

Health

Address: 13533 Paternal Gift Drive
Highland State: MD Zip Code: 20777
 apt. # _____ SDP/WP/BA #: _____
 division: Paternal Gift Farm
 lot: 8 Tax Map: 0040 Parcel: 0090

Existing Use: Single Family Residence
 Proposed Use: Single Family Residence
 Estimated Construction Cost: \$ 50,000
 Description of Work: Master bath renovation
and finish rec room in basement.
Master Bath sq. ft. = 252 sq. ft.
Rec Room sq. ft. = 450 sq. ft.
 Occupant/Tenant Name: N/A 702
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: William Farmer
 Address: 13533 Paternal Gift Drive
 City: Highland State: MD Zip Code: 20777
 Phone: 240-832-4151 Fax: _____
 Email: Wfarmercaol.com

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Wivell Homes - Andrew Wivell
 Address: 10025 4 Points Road
 City: Rocky Ridge State: MD Zip Code: 21778
 Phone: 301-748-5344 Fax: _____
 Email: andrew@wivellhomes.com

Contractor Company: Wivell Homes, LLC
 Contact Person: Andrew Wivell
 Address: 10025 4 Points Road
 City: Rocky Ridge State: MD Zip Code: 21778
 License No.: 127580
 Phone: 301-748-5344 Fax: _____
 Email: andrew@wivellhomes.com

Engineer/Architect Company: Eastwing Design
 Responsible Design Prof.: Evan Wivell
 Address: 837 W. 35th Street
 City: Baltimore State: MD Zip Code: 21211
 Phone: 301-514-3310 Fax: _____
 Email: evan@eastwingdb.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1st floor:	
	2nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Andrew Wivell
 Applicant's Signature
andrew@wivellhomes.com
 Email Address

Andrew Wivell
 Print Name
03.07.2019
 Date

RECEIVED
MAR 08 2019

LICENSES & PERMITS
 DIVISION

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
	<u>3/20/2019</u>	<u>Andrew Wivell</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

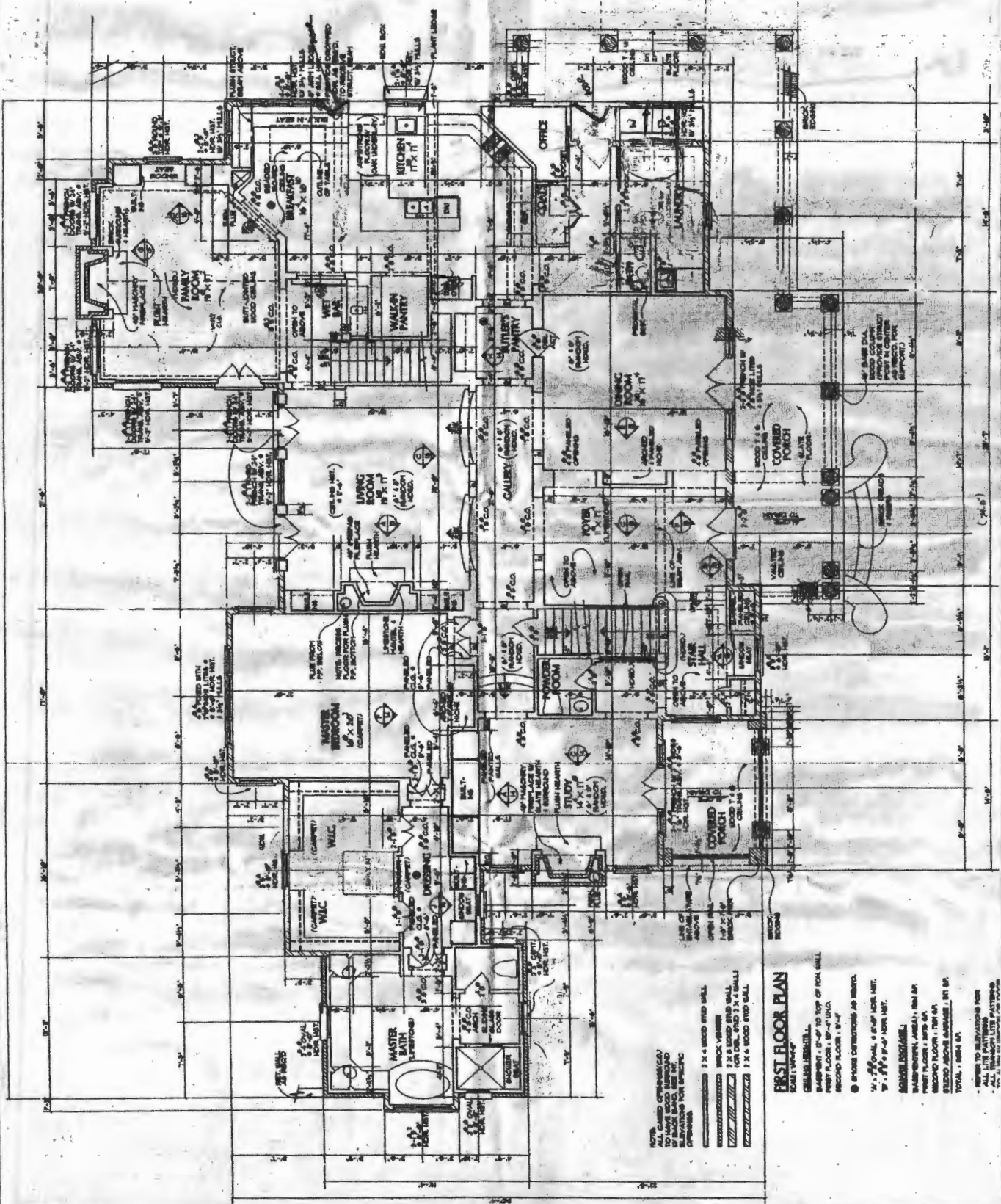
Filing Fee	\$ <u>25</u>
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>135.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>4000</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

MAIL TO CONTRACTOR

A

1st Floor
Existing Residence



- NOTE: ALL CARPET CONTINGENT UPON APPROVAL BY ARCHITECT. SEE SET FOR SPECIFICATIONS FOR SPECIFIC CARPETS.
- 1 X 4 WOOD TRIM WALL
 - BRICK VENEER
 - CONCRETE AND 2 X 4 WALLS
 - 2 X 4 WOOD TRIM WALL

FIRST FLOOR PLAN

CELLAR LEVEL: 1'-0" TO TOP OF FOK BALL
 BASEMENT: 1'-0" TO TOP OF FOK BALL
 FIRST FLOOR: 1'-0" TO 1'-0"
 SECOND FLOOR: 1'-0" TO 1'-0"

• 8" X 8" COLUMNS AND BEAMS
 • 4" x 4" WALLS & 2" x 4" FLOOR JOIST
 • 2" x 4" FLOOR JOIST

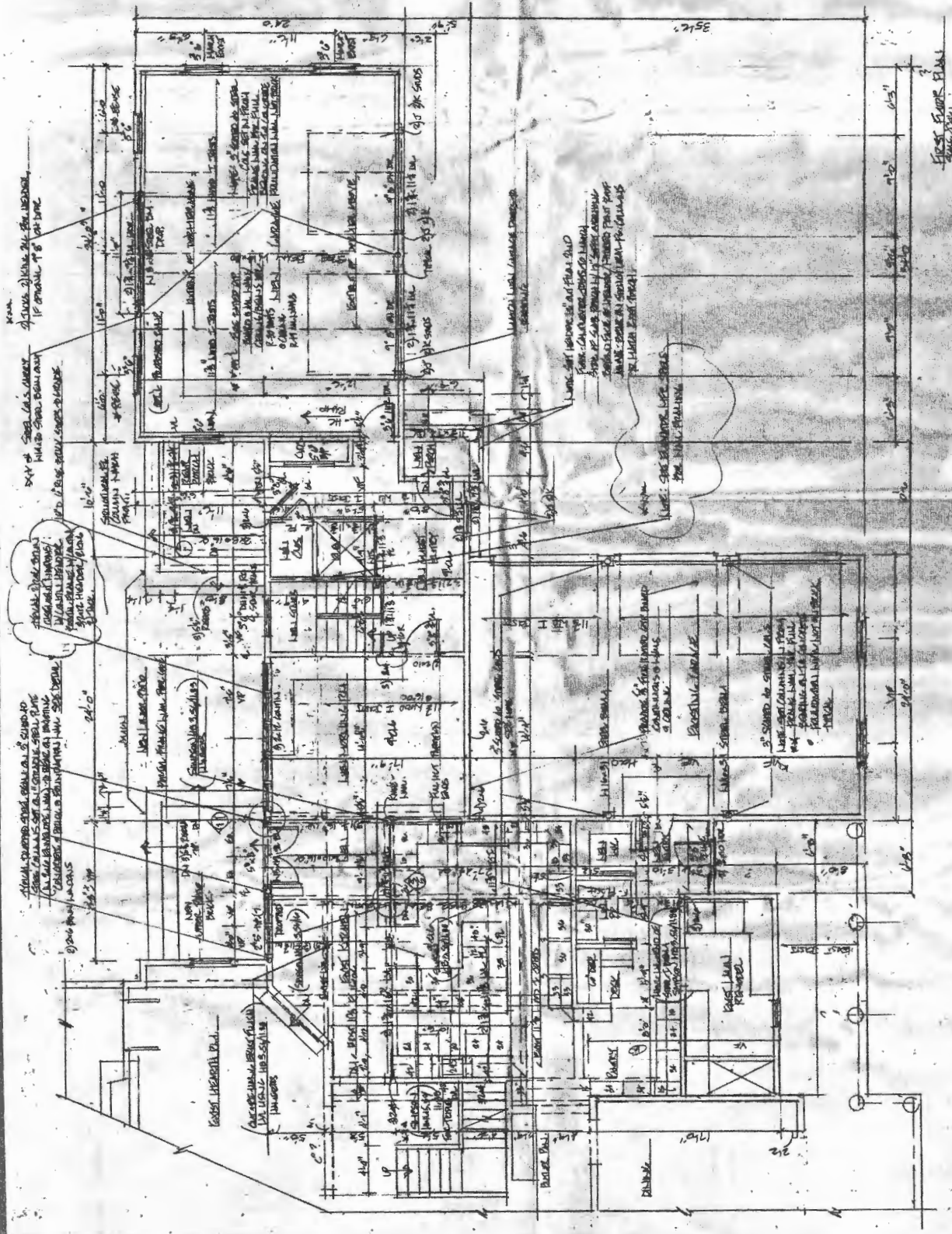
ADDITIONAL NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

TOTAL: 1,800 SQ. FT.

* REFER TO REVISIONS FOR ALL DIMENSIONS AND PATTERNS FOR ALL MATERIALS AND FINISHES.

BLOOMIS
 Andrew G. Well
 Well Homes
 301-748-5394

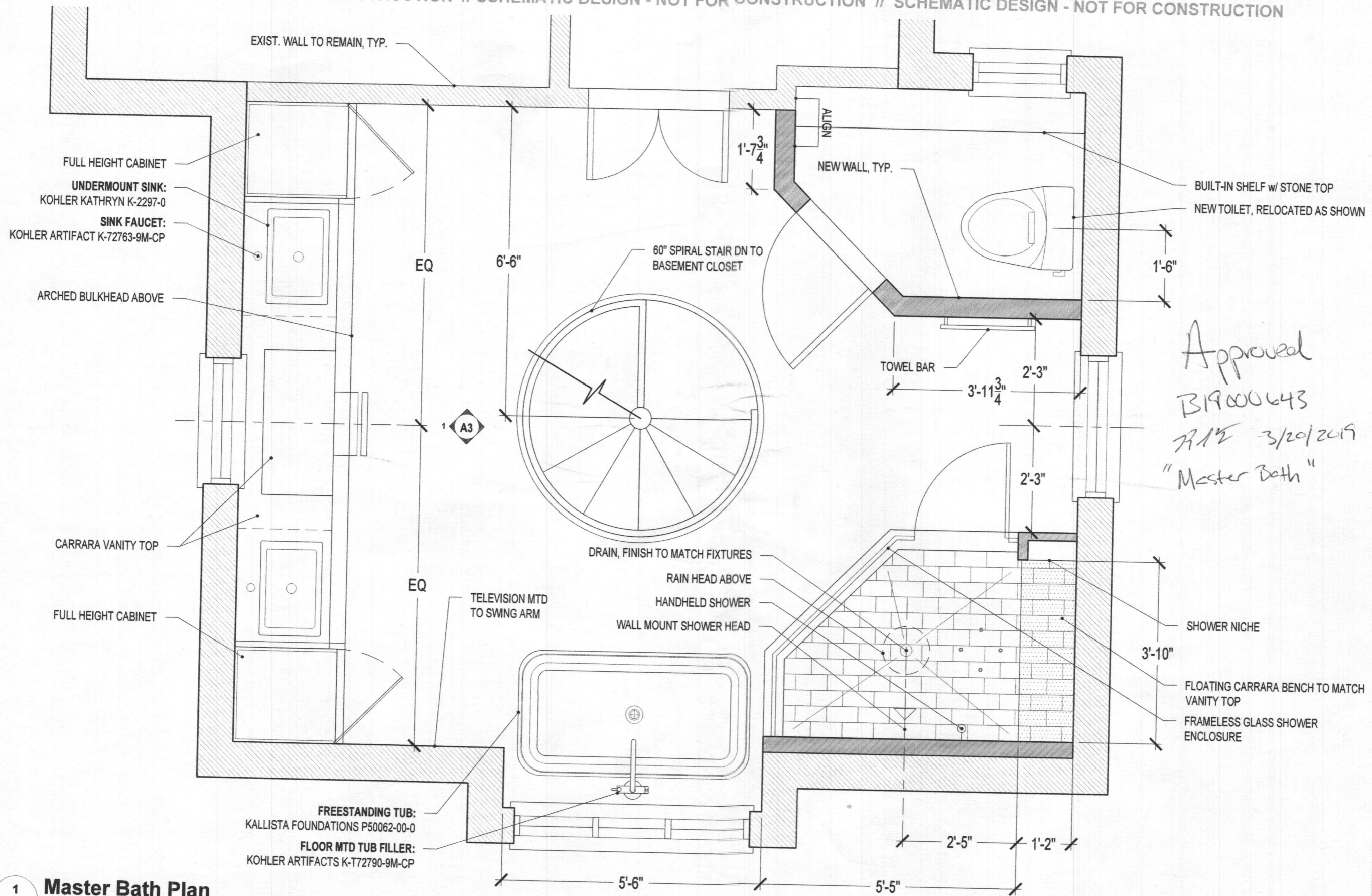
1st Floor
 Remodeled (Existing) Kitchen -
 Proposed Addition



2
 2 of 2
 DMS BY ANDREW G. WELL
 1/14/14
 REMODEL & ADDITION
 HOME OFFICE

REVISIONS & ADDITIONS TO RESIDENCE AT 11111 N. 111TH AVE. WILLOW PARK, CO. 80201
 PROJECT: 11111 N. 111TH AVE. WILLOW PARK, CO. 80201

MPI
 Mechanical, Plumbing, Electrical
 11111 N. 111TH AVE. WILLOW PARK, CO. 80201
 303-440-1111
 www.mpiinc.com



1 Master Bath Plan
 A1 1/2" = 1' - 0"

Approved
 B1900643
 R1/E 3/20/2019
 "Master Bath"

EASTWING
 DESIGN + BUILD, LLC
 837 W 35th Street
 Baltimore, MD 21211
 eastwingdesignbuild.com
 301.514.3310

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CONTRACTOR
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 Contact: Andrew Wivell
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FARMER BATHROOM
 13533 PATERNAL GIFT DRIVE
 HIGHLAND, MARYLAND 20777

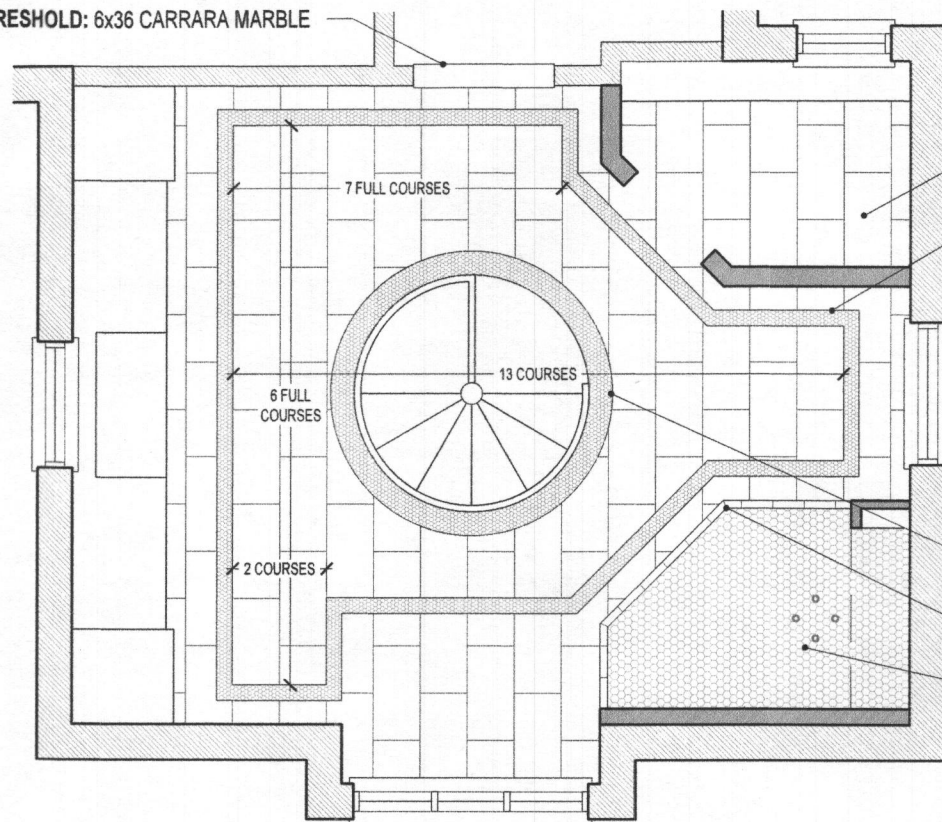
01.30.2019

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am duly licensed professional Architect under the laws of the State of Maryland.
 License No. _____
 Expiration Date: _____

BATHROOM
 FLOOR PLAN

A1

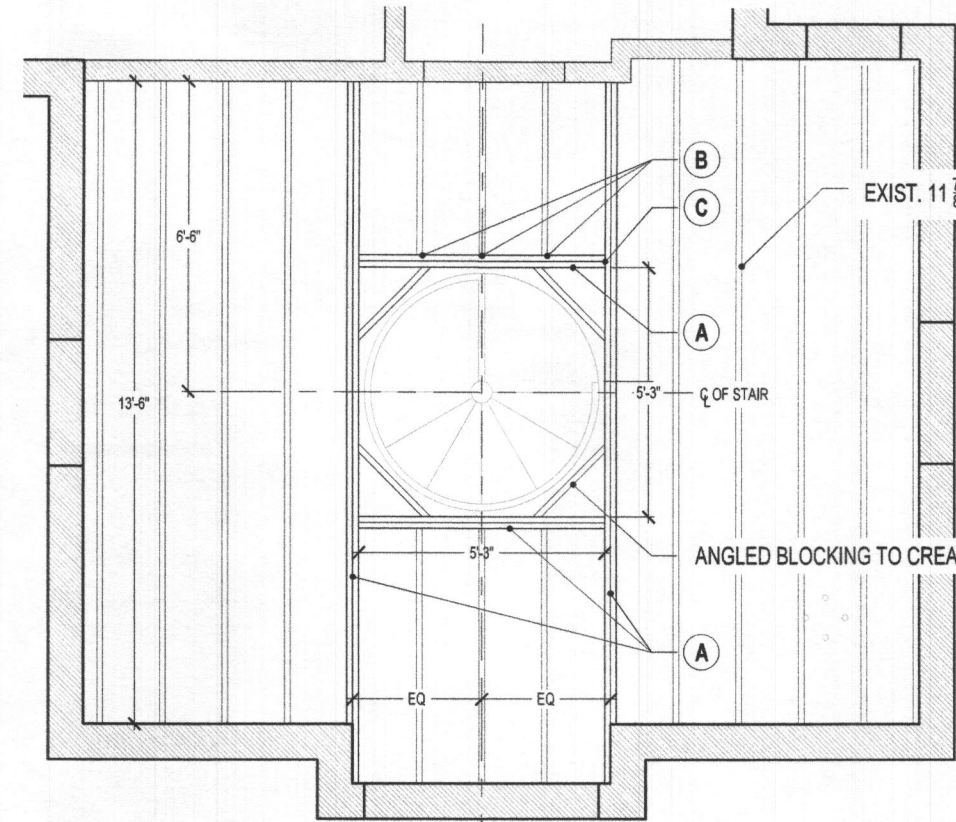
THRESHOLD: 6x36 CARRARA MARBLE



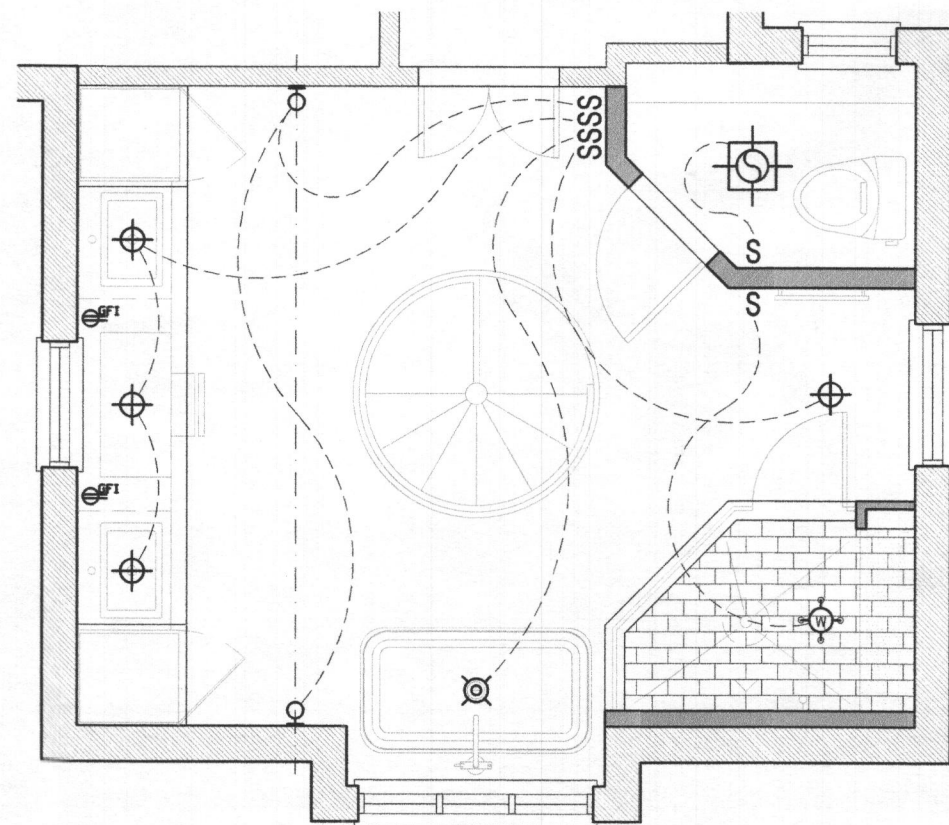
FIELD TILE: 12x24 CARRARA MARBLE
 4" BORDER TILE: 1" BLACK MARBLE HEX - POLISHED

6" BORDER TILE: 1" BLACK MARBLE HEX - POLISHED
 SHOWER BORDER: 2x8 CARRARA MARBLE
 SHOWER TILE: 2" CARRARA MARBLE HEX

1 Master Bath - Finish Plan
 A2 1/4" = 1' - 0"



2 Master Bath - Framing Plan
 A2 1/4" = 1' - 0"



LIGHTING KEY:

- S SWITCH (DIMMABLE U.N.O.)
- S₃ SWITCH - 3 WAY
- S₄ SWITCH - 4 WAY
- E OUTLET / 15" A.F.F., U.N.O.
- EFT OUTLET / - GFCI
- EF EXHAUST FAN + LIGHT (2 SWITCHES REQ'D)
- DL 4" RECESSED LED DOWNLIGHT
- W RECESSED CAN - WET LOCATION
- PL PENDANT LIGHT
- SC WALL SCONCE

STRUCTURAL NOTES:

- A: DBL 11 7/8" LVL
- B: SIMPSON STRONG-TIE FACE MOUNT I-JOIST HANGER, TYP. OF 6
- C: SIMPSON STRONG-TIE 3 1/2" x 11 7/8" FACE MOUNT HANGER, TYP. OF 4

3 Master Bath - RCP / Lighting / Power
 A2 1/4" = 1' - 0"

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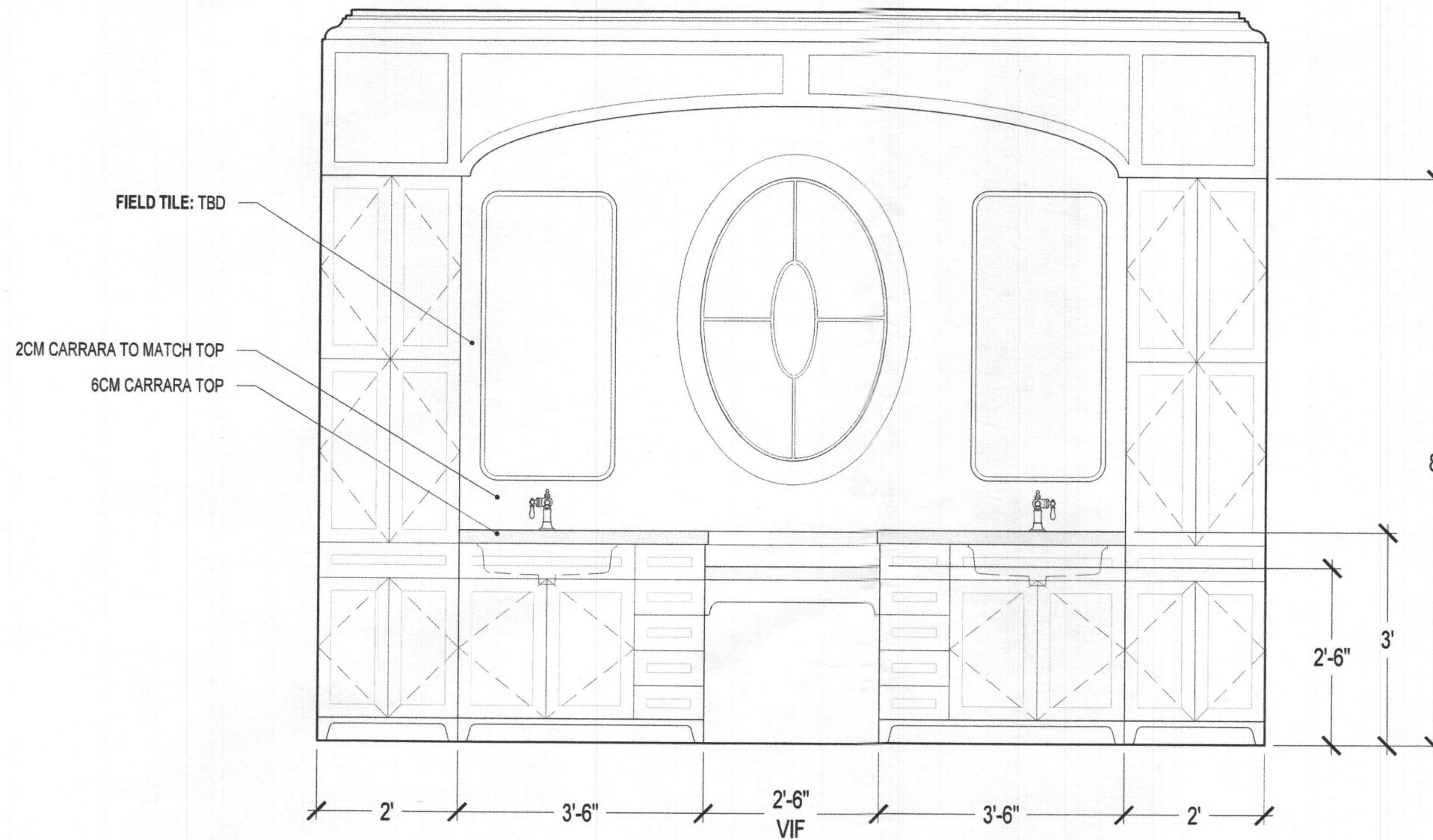
BATHROOM
 FLOOR PLAN

A2

EASTWING
 DESIGN + BUILD, LLC
 837 W 35th Street
 Baltimore, MD 21211
 eastwingdesignbuild.com
 301.514.3310

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 Highland, MD 20777

CONTRACTOR
 Wwell Homes
 10025 4 Points Road
 Rocky Ridge, Maryland 21778
 Contact: Andrew Wwell
 301.748.5344



1 Vanity Elevation
 A3 3/8" = 1' - 0"

FARMER BATHROOM
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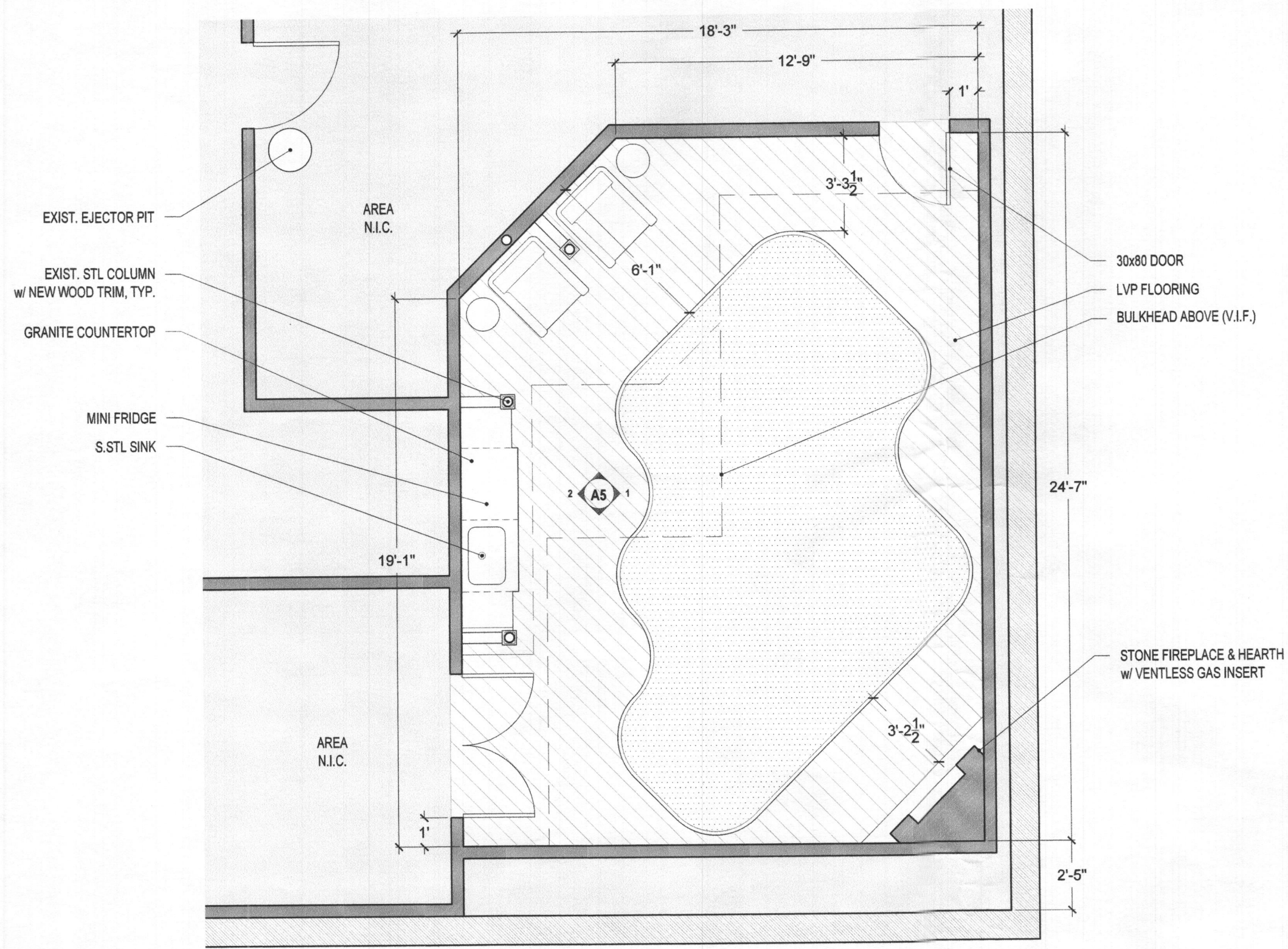
BATHROOM
 ELEVATIONS

A3

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 Rocky Ridge, Maryland 21778
 Contact: Andrew Wivell
 301.748.5344



Approved
B19000643
R/W 3/20/2019
"Rec Room"

1 Finished Basement Plan
 A4 3/8" = 1' - 0"

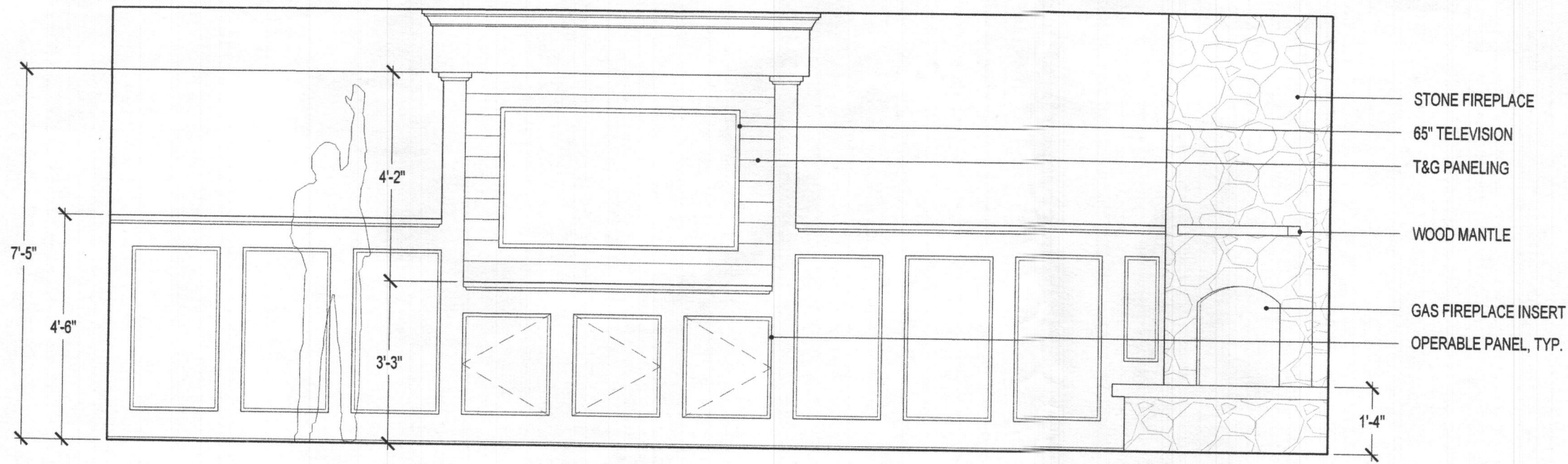
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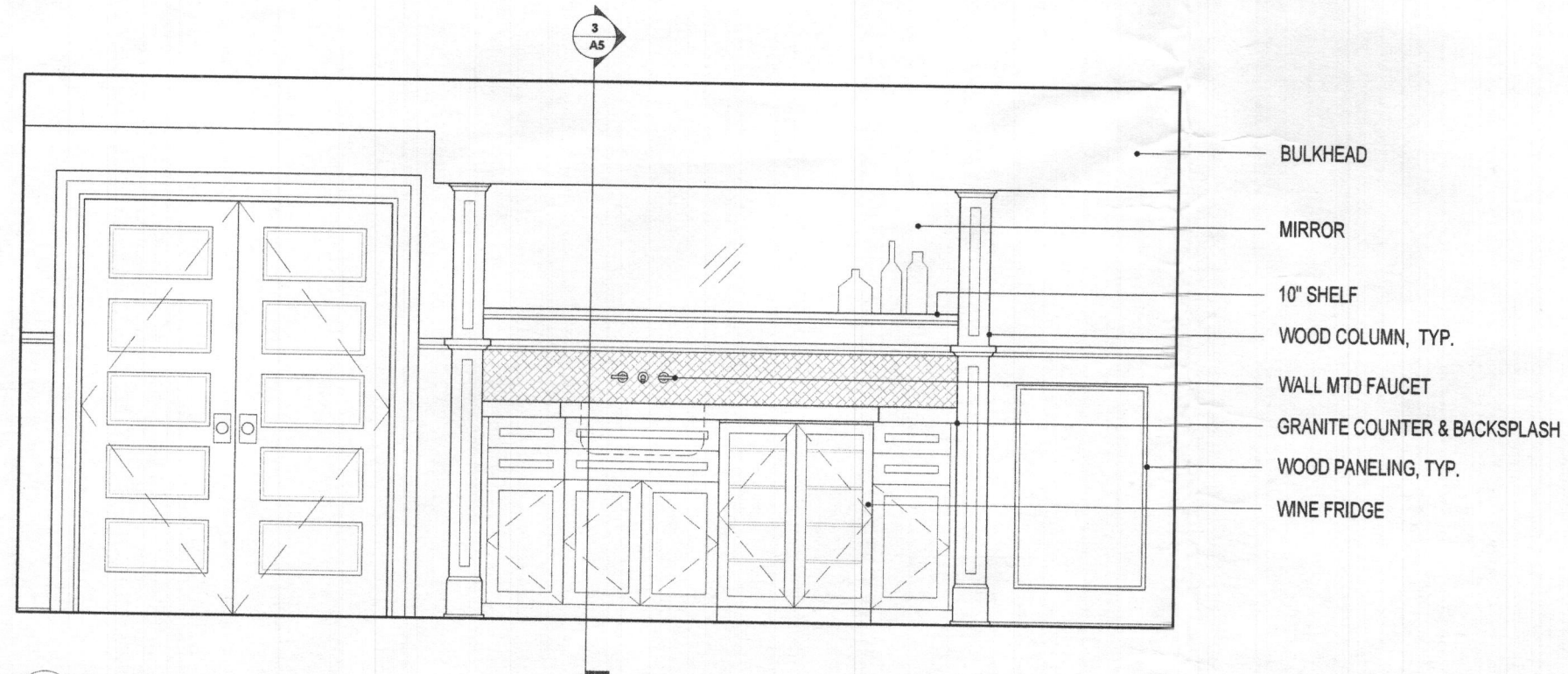
**BASEMENT
 FLOOR PLAN**

A4



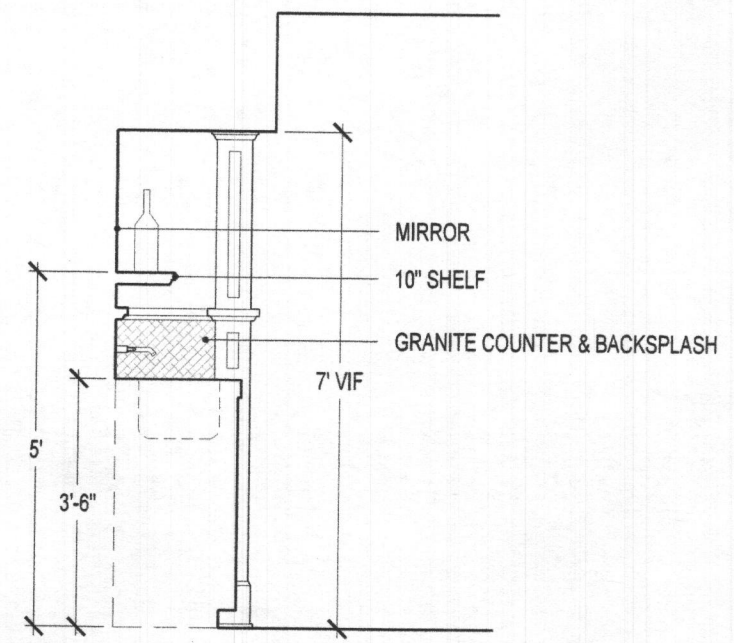
- STONE FIREPLACE
- 65" TELEVISION
- T&G PANELING
- WOOD MANTLE
- GAS FIREPLACE INSERT
- OPERABLE PANEL, TYP.

1 Elevation - TV Wall
A5 3/8" = 1' - 0"



- BULKHEAD
- MIRROR
- 10" SHELF
- WOOD COLUMN, TYP.
- WALL MTD FAUCET
- GRANITE COUNTER & BACKSPLASH
- WOOD PANELING, TYP.
- WINE FRIDGE

2 Elevation - Bar
A5 3/8" = 1' - 0"



2 Section - Bar
A5 3/8" = 1' - 0"

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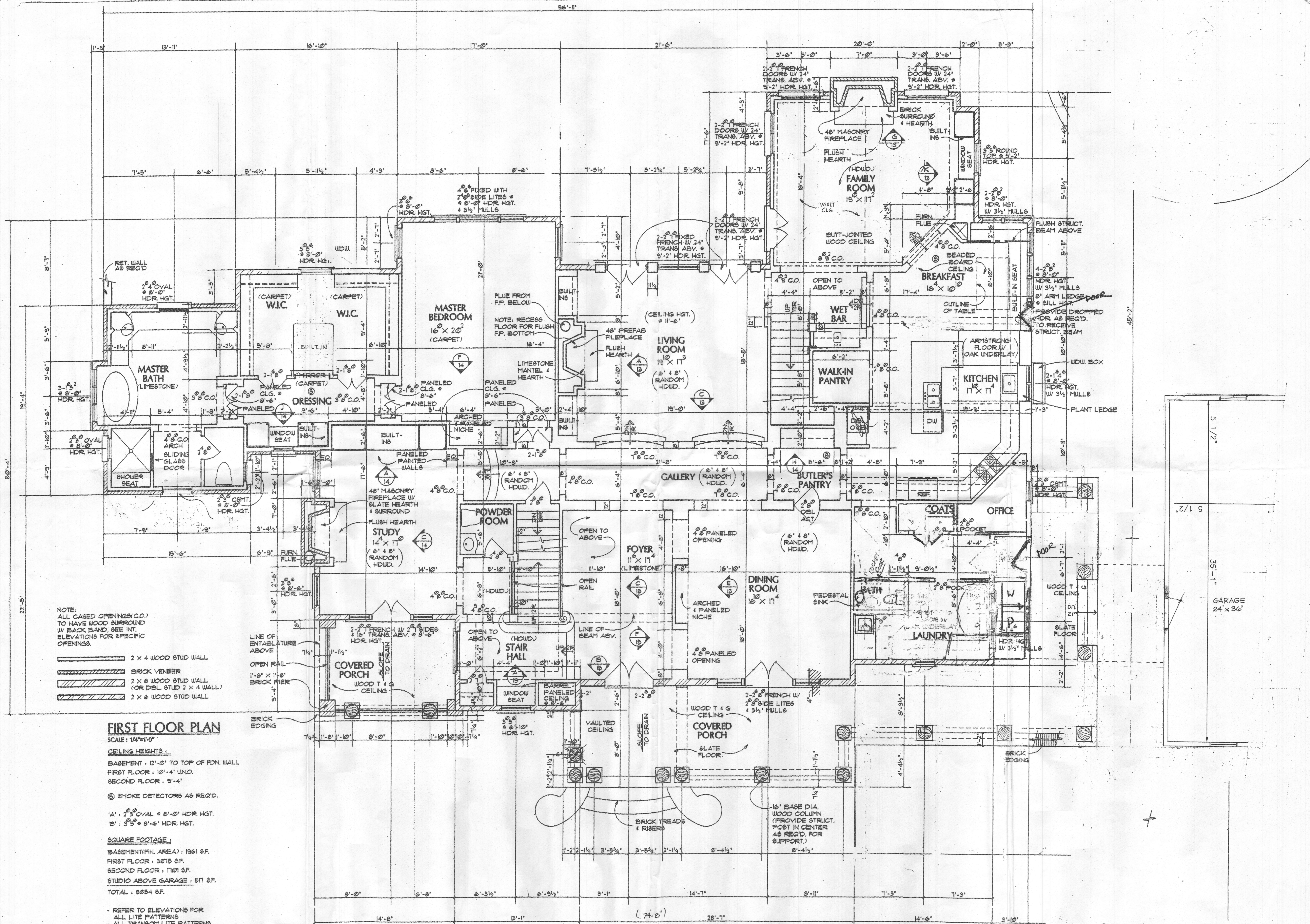
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BASEMENT
ELEVATIONS

A5



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

CEILING HEIGHTS:
 BASEMENT: 12'-0" TO TOP OF FDN. WALL
 FIRST FLOOR: 10'-4" UNO.
 SECOND FLOOR: 9'-4"

⊙ SMOKE DETECTORS AS REQ'D.

'A': 2'-0" OVAL ⦿ 8'-0" HDR. HGT.
 'B': 3'-0" ⦿ 8'-6" HDR. HGT.

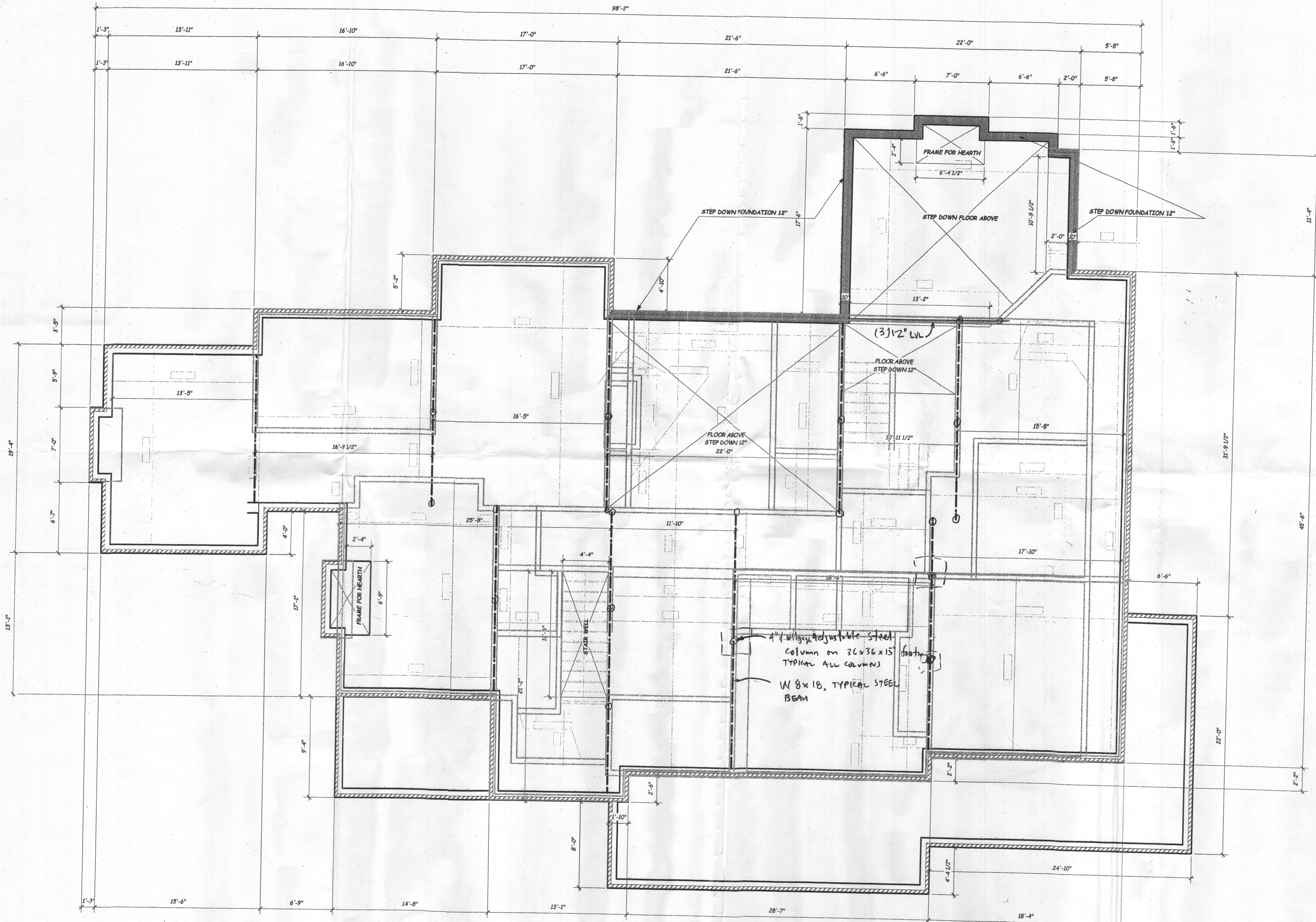
SQUARE FOOTAGE:
 BASEMENT (FIN. AREA): 1361 SF.
 FIRST FLOOR: 3875 SF.
 SECOND FLOOR: 1701 SF.
 STUDIO ABOVE GARAGE: 511 SF.
 TOTAL: 8054 SF.

- REFER TO ELEVATIONS FOR ALL LITE PATTERNS
 - ALL TRANSOM LITE PATTERNS TO ALIGN W/ WINDOW OR DOOR LITE WIDTHS

- NOTE:
 ALL CASED OPENINGS (C.O.) TO HAVE WOOD SURROUND W/ BACK BAND. SEE INT. ELEVATIONS FOR SPECIFIC OPENINGS.
- 2 x 4 WOOD STUD WALL
 - BRICK VENEER
 - 2 x 8 WOOD STUD WALL (OR DBL. STUD 2 x 4 WALL)
 - 2 x 6 WOOD STUD WALL

- LINE OF ENTABLATURE ABOVE
- OPEN RAIL
- 1'-8" x 1'-8" BRICK PIERS
- BRICK EDGING

(74'-0")



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

4" dia. x 18' Adjustable Steel
 Column on 36x36x15
 TYPICAL ALL COLUMNS
 W 8x18, TYPICAL STEEL
 BEAM

(3) 12" LVL

FRAME FOR HEARTH

FRAME FOR HEARTH

STAIR WELL

STEP DOWN FOUNDATION 12"

STEP DOWN FLOOR ABOVE

STEP DOWN FOUNDATION 12"

FLOOR ABOVE
STEP DOWN 12"

FLOOR ABOVE
STEP DOWN 12"

13'-5"

16'-5"

22'-0"

15'-8"

17'-10"

15'-6"

6'-9"

14'-8"

13'-1"

28'-7"

18'-4"

24'-10"

22'-0"

31'-9 1/2"

48'-6"

11'-4"

98'-2"

13'-11"

16'-10"

17'-0"

21'-6"

22'-0"

5'-8"

13'-11"

16'-10"

17'-0"

21'-6"

6'-6"

7'-0"

6'-6"

2'-0"

5'-8"

3'-5"

5'-9"

7'-0"

6'-7"

19'-4"

13'-1"

9'-4"

1'-3"

1'-6"

17'-6"

4'-10"

10'

17'-11 1/2"

11'-10"

18'-5"

4'-4"

21'-2"

2'-6"

1'-10"

8'-0"

2'-2"

4'-4 1/2"

1'-6"

10'-9 1/2"

2'-0"

13'-2"

10'

6'-5"

6'-5"

2'-2"

2'-2"

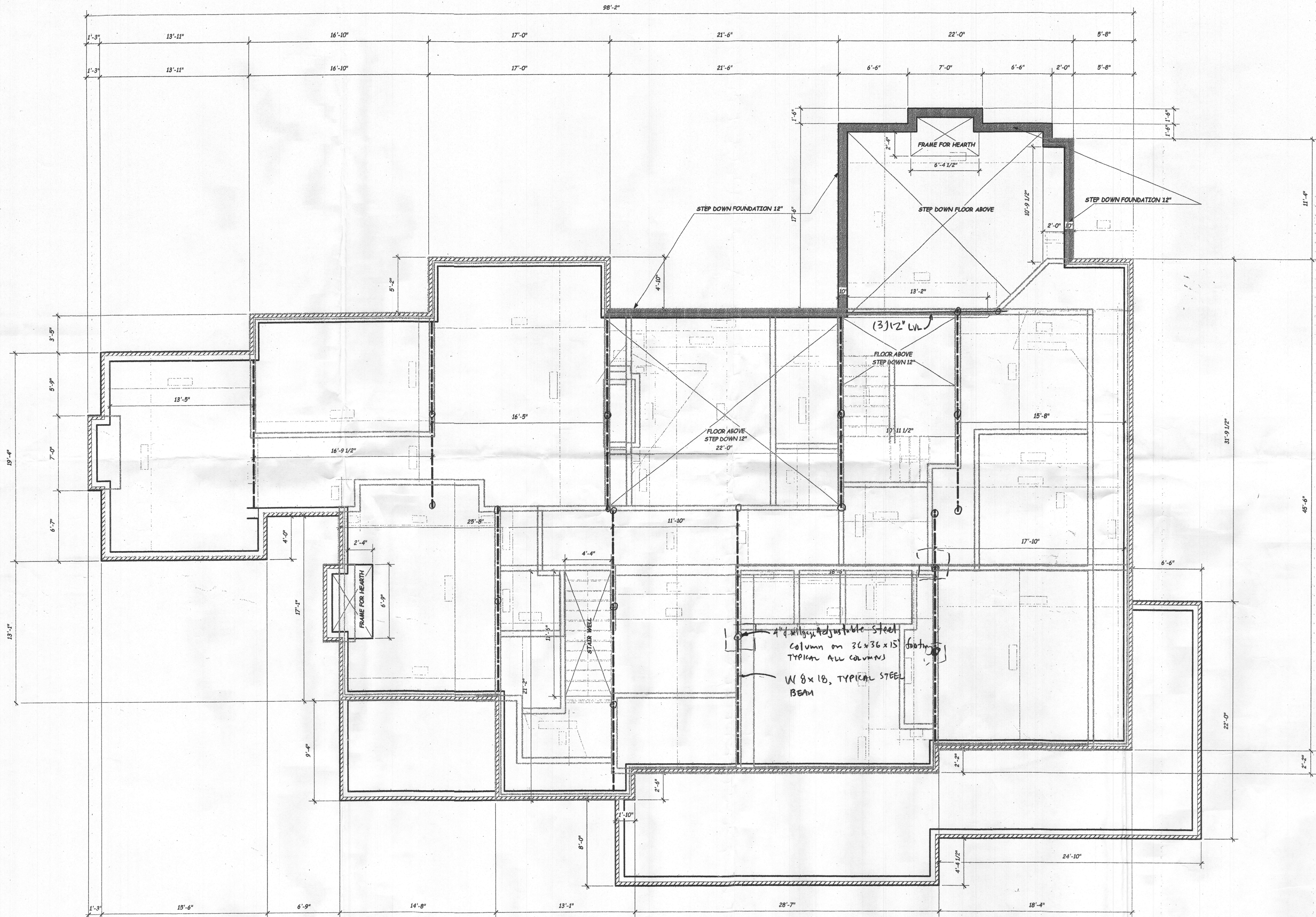
2'-2"

2'-2"

2'-2"

2'-2"

2'-2"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

4" dia. Adjustable Steel
 Column on 36x36x15
 TYPICAL ALL COLUMNS
 W 8x18, TYPICAL STEEL
 BEAM

(3) 12" LV

FRAME FOR HEARTH

FRAME FOR HEARTH

STAIR WELL

STEP DOWN FOUNDATION 12"

STEP DOWN FLOOR ABOVE

STEP DOWN FOUNDATION 12"

FLOOR ABOVE
STEP DOWN 12"

FLOOR ABOVE
STEP DOWN 12"

13'-5"

16'-5"

22'-0"

15'-8"

17'-10"

13'-11"

16'-10"

17'-0"

21'-6"

22'-0"

5'-8"

13'-11"

16'-10"

17'-0"

21'-6"

6'-6"

7'-0"

6'-6"

2'-0"

5'-8"

15'-6"

6'-9"

14'-8"

13'-1"

28'-7"

18'-4"

24'-10"

22'-0"

31'-9 1/2"

45'-6"

11'-4"

2'-2"

1'-6"

1'-6"

1'-6"

1'-6"

3'-5"

5'-9"

7'-0"

19'-4"

6'-7"

13'-1"

17'-1"

4'-0"

25'-8"

11'-5"

4'-4"

11'-10"

18'-5"

6'-6"

2'-2"

8'-0"

1'-10"

2'-6"

2'-2"

1'-10"

2'-6"

2'-2"