



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/21/18

Permit No.: B18003940

Building Address: 1043 Thunderbird Dr
City: Woodbine State: MD Zip Code: 21797
Sulte/Apt. #: _____ SDP/WP/BA #: GP 18-35
Census Tract: _____ Subdivision: Fairlane Farm
Section: _____ Area: _____ Lot: 34
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
Proposed Use: Single family house
Estimated Construction Cost: \$ 230,000
Description of Work: New 2 story "Stratford Hall" with 2 car side and 2 car attached garages, BLV A', Suite 1st floor, and finished lower level (Rec rm + Bath rm)
Occupant or Tenant: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>46' x 103'</u>
Area of construction (sq. ft.):	2 nd floor: <u>48' x 54'</u>
Use group:	Basement: <u>46' x 80'6"</u>
Construction type:	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:
Roadside Tree Project Permit #	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: NVR Inc
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
Contact Person: Clint Gagle
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: CGagle@NVRInc.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>518000292</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
Applicant's Signature
Jim@DecaturbuildingServices.com
Email Address
AGENT NV Homes
Title/Company

Jim Kerwin
Print Name
11/21/2018
Date
RECEIVED
NOV 21 2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>12/11/18</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>210476</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DLIP 2018 DEC 21 PM 1:40

Date Received: _____

Permit No.: B18004238

Building Address: 1043 Thunderbird Dr
 City: Woodbury State: MD Zip Code: 21797
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Subdivision: Fauntleroy Farms
 Lot: 34 Tax Map: 8 Parcel: 8

Existing Use: SFD
 Proposed Use: SFD w/ Propane Tank
 Estimated Construction Cost: \$ 9000

Description of Work:
Install 1000 gallon underground propane tank

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: owner
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Davis, Group LLC
 Address: 2215 Duvall Rd
 City: Woodbury State: MD Zip Code: 21797
 Phone: 410-643-1040 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Michelle Clancy
 Address: PO Box 310
 City: Derby Hall State: MD Zip Code: 21128
 Phone: 410-602-7514 Fax: _____
 Email: Michelle@AppliedandApproved.com

Contractor Company: TECH AIR
 Contact Person: Debbie Fieger
 Address: 1500 A-D Caton Center Dr
 City: Beltsville State: MD Zip Code: _____

License No.: B18004238
 Phone: 301-241-5681 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: contractor
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

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Applicant's Signature: Michelle Clancy Print Name: Michelle Clancy
 Email Address: Michelle@AppliedandApproved.com Date: 12/20/18
 Title/Company: Permits

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

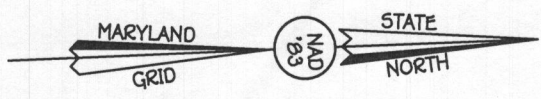
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>12/31/18</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

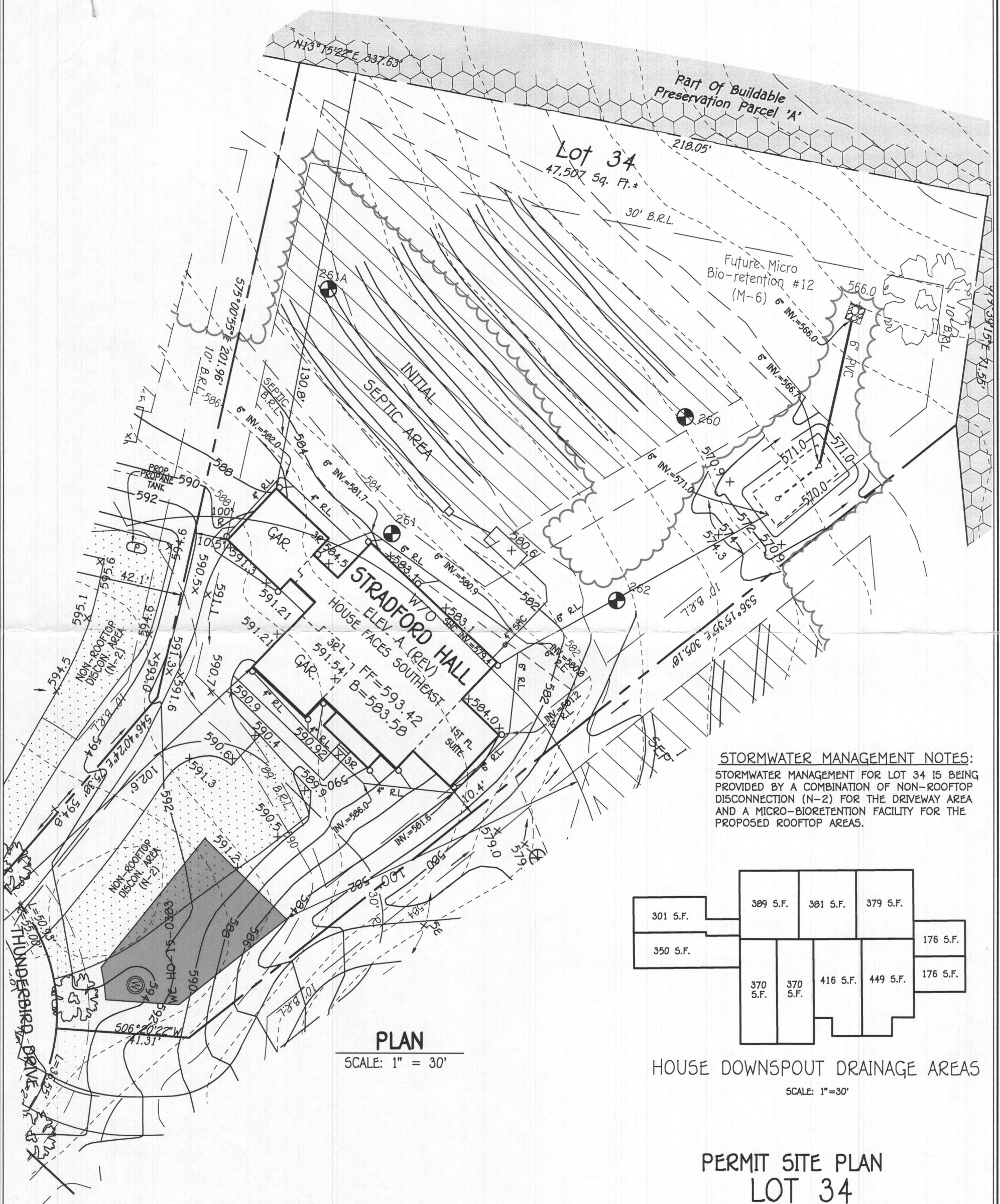
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>6858</u>

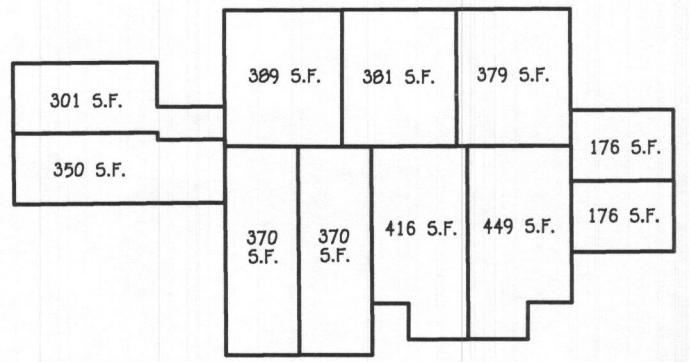
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NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0383, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.



STORMWATER MANAGEMENT NOTES:
 STORMWATER MANAGEMENT FOR LOT 34 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR THE DRIVEWAY AREA AND A MICRO-BIORETENTION FACILITY FOR THE PROPOSED ROOFTOP AREAS.



PLAN
 SCALE: 1" = 30'

HOUSE DOWNSPOUT DRAINAGE AREAS
 SCALE: 1" = 30'

PERMIT SITE PLAN
LOT 34
 1043 THUNDERBIRD DRIVE
FAIRLANE FARMS

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

OWNER/DEVELOPER
 NV HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MD 21046
 410-379-5956

PHASE TWO
 ZONED: RC-DEO
 TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: OCT 1, 2018
 SHEET 1 OF 1

Fairlane Farm
 Lot 34
 1043 Thunderbird Drive

STRATFORD HALL

Health Dept

HEALTH DEPT



NVR, Inc.
 Architectural Services
 Architects
 5285 Westview Drive, Suite 100
 Frederick, MD 21703

	FULL BASEMENT											
	STP. DIMS.											STANDARD DETAILS
OPTIONS	OP-1											AD-1
SPEC SHEET	SP-1											AD-1b
ELEVATIONS	4											DR-1
FOUNDATIONS	14											DR-2
FOUNDATION HOLD DOWNS	22, 23, 24, 25											DR-3
PLUMBING	26											DN-2
BASEMENT FLOOR PLAN	27											ET-1
FIRST FLOOR PLAN	29											ET-1b
SECOND FLOOR PLAN	32.1											ET-1c
BUILDING SECTIONS	34, 36											ET-1d
STAIR SECTIONS	38											ET-1f
KITCHEN - BATHS	41, 42, 43, 44											ET-2
BASEMENT ELECTRICAL	45											ET-3b
FIRST FLOOR ELECTRICAL	47											F-1
SECOND FLOOR ELECTRICAL	50											FA-1
FIRST FLOOR FRAMING	52											FC-1
SECOND FLOOR FRAMING	54											FC-2
ROOF FRAMING	55, 56											FC-4
TRUSS BRACING	61											FD-1
WALL BRACING LAYOUT	63											FD-2
HVAC LAYOUT	67											FD-2b
HVAC LAYOUT	68											FD-3
HVAC LAYOUT	69											FP-1
HVAC LAYOUT	70											GB-1
HVAC LAYOUT	71											IT-1
HVAC LAYOUT	72											IT-1b
HVAC LAYOUT	73											IT-1c
HVAC LAYOUT	74											IT-2
												JT-1
												JT-3
												JT-3b
												KT-1
												RF-1
												RF-1b
												SEP-1
												SEP-2
												SEP-3
												SEP-4
												SP-1
												SP-2
												SP-3
												ST-1
												ST-2
												WB-1
												WB-2
												WD-1
												WD-2
												WD-3
												WB-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
TOTAL	2620 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
TOTAL	2133 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
TOTAL	1005 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1444 SF
TOTAL	1444 SF

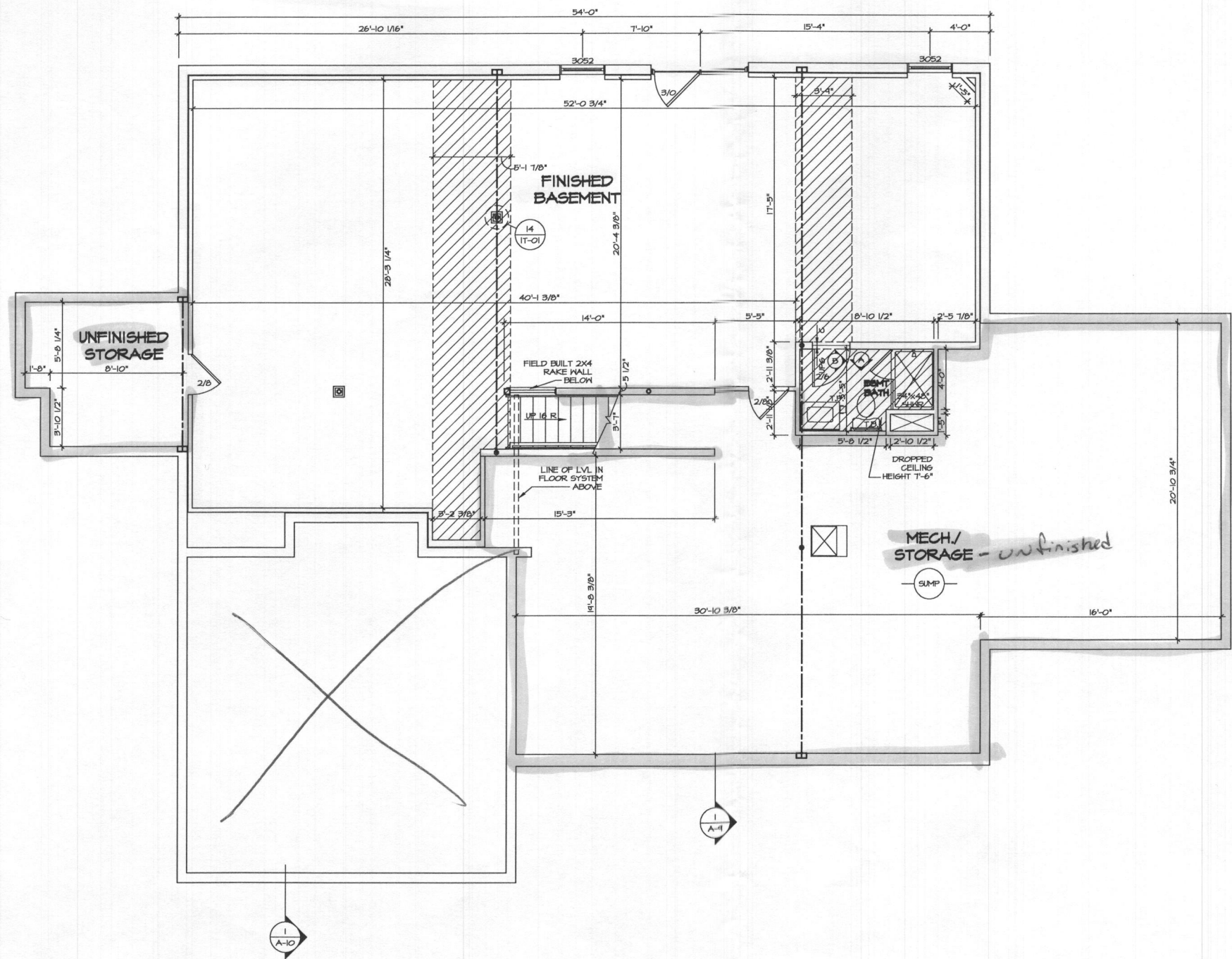
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	429 SF
MECHANICAL ROOM	215 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	110 SF
TOTAL	842 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1444 SF
TOTAL	6202 SF

SET - VERSION
 11900 - 01

CS-1

C:\NVR\Software\STRATFORD_HALL_11900_01\WDE-FF-003A\9497A\Shwrs\Lst\Spec\CS-1 COVER SHEET.dwg 10/23/18 - 3:28 pm



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

GYPSUM NOTES

- AT GARAGE:**
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

NOTES:

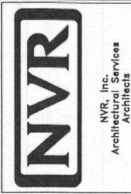
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - - - NON BEARING WALL
 - ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
 - J JACKS
 - B BEAM/HEADER
 - F PAD FOOTING
 - C STEEL COLUMN
 - X PORTAL FRAME
 - X JOIST/TRUSS
 - L LVL
 - X ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

REVISIONS
REV. NO. DATE DESCRIPTION

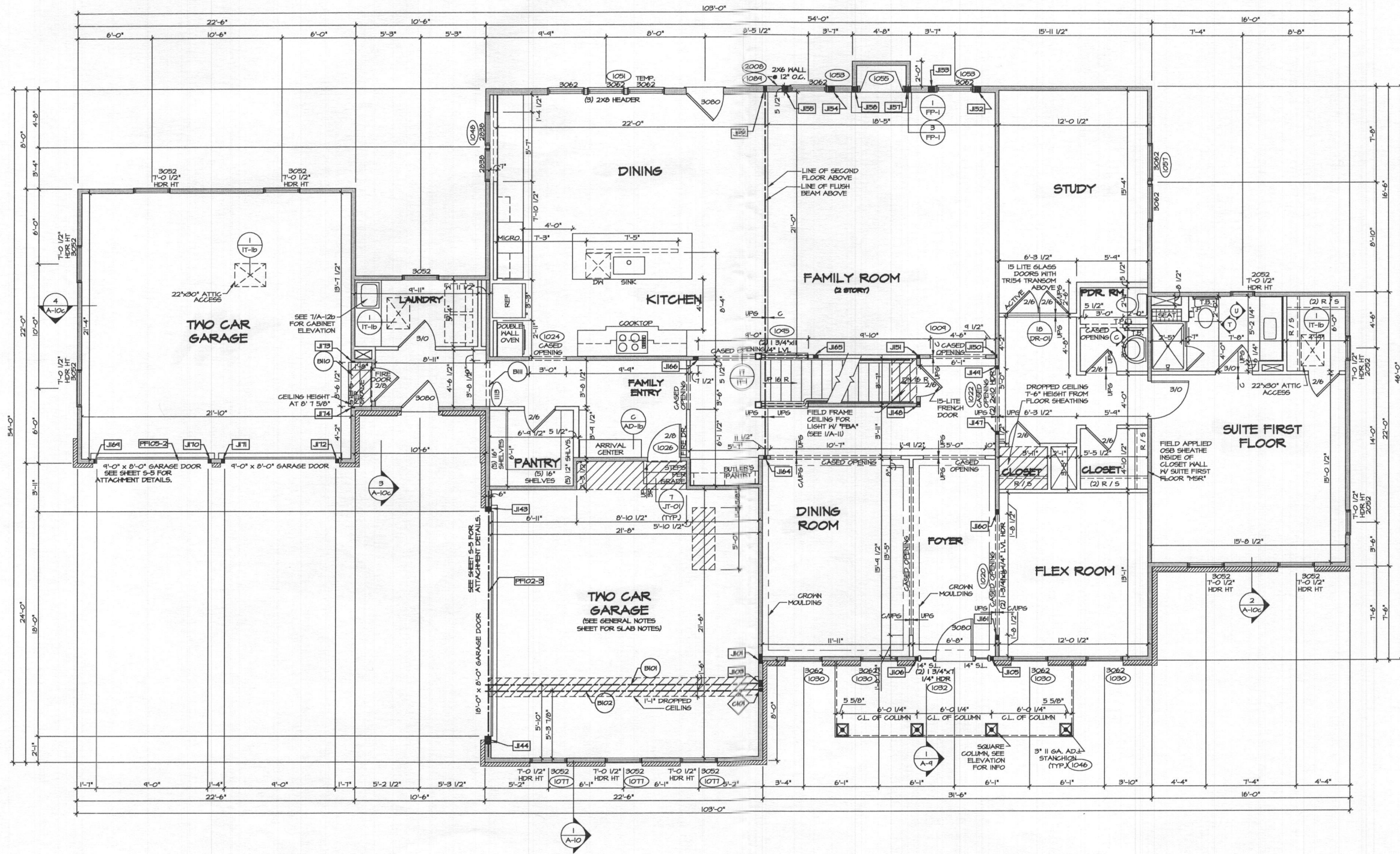
NVR, Inc., owner, expressly warrants that the information shown on these plans is true and correct to the best of its knowledge and belief. NVR, Inc. does not warrant or represent that the information shown on these plans is true and correct to the best of its knowledge and belief. NVR, Inc. is not responsible for any errors or omissions on these plans. NVR, Inc. is not responsible for any errors or omissions on these plans.



SET NO. 11900
VERSION 01
DRAWN BY BIM
DATE:
OPTION

MODEL STRATFORD HALL
DRAWING TITLE BASEMENT FLOOR PLAN
OPTION DESCRIPTION

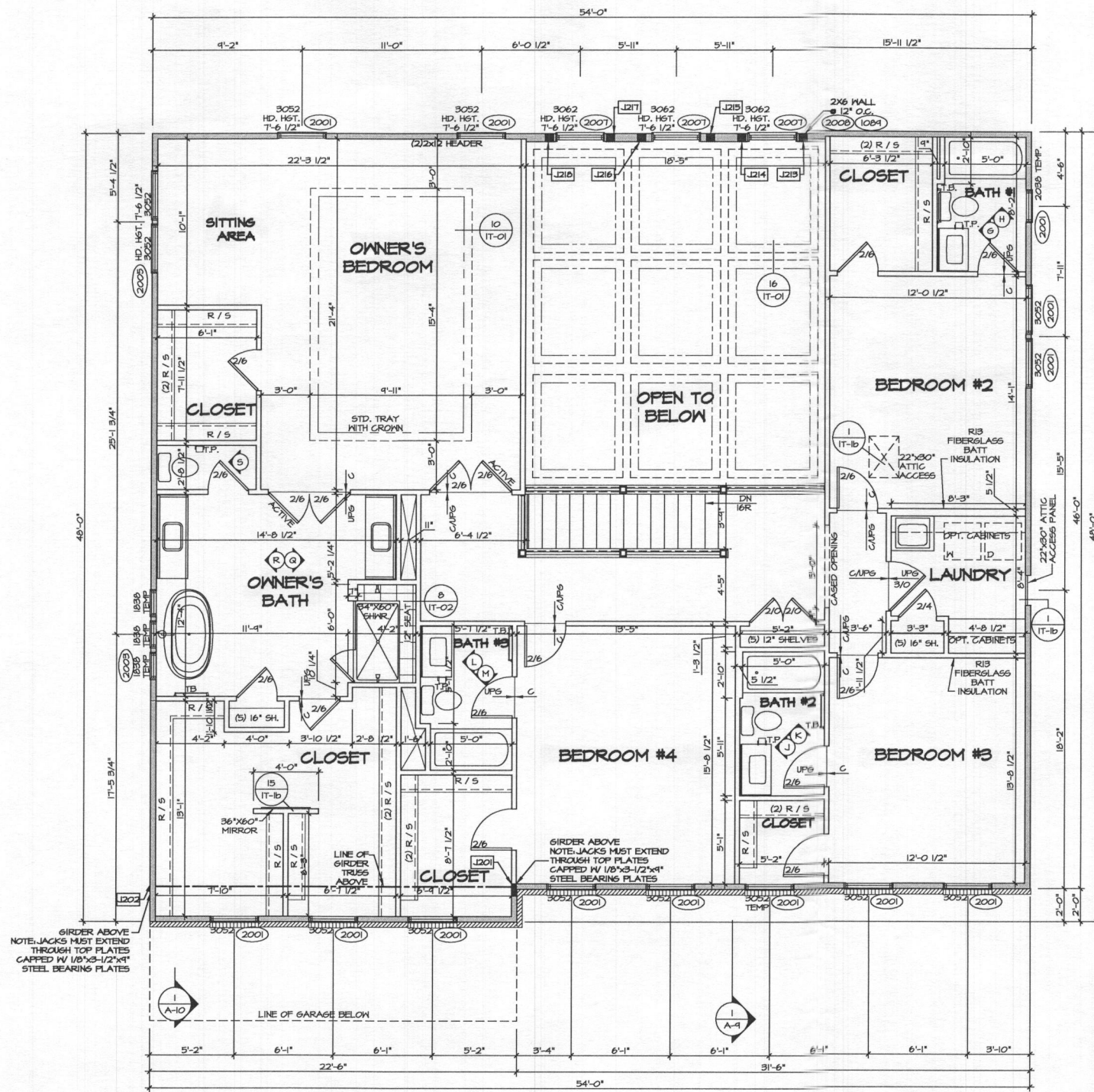
SHEET NO. A-6
27



1
A-7 **FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. A-7	MODEL STRATFORD HALL DRAWING TITLE FIRST FLOOR PLAN OPTION DESCRIPTION SET NO. 11900 VERSION 01 DRAWN BY BIM DATE: OPTION	REV. NO. DATE 1 1/24/17 TH - STANDARD DETAILS 5.0 REMARKS
29	NVR, Inc. owner, expressly represents that the information on this drawing is correct as of the date shown on the title block. These plans are not to be used for any other purpose without the written consent of NVR, Inc.	
		NVR, Inc. Architectural Services 5285 Warwick Drive, Suite 100 Frederick, MD 21703



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "T" SHEETS(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

LEGEND

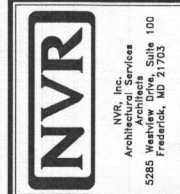
- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAMHEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE PG. DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (6) 2X4 SPM		2008	
J202	JACK - (6) 2X4 SPM		2008	
J213	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REV. NO.	DATE	REMARKS
0/24/17	TH	STANDARD DETAILS 5.0

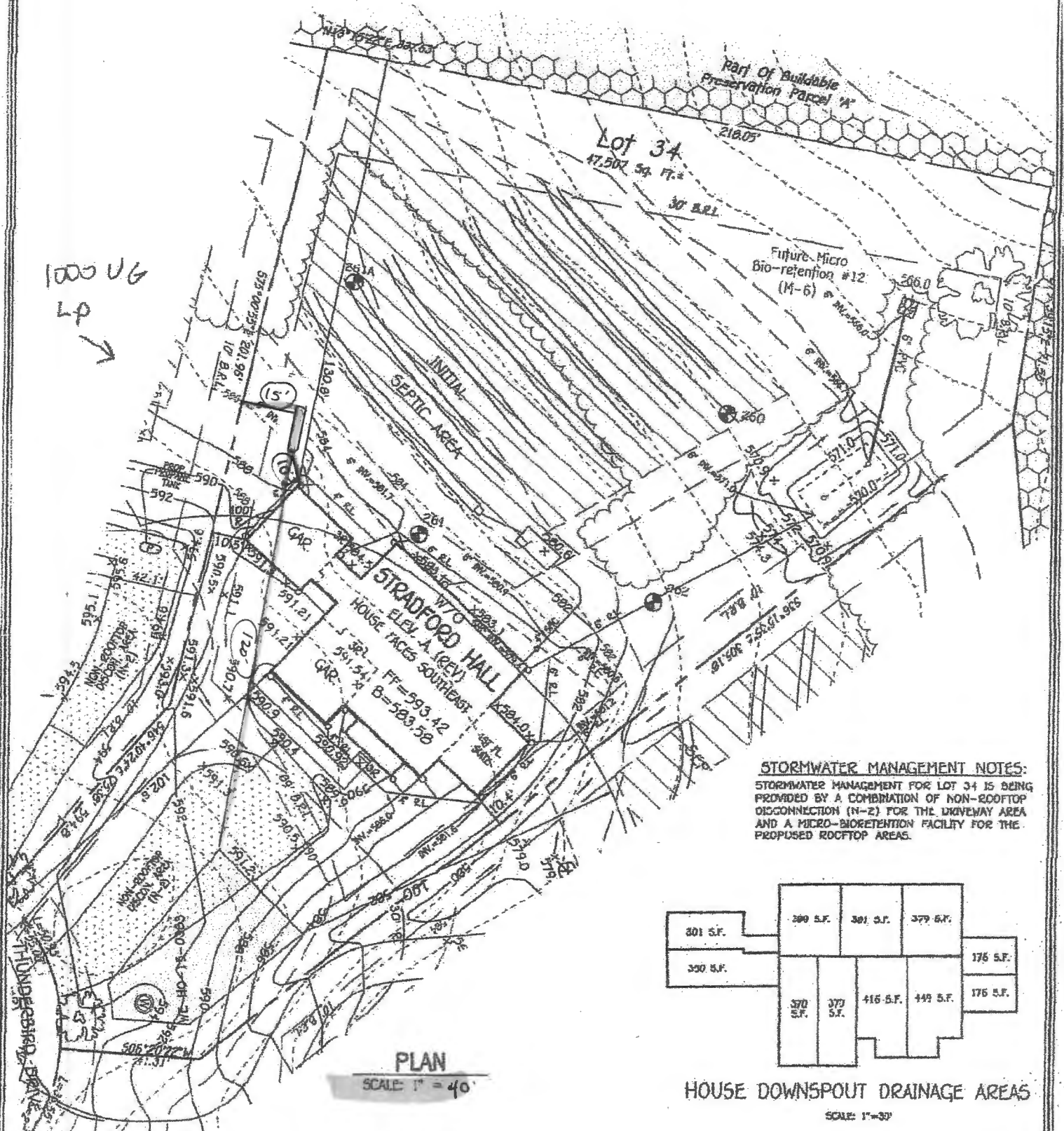
NVR, Inc., owner, expressly warrants that the information contained herein is true and accurate to the best of its knowledge and belief. These plans are not to be construed as a contract. No part of these plans may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.



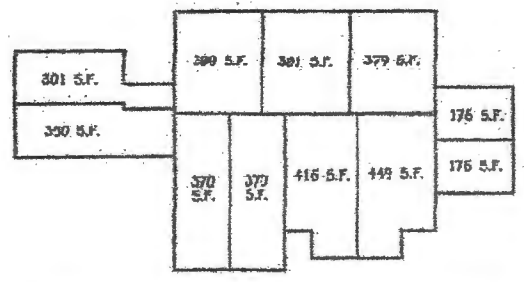
SHEET NO.	A-8	OPTION DESCRIPTION	32.1
MODEL	STRATFORD HALL	DRAWING TITLE	SECOND FLOOR PLAN
SET NO.	11400	VERSION	01
DRAWN BY	BIM	DATE	



NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0383, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.



STORMWATER MANAGEMENT NOTES:
 STORMWATER MANAGEMENT FOR LOT 34 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECT (N-2) FOR THE DRIVEWAY AREA AND A MICRO-BIORETENTION FACILITY FOR THE PROPOSED ROOFTOP AREAS.



HOUSE DOWNSPOUT DRAINAGE AREAS
 SCALE: 1" = 30'

PLAN
 SCALE: 1" = 40'

Approved for UPT
 B1800 4238
 RJA 12/31/18

PERMIT SITE PLAN
 LOT 34
 1043 THUNDERBIRD DRIVE
 FAIRLANE FARMS

PHASE TWO
 ZONED: RC-DEO
 TAX MAP NO.: B GRID NO.: 2 PARCEL NO.: B
 ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: OCT 1, 2018
 SHEET 1 OF 1

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING, CONSULTING & LAND SURVEYORS
 CENTER SQUARE OFFICE PARK - 10276 BICEPORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 481-2290

OWNER/DEVELOPER
 IN FORMER
 9720 PATRIOT WOODS DRIVE
 COLUMBIA, MD 21046
 410-379-2956

SHEET 3 of 3