



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/9/18

Permit No.: B18003850

Building Address: 13825 Mill Creek Court
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. #: _____ SDP/WP/BA #: GP 19-027
 Census Tract: _____ Subdivision: Crawford
 Section: _____ Area: _____ Lot: 21
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family home
 Estimated Construction Cost: \$ 250,000
 Description of Work: New 2 story "Stratford Hall" ELV @ 2 car side garage, 2 car attached garage, covered porch, and finished lower level (rec room, area #2, wet bar + bathroom)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Clat Cagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: CCagle@NVRInc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>54</u> x <u>85</u>	
Area of construction (sq. ft.):	2 nd floor: <u>48</u> x <u>54</u>	
Use group:	Basement: <u>54</u> x <u>54</u>	
Construction type:	<input checked="" type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units:	
Roadside Tree Project Permit #	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
	Footings:	
	Roof:	
	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT AND COMPLETE; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jim Kerwin
 Email Address: Jim@DecaturbuildingServices.com
 Title/Company: AGENT NV Homes

Print Name: Jim Kerwin
 Date: 11/9/2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>1-3-19</u>	<u>D Bernard</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>210446</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

M. INU Yes

RECEIVED
 NOV 09 2018
 LICENSES & PERMITS DIVISION

THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-17-0118) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

12" D/W CULVERT, 20 L.F.
(per Ho.Co. Det. R-6.06)
INV IN= 467.9±
INV OUT=466.7±

MILL CREEK COURT
(PUBLIC ACCESS STREET)

TEMPORARY STOCKPILE AREA

STRATFORD HALL

ELEV. B (rev.)
FFE= 474.04±
BSE= 464.20±
PORCH=473.54±
TOW = 472.87±

2-CAR GARAGE
472.16±(F)
472.53±(B)

2-CAR GARAGE
472.16±(F)
472.53±(B)

LOT 20
(vacant lot)

DRYWELL (M-5) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	6'X7'	5'
2	7'X7'	5'
3	5'X5'	5'
4	7'X8'	5'
5	7'X8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE R-17-016, SHEET 33.

DRYWELLS #4 & #5 NEEDS OVERFLOW PIPE

LOT 21
55,061 SF

PRIVATE SEWAGE DISPOSAL AREA

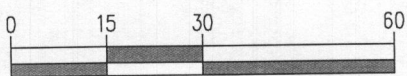
Approved Septic System Plan
Howard County Health Department

Dana Bernard 1-3-19
Signature Date

B-18003850

LANDS N/F
GENRIKH-SRETENSKI AND
JULIA SRETENSKI
LIBER 8721 FOLIO 226-
TM: 40 01 01
ZONE: RR-DEO
USE: RESIDENTIAL

GgB



GRAPHIC SCALE

NOTE: THE FRONT DOOR FOR LOT 21 FACES NORTH.

BUILDING PERMIT PLOT PLAN



DES.
DRN.
CHK.

PREPARED FOR :
NVR INC.
9720 PATUXENTS WOODS DRIVE
COLUMBIA, MD 21045
PH: 410-379-5956

CRAWFORD SUBDIVISION
LOT 21 (13825 MILL CREEK CT.)
Plat No. 24600-24607

G. L. W. No. 17071
ZONING RR-DEO
TAX MAP/GRID 34&39-19&6
DATE OCT. 2018
SCALE 1"=30'
SHEET 1 OF 1



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 12/31/18

Permit No.: B1800 4282

Building Address: 13825 MILL CREEK COURT
 City: CLARKSVILLE State: MD Zip Code: 21029
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: CRAWFORD SUB
 Section: _____ Area: _____ Lot: 21
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: 55,061

Existing Use: SFD
 Proposed Use: SFD W/PROPANE TANK
 Estimated Construction Cost: \$ 4,000
 Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: NVR INC
 Address: 9720 PATUXENT WOODS DRIVE
 City: COLUMBIA State: MD Zip Code: 21046
 Phone: _____ Fax: _____
 Email: _____
 Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: MICHELLE CLANCY
 Address: PO BOX 310
 City: PERRY HALL State: MD Zip Code: 21128
 Phone: 443-610-7514 Fax: _____
 Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
 Contact Person: DENNIS FEAGA
 Address: 1560 A-D CATON CENTER DRIVE
 City: BALTIMORE State: MD Zip Code: 21227
 License No.: 81215
 Phone: 410-984-5681 Fax: _____
 Email: _____

Engineer/Architect Company: CONTRACTOR
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

RECEIVED
DEC 31 2018
LICENSES & PERMITS
DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: MICHELLE CLANCY
 Email Address: MICHELLE@APPLIEDANDAPPROVED.COM Date: 12/29/18
 Title/Company: PERMITS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	1/23/19	[Signature]

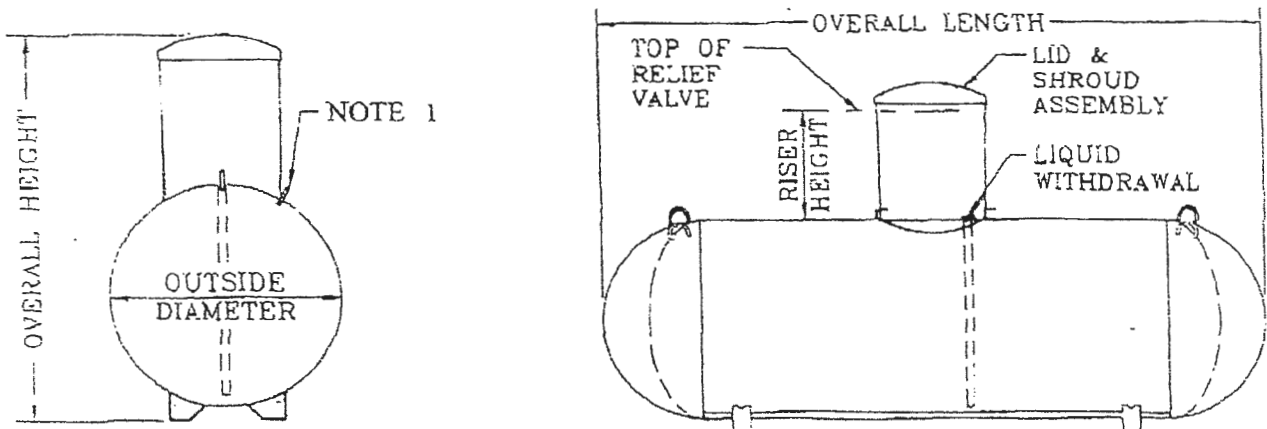
DPZ SETBACK INFORMATION
 Front: _____
 Rear: _____
 Side: _____
 Side St.: _____
 All minimum setbacks met? Yes No
 Is Entrance Permit Required? Yes No
 Historic District? Yes No
 Lot Coverage for New Town Zone: _____
 SDP/Red-line approval date: _____

Filing Fee	\$	\$ 110.00
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	6860

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

TRINITY INDUSTRIES, INC.

Underground Vesse



General Specifications

Conforms to the latest edition and addenda of the ASME, Section VIII, div.1 code for Pressure Vessels. Complies with NFPA 58 and is listed by Underwriters Laboratories, Inc.

Rated at 250 psig from -20°F. to 125°F. All tanks may be evacuated to a full (14.7 psi) vacuum.

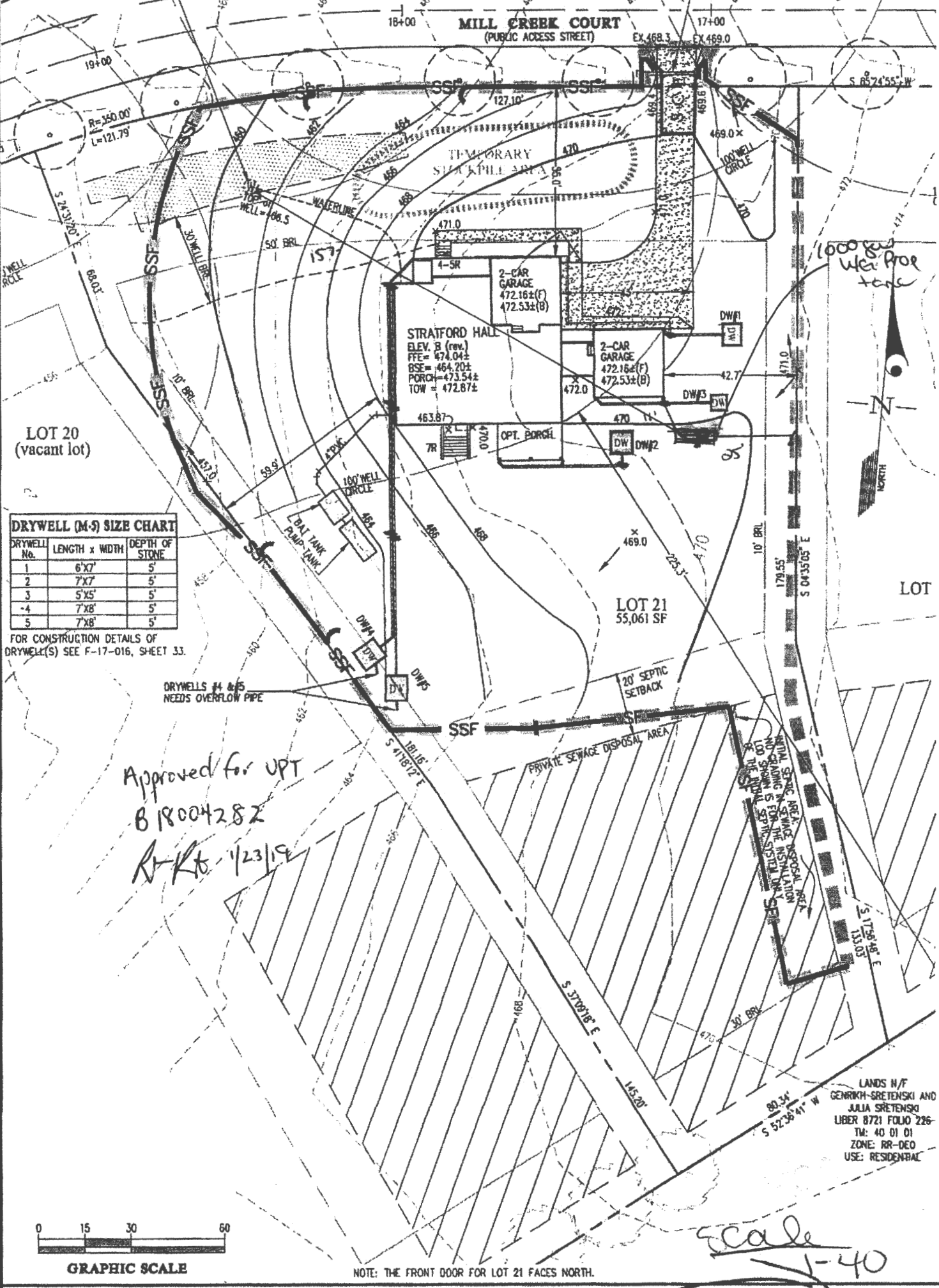
Vessel Finish: Coated with epoxy red powder.

Applicable federal, state or local regulations may contain specific requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state or local regulations.

All vessel dimensions are approximate

WATER CAPACITY	OUTSIDE DIAMETER	HEAD TYPE	OVERALL LENGTH	OVERALL HEIGHT		WEIGHT	QUANTITY IN FULL LOAD
				14" Riser Height	28" Riser Height		
120 wg 454.2 L	24" 609.6 mm	Ellip	5' - 5 7/8" 1671.8 mm	3' - 9 7/8" 1165.2 mm	4' - 8 3/8" 1431.9 mm	252 lbs. 114.3 kg	63
250 wg 946.3 L	31.5" 800.1 mm	Hemi	7' - 2 1/2" 2197.1 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	472 lbs. 214.1 kg	42
320 wg 1211.2 L	31.5" 800.1 mm	Hemi	8' - 11 3/4" 2736.9 mm	4' - 5 3/8" 1355.7 mm	5' - 3 3/8" 1609.7 mm	588 lbs. 266.7 kg	35
500 wg 1892.5 L	37.42" 950.5 mm	Hemi	9' - 10" 2997.2 mm	4' - 11 3/8" 1506.6 mm	5' - 9 7/8" 1773.2 mm	921 lbs. 417.8 kg	25
1000 wg 3785.0 L	40.96" 1040.4 mm	Hemi	15' - 10 7/8" 4846.6 mm	5' - 2 7/8" 1597.0 mm	6' - 1 3/8" 1863.7 mm	1731 lbs. 785.2 kg	15
2000 wg 3785.6 L	46.614" 1183.9 mm	Ellip	23' - 9 3/8" 7248.5 mm	5' - 8 13/16" 1747.8 mm	6' - 7 5/16" 2014.5 mm	3685 lbs. 1671.4 kg	8

THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-17-0118) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.



DRYWELL (M-S) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	6'x7'	5'
2	7'x7'	5'
3	5'x5'	5'
-4	7'x8'	5'
5	7'x8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE F-17-016, SHEET 33.

*Approved for UPT
B 18004282
R-Kt 1/23/19*



NOTE: THE FRONT DOOR FOR LOT 21 FACES NORTH.

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR: NVR INC. 9720 PATUXENTS WOODS DRIVE COLUMBIA, MD 21045 PH: 410-379-5956	CRAWFORD SUBDIVISION LOT 21 (13825 MILL CREEK CT.) Plat No. 24600-24607	G. L. W. No.	17071
	DRN.			ZONING	RR-DEO
	CHK.			TAX MAP / GRID	34&39-19&66
1: CRAWFORD SUBDIVISION PLANS BY G.L.W. PLOT PLANS LOT 21 17071 MC LOT 21 PLOT PLAN.dwg				DATE	OCT. 2018
				SCALE	AS SHOWN
				SHEET	1 OF 1

1000 GAL UNDER GARAGE

THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-17-0118) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) AND IS ACCURATELY SHOWN ON THIS PLAN.

12" D/W CULVERT, 20 L.F.
(per Ho.Co. Det. R-6.06)
INV IN= 467.9±
INV OUT=466.7±

MILL CREEK COURT
(PUBLIC ACCESS STREET)

TEMPORARY STOCKPILE AREA

STRATFORD HALL

ELEV. B (rev.)
FFE= 474.04±
BSE= 464.20±
PORCH=473.54±
TOW = 472.87±

2-CAR GARAGE
472.16±(F)
472.53±(B)

2-CAR GARAGE
472.16±(F)
472.53±(B)

LOT 20
(vacant lot)

LOT 21
55,061 SF

DRYWELL (M-5) SIZE CHART

DRYWELL No.	LENGTH x WIDTH	DEPTH OF STONE
1	6'X7'	5'
2	7'X7'	5'
3	5'X5'	5'
4	7'X8'	5'
5	7'X8'	5'

FOR CONSTRUCTION DETAILS OF DRYWELL(S) SEE R-17-016, SHEET 33.

DRYWELLS #4 & #5 NEEDS OVERFLOW PIPE

20' SEPTIC SETBACK

PRIVATE SEWAGE DISPOSAL AREA

INITIAL SEPTIC AREA DISPOSAL AREA.
NO GRADING IN SEWAGE INSTALLATION
NO SHOWN IS FOR THE SYSTEM ONLY
SEE THE INITIAL SEPTIC AREA.

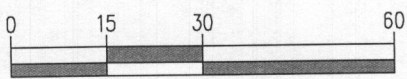
Approved Septic System Plan
Howard County Health Department

Dana Bernard 1-3-19
Signature Date

B-18003850

LANDS N/F
GENRIKH-SRETENSKI AND
JULIA SRETENSKI
LIBER 8721 FOLIO 226-
TM: 40 01 01
ZONE: RR-DEO
USE: RESIDENTIAL

GgB



GRAPHIC SCALE

NOTE: THE FRONT DOOR FOR LOT 21 FACES NORTH.

BUILDING PERMIT PLOT PLAN



DES.
DRN.
CHK.

PREPARED FOR :
NVR INC.
9720 PATUXENTS WOODS DRIVE
COLUMBIA, MD 21045
PH: 410-379-5956

CRAWFORD SUBDIVISION
LOT 21 (13825 MILL CREEK CT.)
Plat No. 24600-24607

G. L. W. No. 17071
ZONING RR-DEO
TAX MAP/GRID 34&39-19&6
DATE OCT. 2018
SCALE 1"=30'
SHEET 1 OF 1

Mill Creek
Lot 21

13825 Mill Creek Court B18003850

STRATFORD HALL

Health Dept

HEALTH DEPT



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STP. DWGS.		
OPTIONS	OP-1	AD-1
SPEC SHEET	55-1	AD-1b
ELEVATIONS	4	DR-1
FOUNDATIONS	14	DR-2
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DR-3
PLUMBING	26	DN-2
BASEMENT FLOOR PLAN	27	ET-1
FIRST FLOOR PLAN	29	ET-1b
SECOND FLOOR PLAN	32,1	ET-1c
BUILDING SECTIONS	34, 36	ET-1e
STAIR SECTIONS	38	ET-1f
KITCHEN - BATHS	41, 42, 43, 44	ET-2
BASEMENT ELECTRICAL	45	ET-3b
FIRST FLOOR ELECTRICAL	47	F-1
SECOND FLOOR ELECTRICAL	50	FA-1
FIRST FLOOR FRAMING	52	FC-1
SECOND FLOOR FRAMING	54	FC-2
ROOF FRAMING	55, 56	FC-4
TRUSS BRACING	61	FD-1
WALL BRACING LAYOUT	63	FD-2
HVAC LAYOUT	67	FD-2b
HVAC LAYOUT	68	FD-3
HVAC LAYOUT	69	FP-1
HVAC LAYOUT	70	GB-1
HVAC LAYOUT	71	IT-1
HVAC LAYOUT	72	IT-1b
HVAC LAYOUT	73	IT-1c
HVAC LAYOUT	74	IT-2
		JT-1
		JT-3
		JT-3b
		KT-1
		RF-1
		RF-1b
		SEP-1
		SEP-2
		SEP-3
		SEP-4
		SP-1
		SP-2
		SP-3
		ST-1
		ST-2
		ST-3
		HB-1
		HB-2
		HD-1
		HD-2
		HD-3
		HS-1

Handwritten notes:
4 BR in
5 BR
LPO is

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	34 SF
TOTAL	2302 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
TOTAL	2196 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
TOTAL	1004 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1441 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
TOTAL	1905 SF

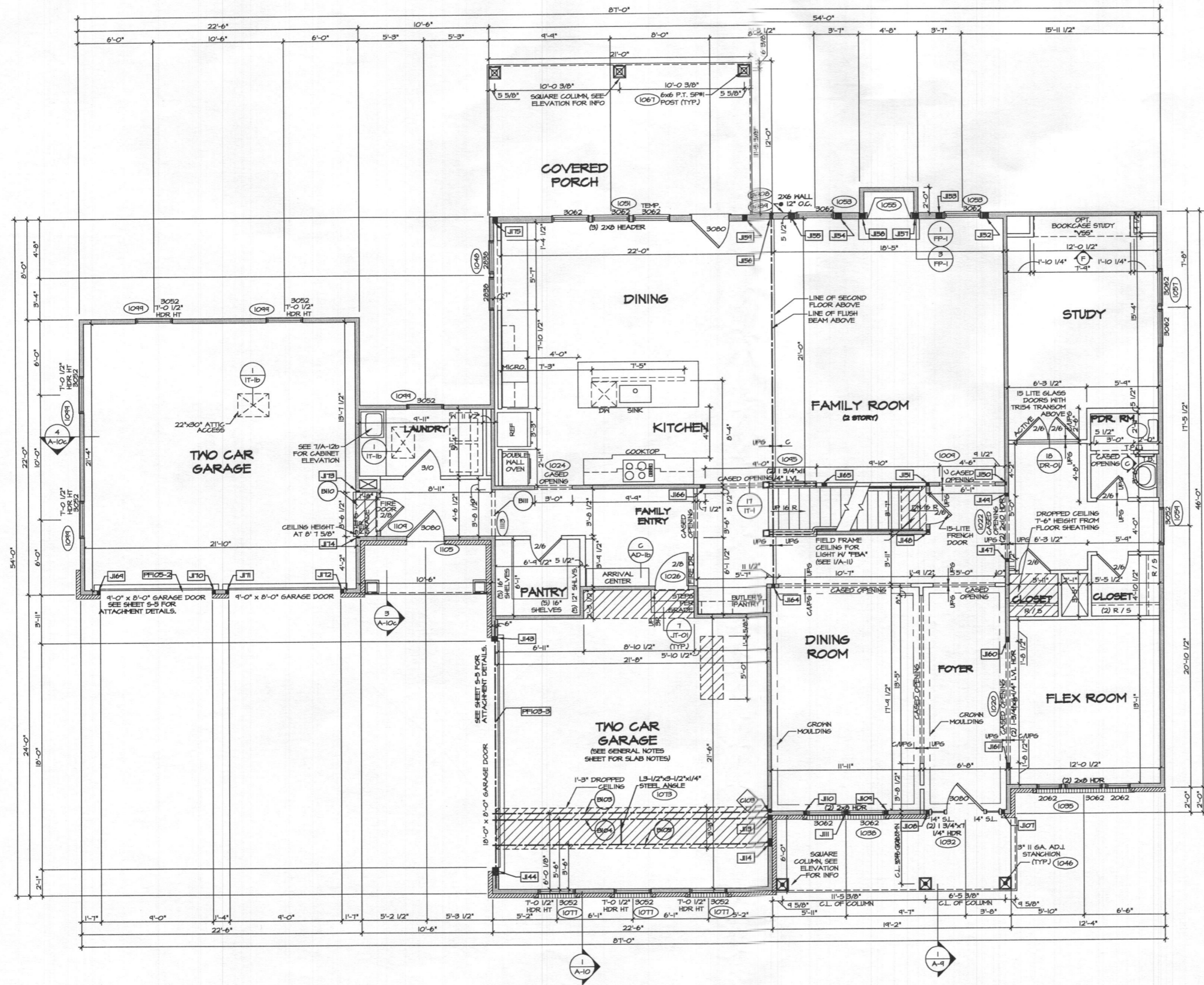
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	115 SF
TOTAL	413 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	34 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
FINISHED BASEMENT	1441 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
TOTAL	6421 SF

SET - VERSION
11900 - 01

CS-1

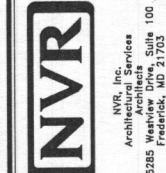
c:\nvr\sones\STRATFORD HALL_11900_01\WDE-MC-0021\006033\Sheets\Lot_Specific_CS-1_COVERSHEET.dwg 11/04/18 - 2:23 pm



1 FIRST FLOOR PLAN
 A-7 SCALE: 1/4" = 1'-0"

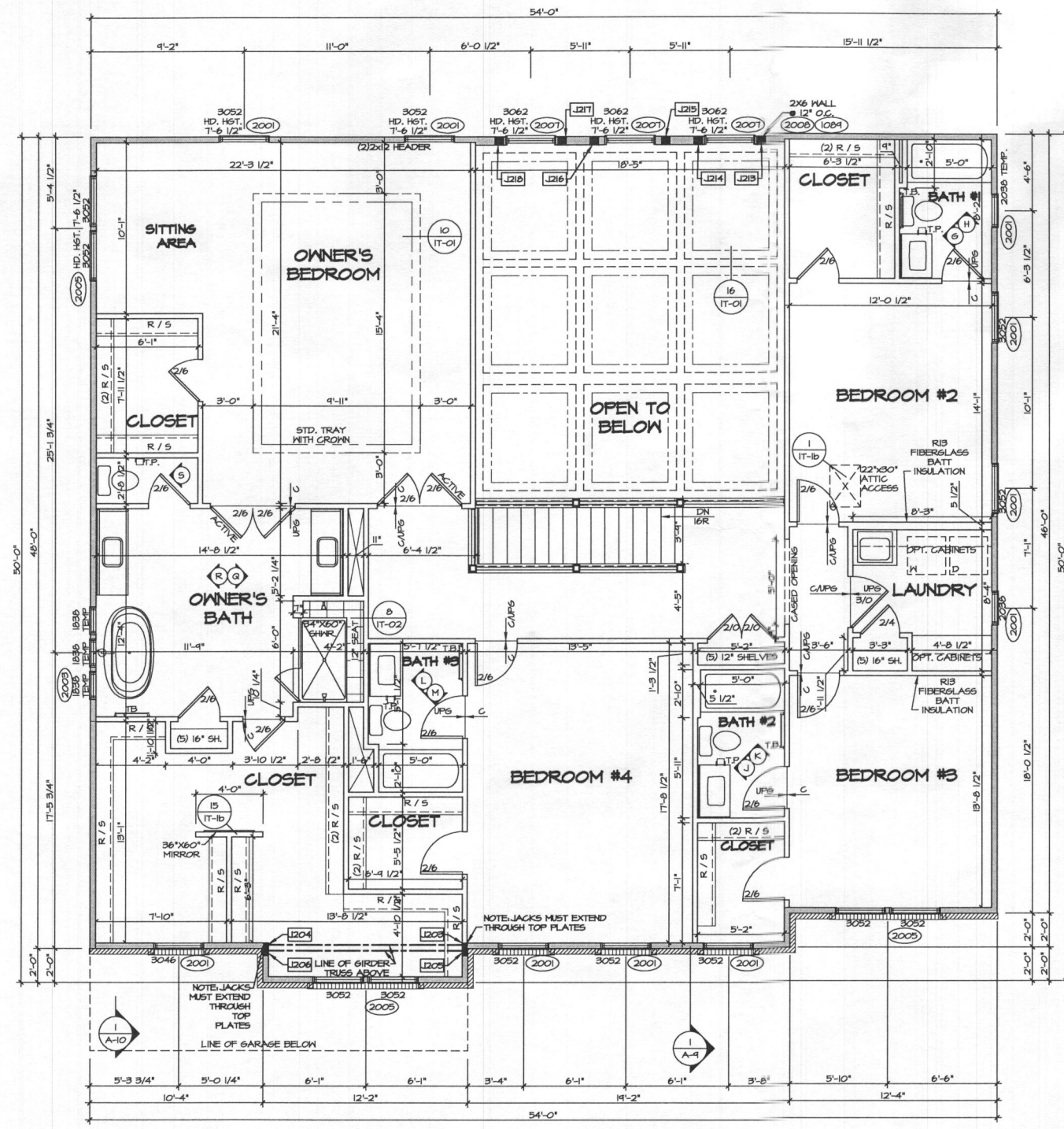
FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. A-7	MODEL STRATFORD HALL	SET NO. 11000	REVISIONS	REMARKS
	DRAWING TITLE FIRST FLOOR PLAN	VERSION C1	DATE 1/24/17	TM - STANDARD DETAILS 9.0
OPTION DESCRIPTION				
29				



NVR, Inc.
 Architects
 5285 Westview Drive, Suite 100
 Frederick, MD 21703

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1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED HALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEETS(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE T-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARINGS FROM POINT-LOAD ABOVE
 - JACKS
 - BEAMHEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J203	JACK - (3) 2x4 SPM		2008	
J204	JACK - (3) 2x4 SPM		2008	
J205	JACK - (3) 2x4 SFF STUD GRADE		2004	
J206	JACK - (3) 2x4 SFF STUD GRADE		2004	
J213	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REMARKS

REV. NO. DATE
 01/24/17 TM - STANDARD DETAILS 9.0

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NVR, Inc.
 Architectural Services
 5285 Weverick, Suite 100
 Frederick, MD 21703

SET NO. 11900
 VERSION 01
 DRAWN BY BJM
 DATE:
 OPTION

MODEL
STRATFORD HALL
 DRAWING TITLE
SECOND FLOOR PLAN
 OPTION DESCRIPTION

A-8

32.1

Mill Creek
LOT 21

13825 Mill Creek Court B18003850

STRATFORD HALL

Health Dept.



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STP. DRWG.		
OPTIONS	OP-1	AD-1
SPEC SHEET	SS-1	AD-1b
ELEVATIONS	4	DR-1
FOUNDATIONS	14	DR-2
FOUNDATION HOLD DOWNS	22, 23, 24, 25	DR-3
PLUMBING	26	DM-2
BASEMENT FLOOR PLAN	27	ET-1
FIRST FLOOR PLAN	29	ET-1b
SECOND FLOOR PLAN	32, 1	ET-1c
BUILDING SECTIONS	34, 36	ET-1e
STAIR SECTIONS	38	ET-1f
KITCHEN - BATHS	41, 42, 43, 44	ET-2
BASEMENT ELECTRICAL	45	ET-2b
FIRST FLOOR ELECTRICAL	47	F-1
SECOND FLOOR ELECTRICAL	50	FA-1
FIRST FLOOR FRAMING	52	FG-1
SECOND FLOOR FRAMING	54	FG-2
ROOF FRAMING	55, 56	FG-4
TRUSS BRACING	61	FD-1
WALL BRACING LAYOUT	63	FD-2
HVAC LAYOUT	67	FD-2b
HVAC LAYOUT	68	FD-3
HVAC LAYOUT	69	FP-1
HVAC LAYOUT	70	GB-1
HVAC LAYOUT	71	IT-1
HVAC LAYOUT	72	IT-1b
HVAC LAYOUT	73	IT-1c
HVAC LAYOUT	74	IT-2
		JT-1
		JT-3
		JT-3b
		KT-1
		RF-1
		RF-1b
		SEP-1
		SEP-2
		SEP-3
		SEP-4
		SP-1
		SP-2
		SP-3
		ST-1
		ST-2
		WB-1
		WB-2
		WB-3
		WB-4
		WB-5

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR THO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. "B" OR "L" (ADD. SF)	39 SF
	2307 SF

SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. "B" OR "L" (ADD. SF)	63 SF
	2196 SF

GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. "B" OR "L"	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	498 SF
	1004 SF

BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1449 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	429 SF
FINISHED BASEMENT AREA #2 ELEV. "B" OR "L" (ADD. SF)	40 SF
	1918 SF

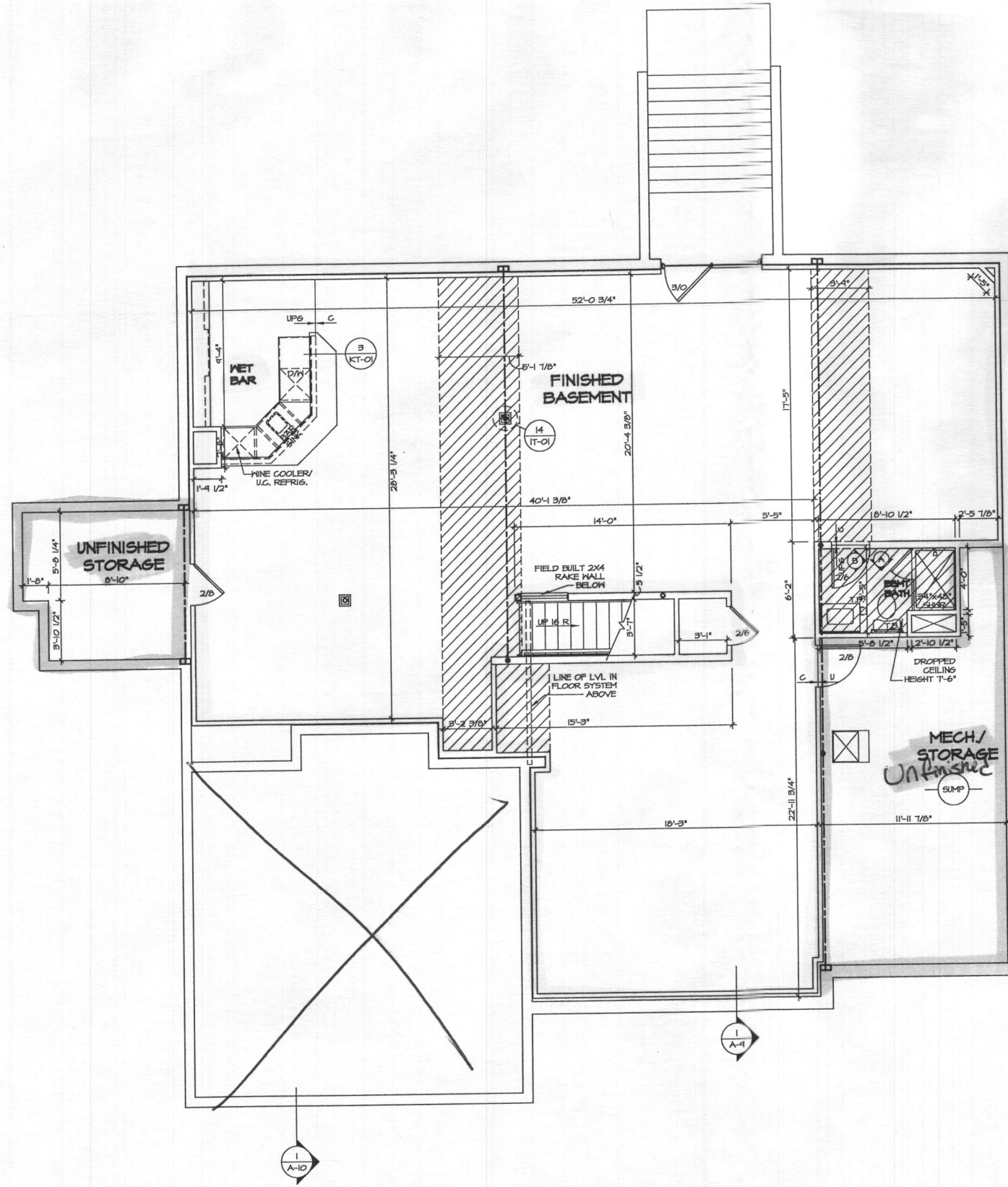
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
UNFINISHED STORAGE THO CAR SIDE ATTACHED GARAGE (ADD. SF)	118 SF
	413 SF

TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR ELEV. "B" OR "L" (ADD. SF)	39 SF
1ST FLOOR THO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. "B" OR "L" (ADD. SF)	63 SF
FINISHED BASEMENT	1449 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	429 SF
FINISHED BASEMENT AREA #2 ELEV. "B" OR "L" (ADD. SF)	40 SF
	6421 SF

SET - VERSION
11900 - 01

CS-1

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1
A-6 **BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (2) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

GYPSTUM NOTES

AT GARAGE:
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

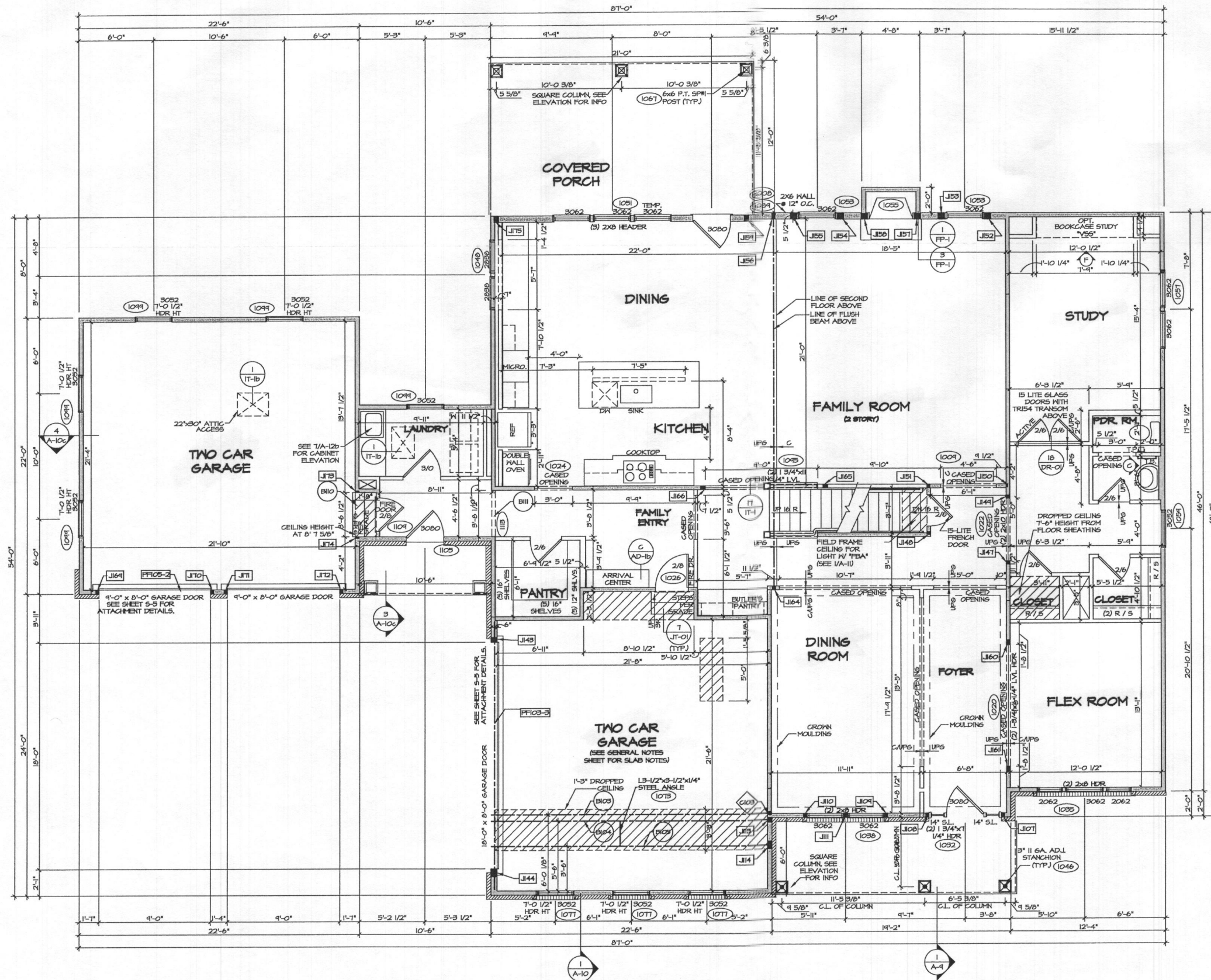
NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" X 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAMHEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE PG DETAILS FOR FRAMING CONNECTORS

REVISIONS	
REV. NO.	DATE
1	01/24/11
REMARKS	
1. STANDARD DETAILS 9.0	
NVR, Inc., owner, expressly warrants that the information shown on these plans, drawings, specifications, and other documents are true and correct to the best of our knowledge and belief as of the date of preparation. NVR, Inc. shall not be responsible for any errors or omissions on any drawings, specifications, or other documents prepared by others for or on behalf of NVR, Inc. unless such errors or omissions are specifically identified in writing by NVR, Inc. on the drawings, specifications, or other documents.	
 NVR, Inc. Architectural Services 5205 Washington Blvd. Suite 100 Frederick, MD 21703	
MODEL	SET NO. 11900
DRAWING TITLE	VERSION 01
BASEMENT FLOOR PLAN	DRAWN BY BIM
OPTION DESCRIPTION	DATE:
A-6	OPTION
27	

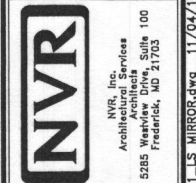


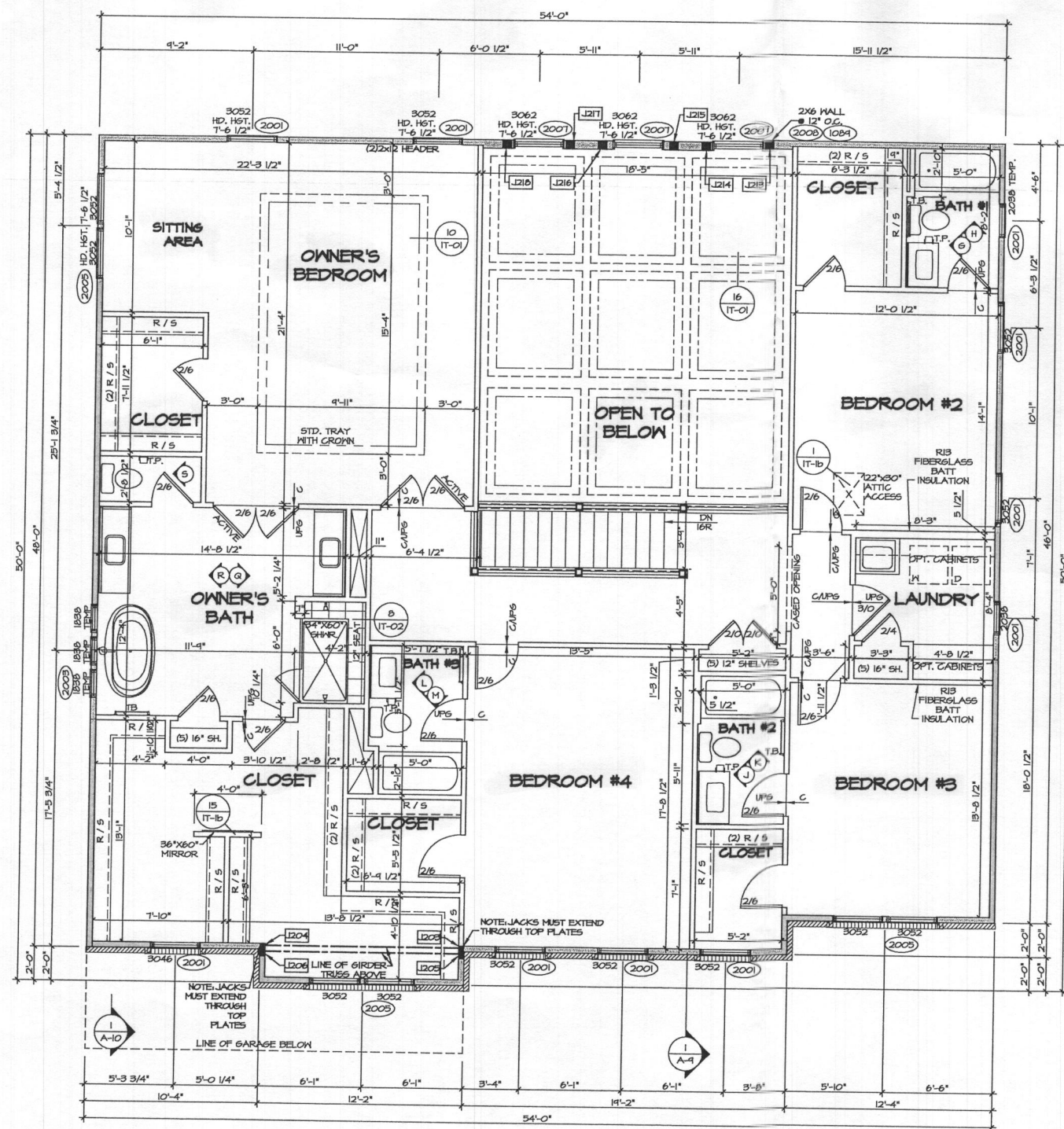
1
A-7 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. A-7	MODEL STRATFORD HALL	SET NO./IFCC VERSION 01	REVISIONS	REMARKS
	DRAWING TITLE FIRST FLOOR PLAN	DRAWN BY BIM	DATE	
OPTION	OPTION DESCRIPTION			
29				

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1 SECOND FLOOR PLAN
 A-8 SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
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- LEGEND**
- BEARING WALL
 - NON BEARING WALL
 - ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
 - ⊙ JACKS
 - ⊙ BEAM/HEADER
 - ⊙ PAD FOOTING
 - ⊙ STEEL COLUMN
 - ⊙ PORTAL FRAME
 - ⊙ JOIST/TRUSS
 - LVL
 - ⊙ ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

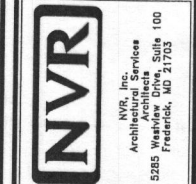
SECOND FLOOR JACK SCHEDULE

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J205	JACK - (3) 2x4 SFF#1		2006	
J204	JACK - (3) 2x4 SFF#1		2006	
J205	JACK - (3) 2x4 SFF STUD GRADE		2004	
J206	JACK - (3) 2x4 SFF STUD GRADE		2004	
J215	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	02/24/11	STANDARD DETAILS 30

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MODEL: STRATFORD HALL
 DRAWING TITLE: SECOND FLOOR PLAN
 SHEET NO.: A-8
 SET NO.: 11900
 VERSION: 01
 DRAWN BY: BIM
 DATE: OPTION
 OPTION DESCRIPTION: OPTION