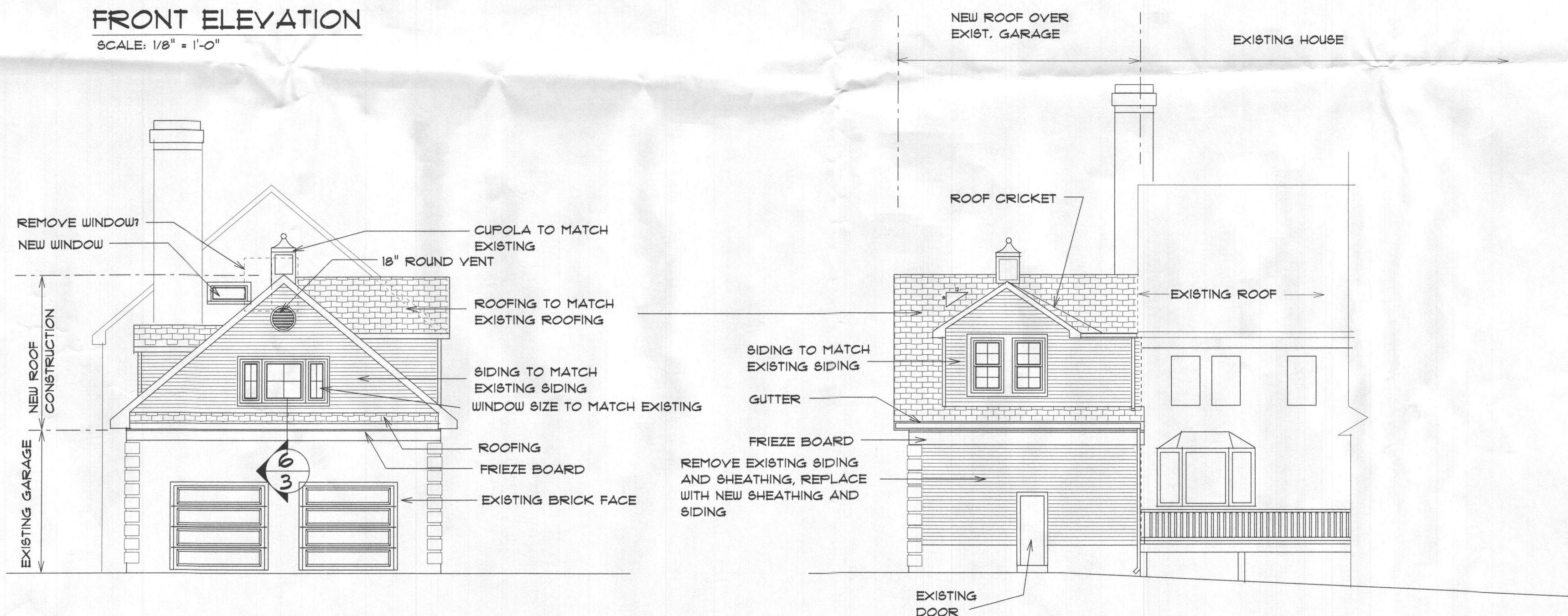
SCALE: 1/4" = 1'-0"

NOTE: WINDOW SIZES ARE TO MATCH WINDOWS AT SOUTH WING.



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



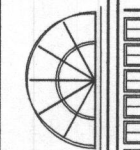
GARAGE SIDE ELEVATION

SCALE: 1/8" = 1'-0"

GARAGE REAR ELEVATION

SCALE: 1/8" = 1'-0"

CHAO DESIGN



5064 BUCKETPOST COURT,
COLUMBIA, MD. 21045

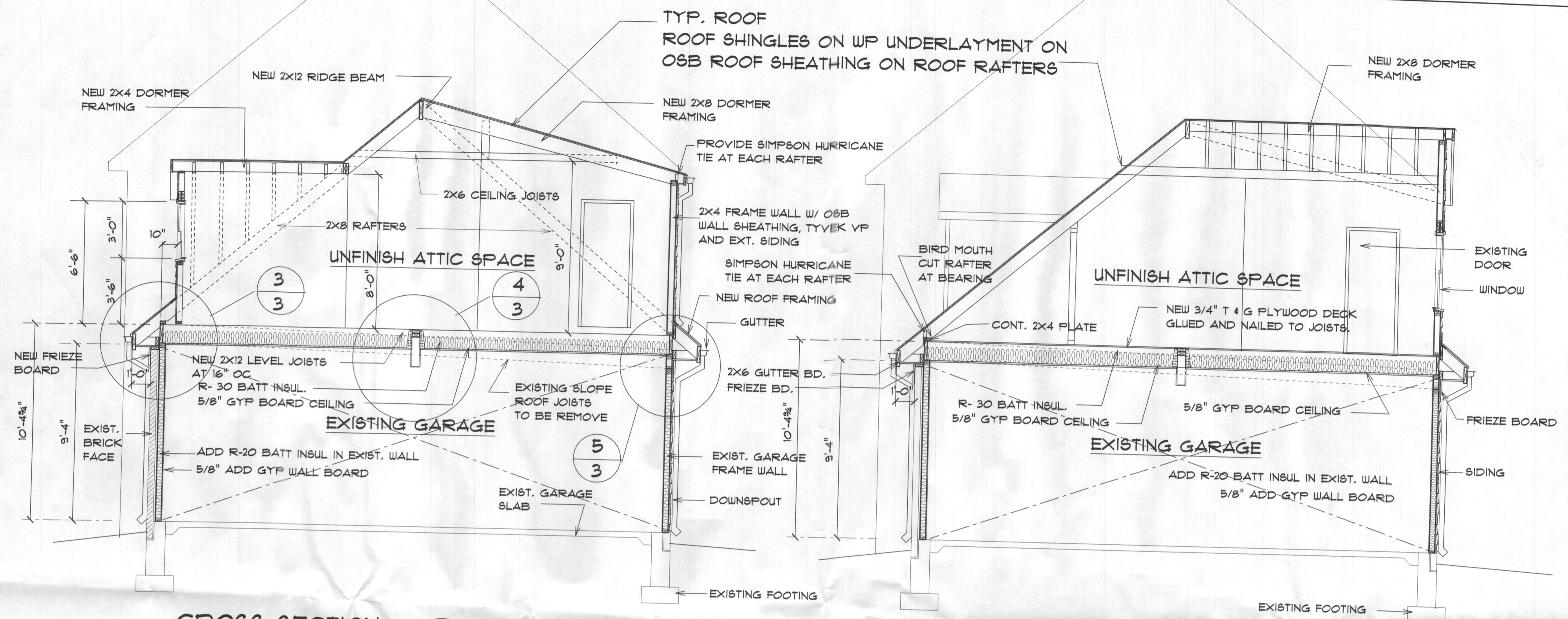
ROOF OVER EXISTING GARAGE

PHILIP BOURNE RESIDENCE
2826 HUNT VALLEY DRIVE, GLENWOOD, MD. 21738

A-2

4-24-2019

TYP. ROOF
 ROOF SHINGLES ON WP UNDERLAYMENT ON
 OSB ROOF SHEATHING ON ROOF RAFTERS

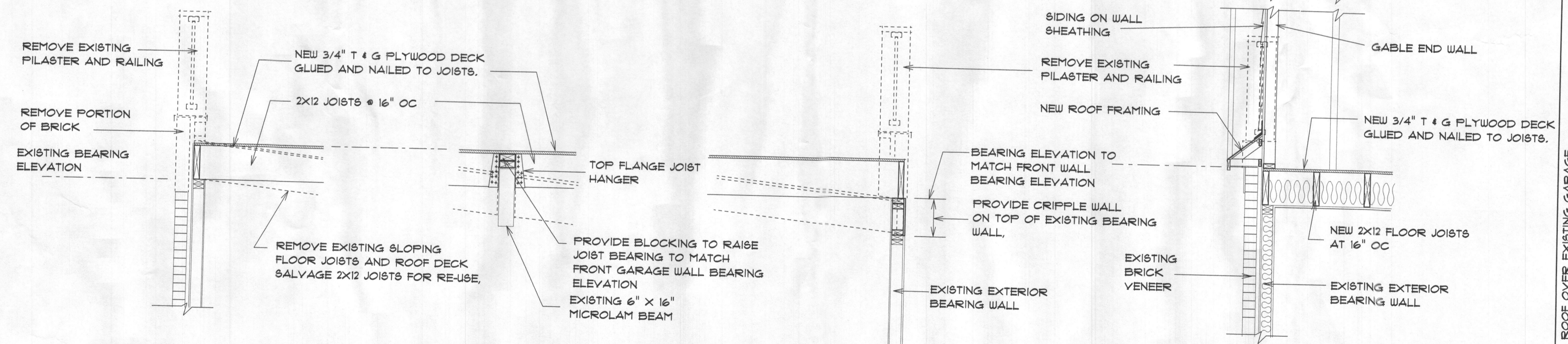


CROSS SECTION
 SCALE: 1/4" = 1'-0"

1
3

CROSS SECTION
 SCALE: 1/4" = 1'-0"

2
3



DETAIL
 SCALE: 1/2" = 1'-0"

3
3

DETAIL
 SCALE: 1/2" = 1'-0"

4
3

DETAIL
 SCALE: 1/2" = 1'-0"

5
3

DETAIL
 SCALE: 1/2" = 1'-0"

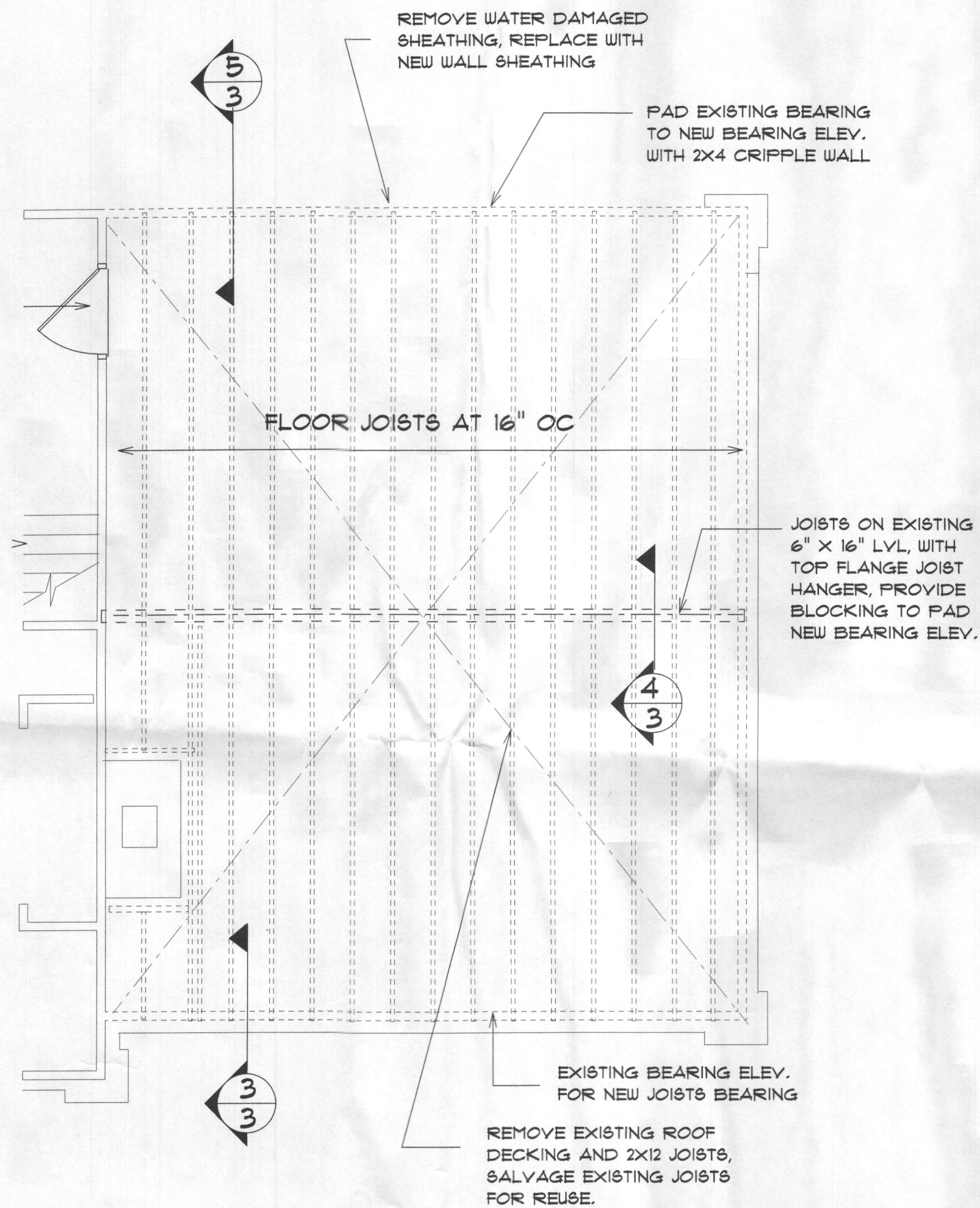
6
3

CHAO DESIGN
 5064 BUCKETPOST COURT,
 COLUMBIA, MD, 21045

ROOF OVER EXISTING GARAGE
 PHILIP BOURNE RESIDENCE
 2826 HUNT VALLEY DRIVE, GLENWOOD, MD, 21138

A-3

4-24-2019



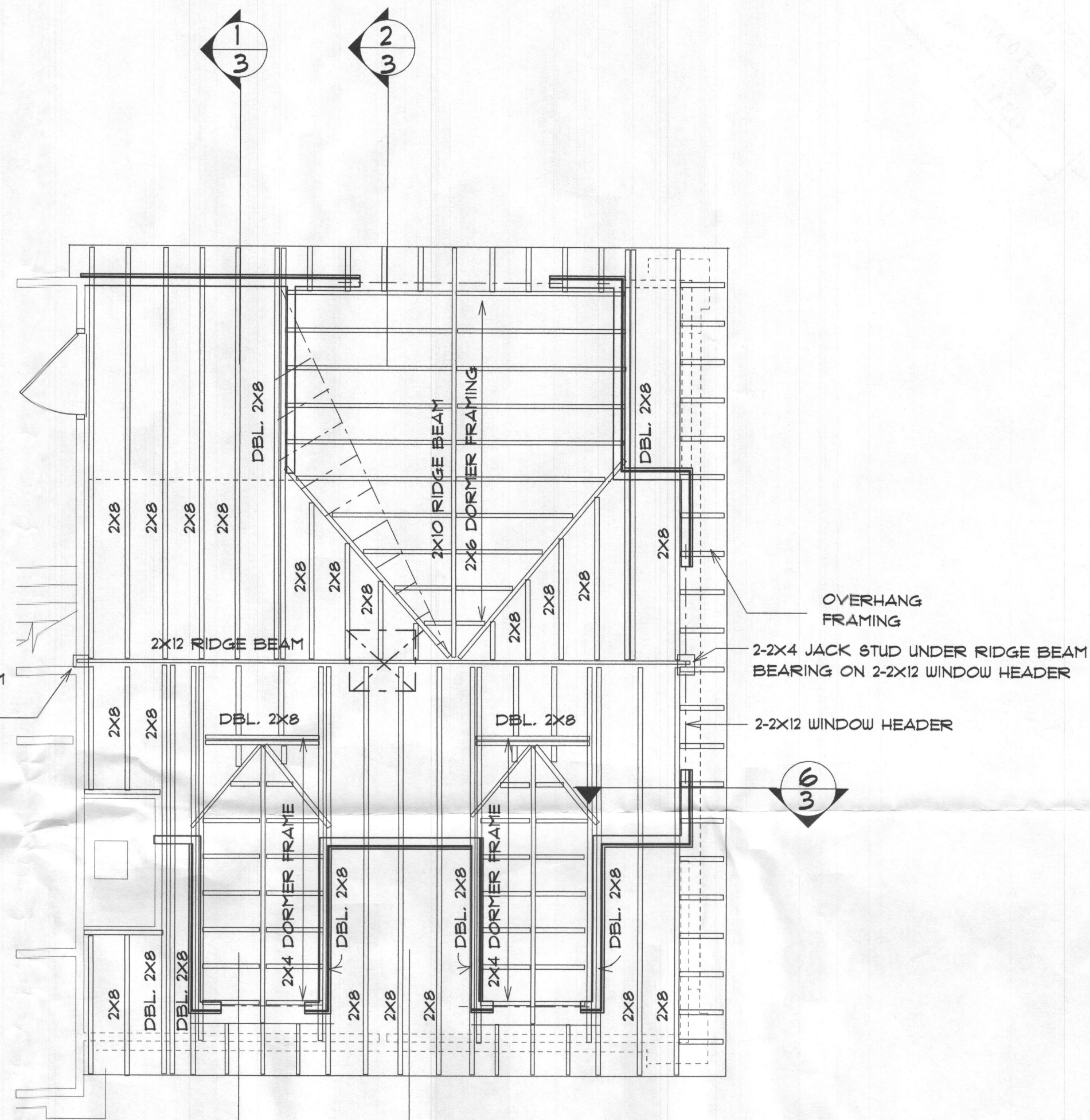
EXISTING GARAGE ROOF FRAMING, CONVERTING TO FLOOR FRAMING

SCALE: 1/4" = 1'-0"

DESIGN CRITERIA

FLOOR LOAD LL = 30 PSF
 ROOF LOAD LL = 30 PSF DL = 10 PSF
 SNOW GROUND L = 30 PSF
 SNOW EXP FACTOR = 1.0
 WIND LOAD = 90 MPH
 IMPORTANCE FACTOR = 1-1.15

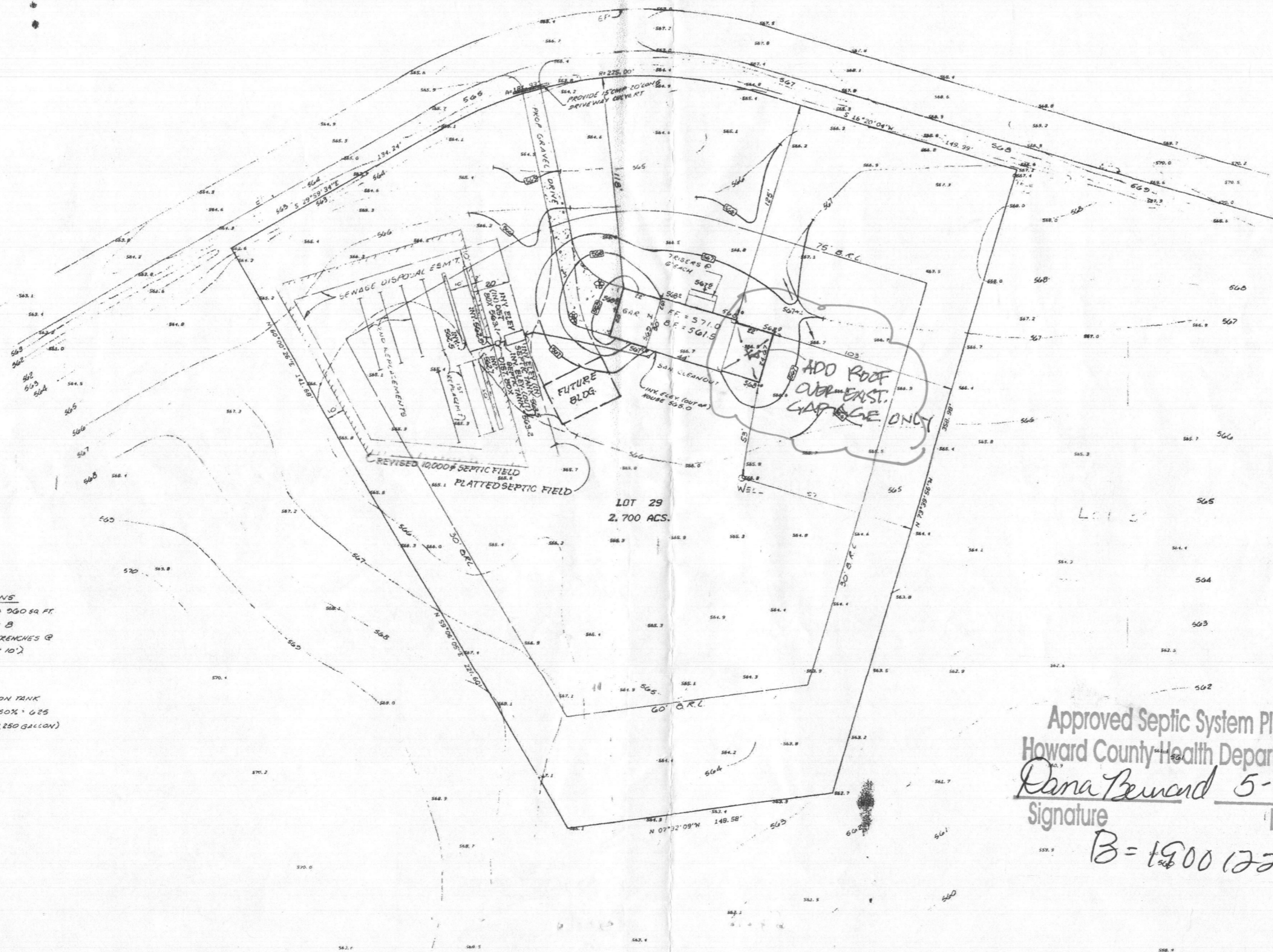
LUMBER SPECIES - SOUTHERN PINE #2, KILN DRIED # USED AT 19% MAX. MOISTURE CONTENT



GARAGE ROOF FRAMING

SCALE: 1/4" = 1'-0"

HUNT VALLEY DRIVE



LEGEND

EXISTING CONTOUR	567
PROPOSED CONTOUR	567
EXISTING SPOT ELEVATION	566.7
PROPOSED SPOT ELEVATION	567.1

TRENCH CALCULATIONS
 4 BEDROOM x 240 SQ. FT. = 960 SQ. FT.
 2' WIDE x 4' DEEP TRENCH = B
 960 ÷ B = 120 (USE 3 TRENCHES @ 40' EACH SEPARATED BY 10')

SEPTIC TANK
 4 BEDROOM = 1250 GALLON TANK
 GARBAGE DISPOSAL = 50% x 625
 1250 + 625 = 1,875 (USE 2,250 GALLON)

LOT 29
 2,700 ACS.

Approved Septic System Plan
 Howard County Health Department
Dana Bernard 5-13-19
 Signature Date
 B-19001229