

COORDINATE TABLE

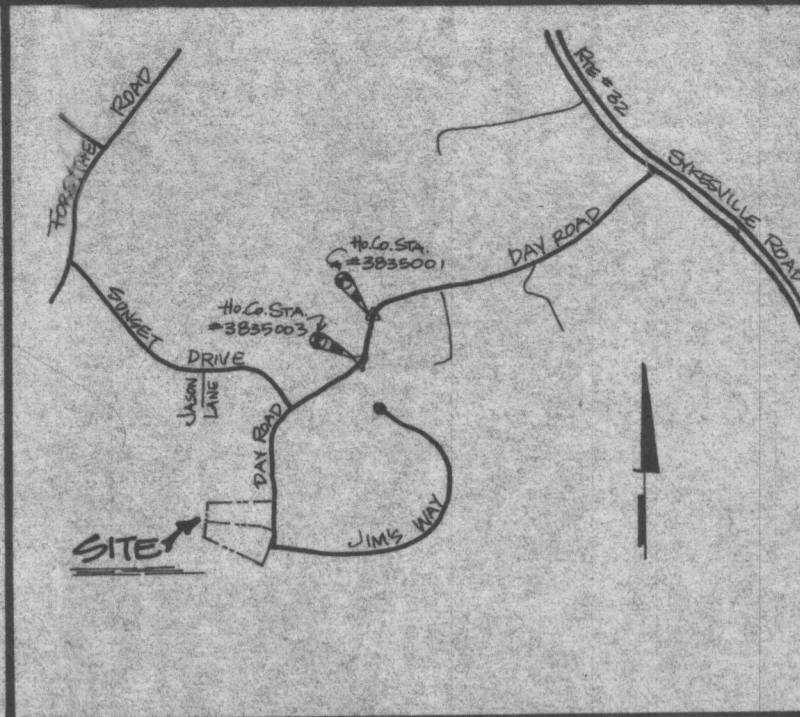
POINT	NORTH	EAST
1	548336.105	806403.451
2	548352.936	806393.561
3	548356.382	806383.217
4	548067.446	806301.289
5	548301.030	805764.364
6	548687.368	805807.425
7	548695.693	806480.200
8	548697.153	806505.832
9	548592.892	806460.067
10	548398.718	806394.614

*** NOTE:**

PUMP SEPTIC SYSTEM AND LIMITED WELL LOCATION IS REQUIRED ON LOT 1 DUE TO FOREST CONSERVATION EASEMENT AND ELEVATION CONSTRAINTS. HOUSE MUST BE LOCATED OUTSIDE OF THE FOREST CONSERVATION EASEMENTS AND PRIVATE SEWERAGE EASEMENT AS SHOWN HEREON.

CURVE DATA TABULATION

PT. TO FT.	RADIUS	ARC LENGTH	DELTA	TANGENT	CHD. BEARING & DISTANCE
1 to 10	75.00'	65.28'	49°32'00"	34.87'	N08°01'58"W - 63.23'
10 to 9	3400.00'	204.94'	03°27'13"	102.50'	N18°37'41"E - 204.91'
9 to 7	325.00'	105.21'	18°32'53"	53.07'	N11°04'51"E - 104.75'

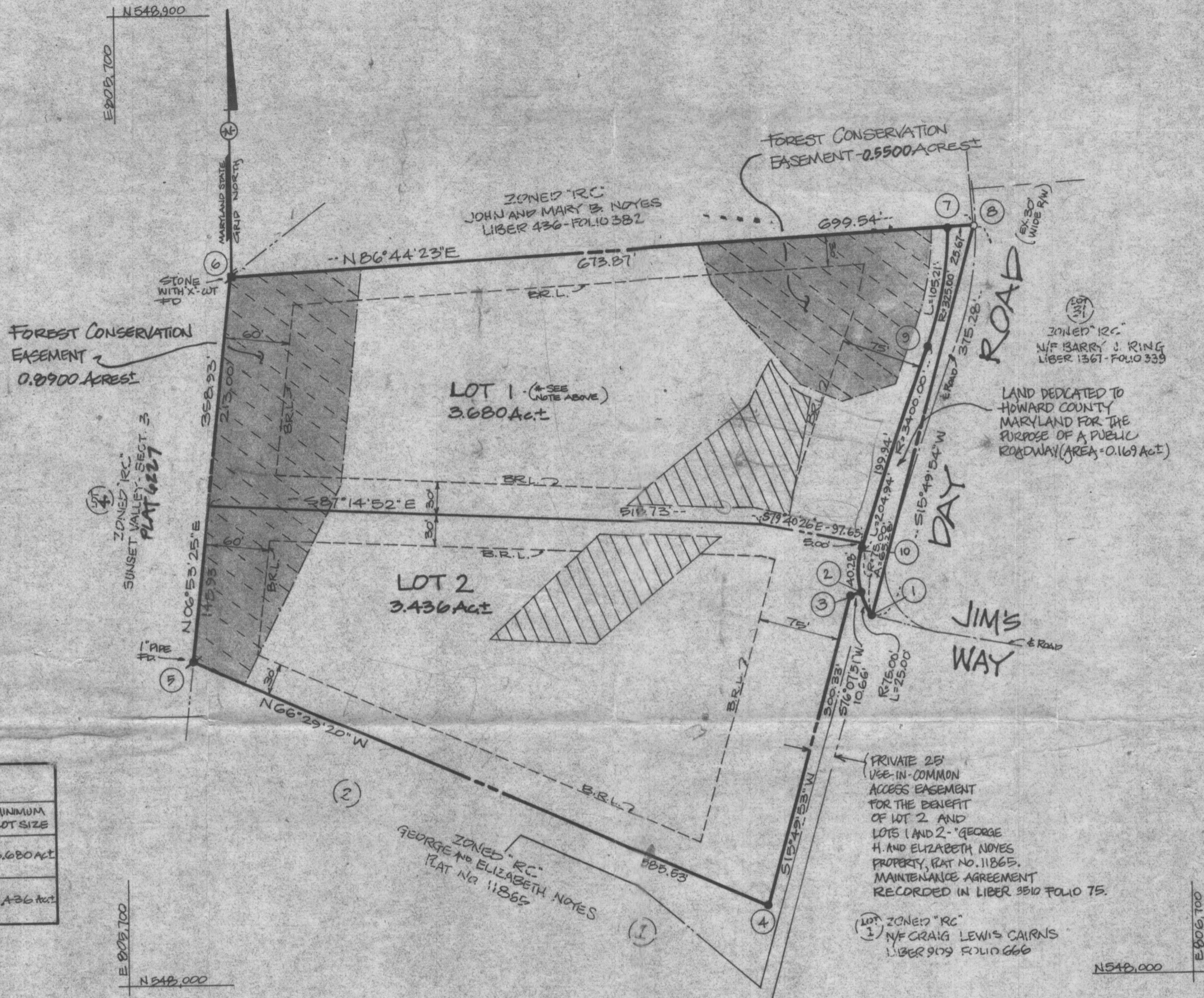


VICINITY MAP
SCALE: 1" = 2000'

NOTE: THE REQUIREMENT OF §3-10B, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1989 REPLACEMENT VOLUME (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

Sara Mae Noyes 8-7-95
SARA MAE NOYES DATE

Stephen C. Barnhart 8/9/95
STEPHEN C. BARNHART, R.P.L.S. #168 DATE



MINIMUM LOT SIZE TABULATION

LOT NO.	GROSS AREA	PISTEM AREA	REMAINING AREA	100 YEAR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
1	3.680 Act	0.000 Act	3.680 Act	0.000 Act	0.000 Act	3.680 Act
2	3.436 Act	0.000 Act	3.436 Act	0.000 Act	0.000 Act	3.436 Act

AREA TABULATION

TOTAL NUMBER OF BUILDABLE LOTS TO BE RECORDED	2
TOTAL NUMBER OF OPEN SPACE LOTS TO BE RECORDED	0
TOTAL NUMBER OF LOTS TO BE RECORDED	2
TOTAL AREA OF BUILDABLE LOTS TO BE RECORDED	7.116 Act
TOTAL AREA OF OPEN SPACE LOTS TO BE RECORDED	0.000 Act
TOTAL AREA OF LOTS TO BE RECORDED	7.116 Act
TOTAL AREA OF 100 YR FLOOD PLAIN AND 25% OR GREATER SLOPES	0.000 Act
TOTAL AREA OF ROADWAY TO BE RECORDED	0.169 Act
TOTAL AREA TO BE RECORDED	7.285 Act

APPROVED:
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS - HOWARD COUNTY HEALTH DEPARTMENT

John G. ... 3-6-96
HOWARD COUNTY HEALTH OFFICER MR. DATE

APPROVED:
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Stephen C. Barnhart 8/9/95
DIRECTOR DATE

OWNER'S CERTIFICATE

SARA MAE NOYES, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPTS THIS PLAT OF SUBDIVISION AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINAGE, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, (2) AND UNDEK ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON (3) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE AND OTHER VALUABLE AND/OR ROADS, THE FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE USE SIMPLE TITLE TO THE BEDS OF THE STREETS, ROADS AND FLOOD PLAINS, SEWER DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE AND (4) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS, DRAINAGE EASEMENTS FOR THE PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; (A) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS OF WAY.

WITNESS OUR HANDS THIS 7th DAY OF AUGUST, 1995.

Sara Mae Noyes 8-7-95
OWNER - SARA MAE NOYES DATE

Stephen C. Barnhart
WITNESS

STEPHEN C. BARNHART
R.P.L.S. #168

SURVEYING AND LAND PLANNING
PO BOX 244
FINKSBURG, MARYLAND 21048
(410) 861-8730

OWNER/DEVELOPER

SARA MAE NOYES
1879 DEER PARK ROAD
FINKSBURG, MARYLAND
21048

GENERAL NOTES - CONTINUED

- DEVELOPER RESERVES AND ASSIGNS, ITS SUCCESSORS AND ASSIGNS, THE FOREST CONSERVATION EASEMENTS LOCATED IN AND THROUGH LOTS 1 THROUGH 2, OR PORTIONS THEREOF, AND SHOWN ON THIS PLAT AS THE FOREST CONSERVATION AREA. ANY AND ALL CONVEYANCES OF THE FOREST CONSERVATION AREA SHALL BE SUBJECT TO THE EASEMENTS HEREBY RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEEDS CONVEYING SAID LOT(S). DEVELOPER SHALL EXECUTE AND DELIVER A DEED OF FOREST CONSERVATION EASEMENT TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION, INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT. THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED OF FOREST CONSERVATION EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT AREAS.
- DECLARATION OF MAINTENANCE OBLIGATION FOR PRIVATE USE-IN-COMMON ACCESS EASEMENT SERVING LOT 2 AND LOTS 1 AND 2 - GEORGE H. AND ELIZABETH V. NOYES PROPERTY, IS RECORDED IN LIBER 3910 FOLIO 75 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.
- PUBLIC WATER IS NOT AVAILABLE TO THIS SUBDIVISION AT THIS TIME.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT THAT IT IS A SUBDIVISION OF ALL OF THE LAND CONVEYED BY HARVEY W. NOYES TO HARVEY WINFORD NOYES (NOW DECEASED) AND SARA MAE NOYES BY DEED DATED SEPTEMBER 4, 1992 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 2770 FOLIO 404 AND THAT ALL MONUMENTS ARE IN PLACE, OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE SHEETS IN THE SUBDIVISION BY HOWARD COUNTY, MARYLAND AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED, AND THE BOUNDARY SURVEY IS IN ACCORDANCE WITH THE HOWARD COUNTY SUBDIVISION REGULATIONS.

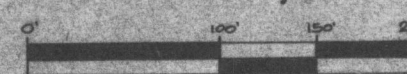
Stephen C. Barnhart 8/9/95
DATE

Stephen C. Barnhart R.P.L.S. #168
STEPHEN C. BARNHART, R.P.L.S. #168

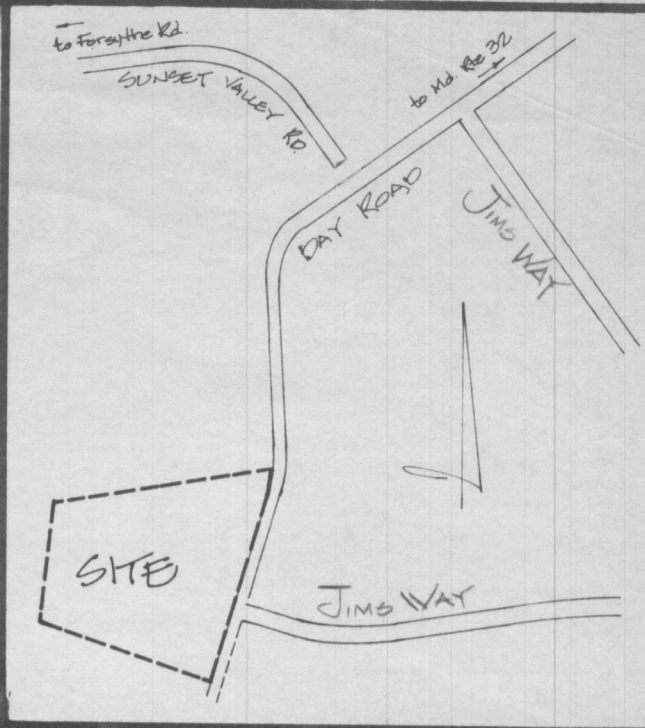
RECORDED AS PLAT NO. 12079 ON 9-20-96
AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

PROPERTY OF
SARA MAE NOYES
LOTS 1 AND 2
ZONED RC

TAX MAP 9 - PARCEL #125
THIRD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



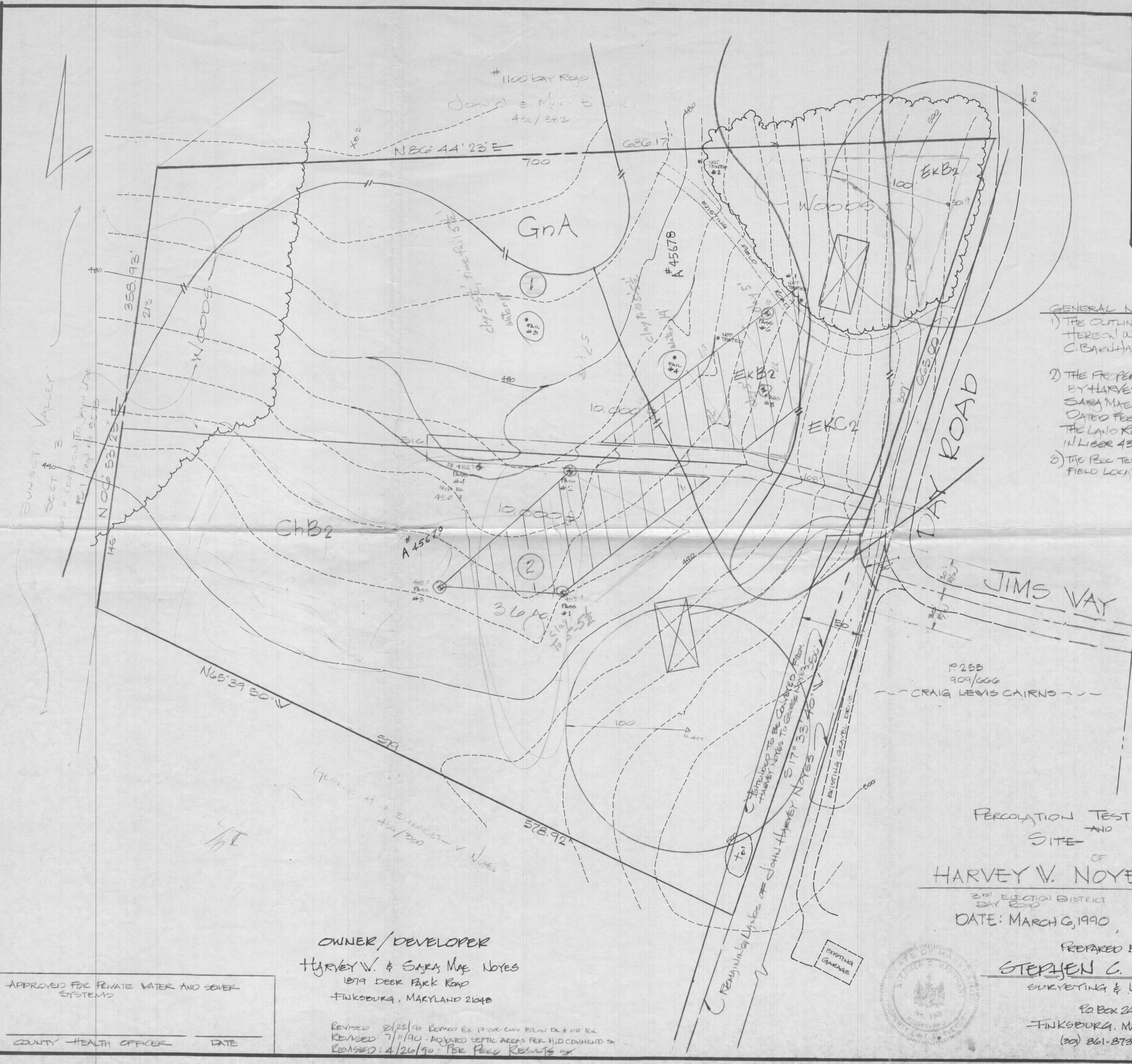
SCALE: 1" = 100'
DATE: AUGUST 7, 1995
SHEET 1 OF 1



VICINITY MAP
SCALE: 1"=600'

- GENERAL NOTES
- 1) THE OUTLINE AND TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY STEPHEN C. BARNHART RPLS #168 OCT. 1989
 - 2) THE PROPERTY SHOWN HEREON IS OWNED BY HARVEY WINFORD NOYES AND SARAH MAE NOYES, HIS WIFE BY DEED DATED FEB 26, 1965 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 436 FOLIO 384.
 - 3) THE PERC TEST HOLES SHOWN HEREON WERE FIELD LOCATED.

9/10/90
Perc Cut Plat
Paper Copy of R. Hodges



PERCOLATION TEST CERTIFICATION
AND
SITE PLAN
OF
HARVEY W. NOYES PROPERTY

2ND ELECTION DISTRICT
DATE: MARCH 6, 1990
HOMER COUNTY, MD
NEAR SYLVANIA
SCALE: 1"=50'

PREPARED BY
STEPHEN C. BARNHART, RPLS #168
SURVEYING & LAND PLANNING

PO Box 244
FINKSBURG, MARYLAND 21040
(301) 861-8730



OWNER/DEVELOPER
HARVEY W. & SARAH MAE NOYES
1879 DEER PARK ROAD
FINKSBURG, MARYLAND 21040

REVISED 8/22/90 REVISED PER PHONE CALL FROM DL & HD EX
REVISED 7/11/90 ADJUSTED SEPTIC AREAS PER H/D COMMENTS ON
REVISED: 4/26/90 PER PERC RESULTS EX

APPROVED FOR PRIVATE WATER AND SEWER SYSTEMS

COUNTY HEALTH OFFICER	DATE
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APPENDIX G
FOREST CONSERVATION WORKSHEET

BASIC SITE DATA

GROSS SITE AREA	7.17
AREA WITHIN 100 FEET FLOODPLAIN	NA
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL (IF APPLICABLE)	NA
NET TRACT AREA	6.93
LAND USE CATEGORY (R-FLD, R-RMD, R-S, CMO, I) <u>R-RMD</u>	

INFORMATION FOR CALCULATIONS

A. NET TRACT AREA	6.93
B. REFORESTATION THRESHOLD ($2.5\% \times A$)	1.73
C. AFFORESTATION MINIMUM ($2.2\% \times A$)	1.53
D. EXISTING FOREST ON NET TRACT AREA	1.27
E. FOREST AREAS TO BE CLEARED	0.05
F. FOREST AREAS TO BE RETAINED	1.22

Clearing below the threshold

If forest areas to be retained are less than the reforestation threshold (if F is less than B), the following calculations apply:

REFORESTATION FOR CLEARING ABOVE THRESHOLD	—
REFORESTATION FOR CLEARING BELOW THRESHOLD	—
TOTAL REFORESTATION REQUIRED	—

Since clearing occurs below the threshold, no forest retention credit is possible.

Clearing below the minimum

If existing forests are less than the afforestation minimum (if D is less than C) and clearing is proposed, the following calculations apply:

AFFORESTATION FOR UNFORESTED AREAS BELOW MINIMUM	0.12
AFFORESTATION FOR CLEARING BELOW MINIMUM	0.10
TOTAL AFFORESTATION REQUIRED	0.22

Afforestation requires the total forest area be equal to the minimum and it requires compensation for clearing.

STOCKING AND SPACING:

The planting will require 77 hardwoods, with tree shelters;

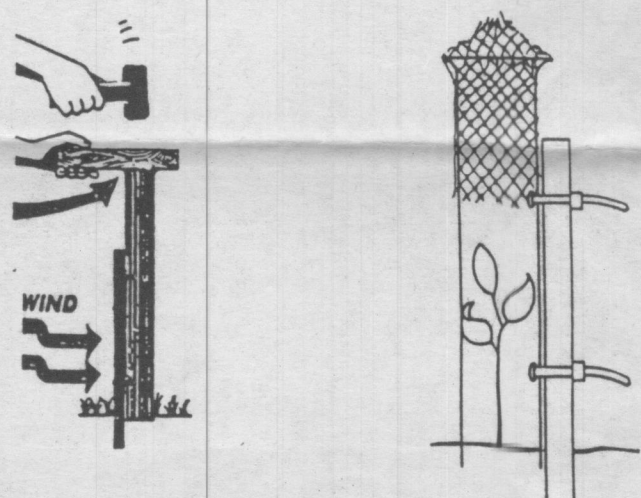
CONTAINER STOCK WILL BE USED, SINCE THEY CONTAIN A MORE FIBROUS ROOT MASS. BARE ROOT STOCK MAY BE PLANTED IN EARLY SPRING, PRIOR TO APRIL 15TH. Shelters will be placed on all stock.

QUANTITY	SPECIES	SPACING
16	Red Oak-Quercus rubra	11' X 11'
16	Red Maple-Acer rubrum	11' X 11'
15	Black Gum-Nyssa sylvatica	11' X 11'
15	Dogwood-Cornus florida	11' X 11'
15	Serviceberry-Amelanchier arborea	11' X 11'

*Even random distribution of stock

TREE SHELTERS: INSTALLATION

- When using tree shelters the number of plants per acre is adjusted.
- If necessary, trim seedlings or whips to a single leader.
- Drive stake into ground approximately 1-1/2" from the base of the seedling or whip, to a depth of 12 inches.
NOTE: In open fields, drive the stake on the windward side of the seedling or whip. In shaded conditions, drive the stake on the north side of the seedling or whip.
- Slip the tree shelter over the plant. Do not damage the terminal bud or root collar of the plant.
- With the flared end of the shelter on top and before tightening the ties, use a block of wood and hammer to seat the base of the shelter into the ground. The shelter must be seated at least one inch below ground surface.
- Tighten the ties to secure the shelter to the stake.
- Install poly netting over the top opening of the shelter to prevent bird entry.



THE NETTING SHOULD EXTEND 7-8 INCHES DOWN THE TUBE TO PREVENT ACCIDENTAL REMOVAL.

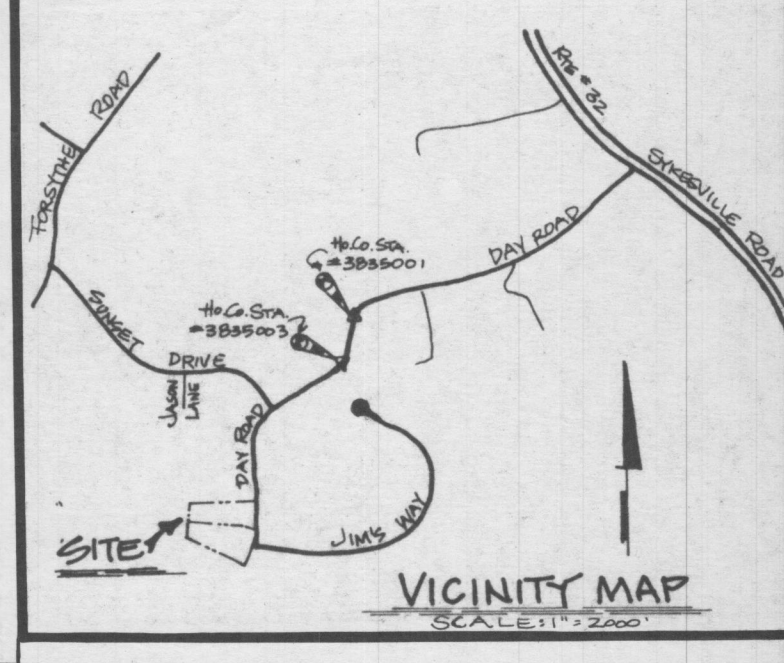
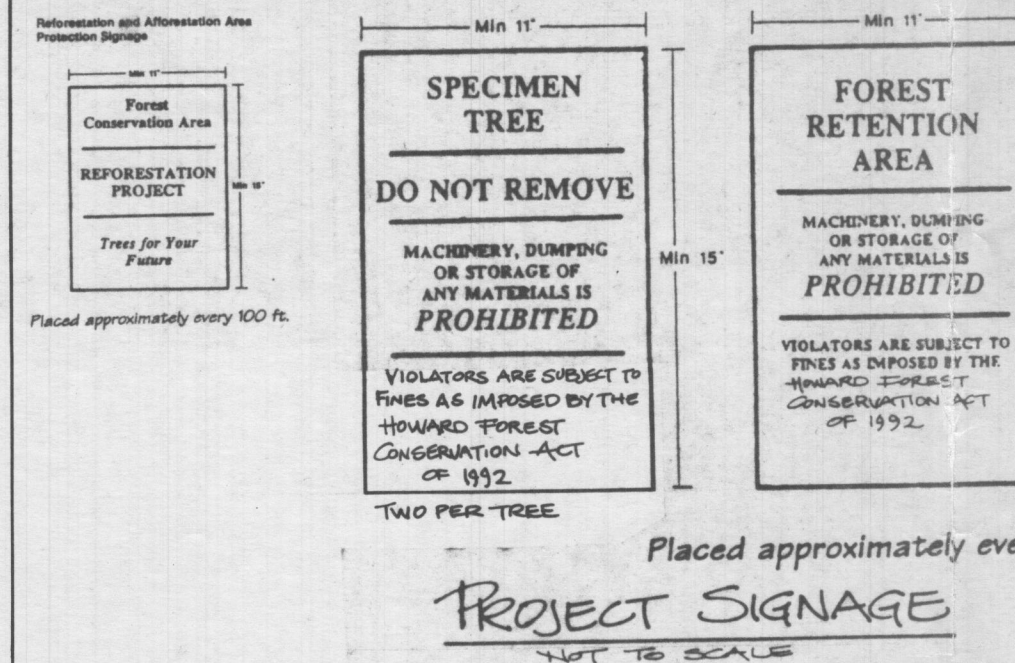
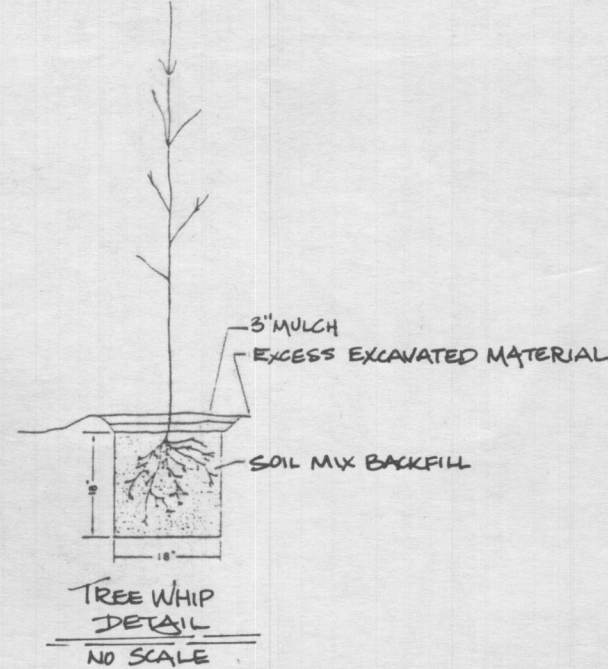
PERIMETER LANDSCAPE EDGE

- L-1 NORTH EDGE - 320' @ 1.60 TREES REQ. = 512
 - L-2 SOUTH EDGE - 520' @ 1.60 TREES REQ. = 832
 - * TOTAL LANDSCAPE TREES REQ. = 1344
- * PERIMETER LANDSCAPE REQUIREMENTS FOR THE REAR LOT LINES WILL BE MET THROUGH RETENTION OF EXISTING FOREST AND FOREST CONSERV. AREA (AFFORESTATION/PLANTING)

13 SHADE TREES PROVIDED - RED MAPLE/ACER RUBRUM (PLANTED 60' CENTER TO CENTER AS SHOWN ON PLAN AS AREAS L-1 AND L-2)

I CERTIFY THAT THE LANDSCAPING SHOWN HEREON COMPLETES WITH HOWARD COUNTY LANDSCAPE REQUIREMENTS AND AGREE TO IMPLEMENT THE LANDSCAPING AS SHOWN HEREON.

OWNER/DEV. SARA MAE NOYES DATE

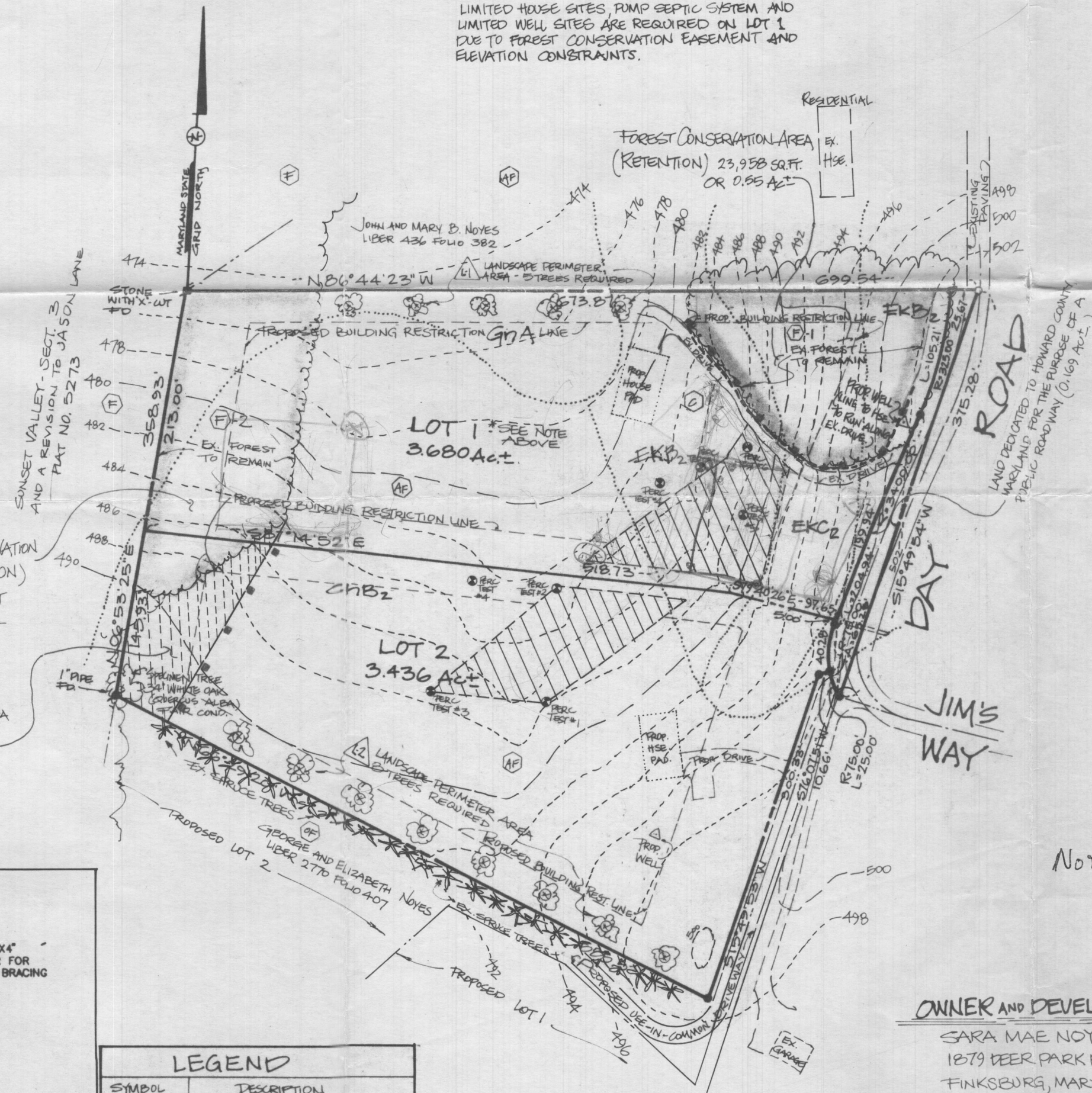


GENERAL NOTES

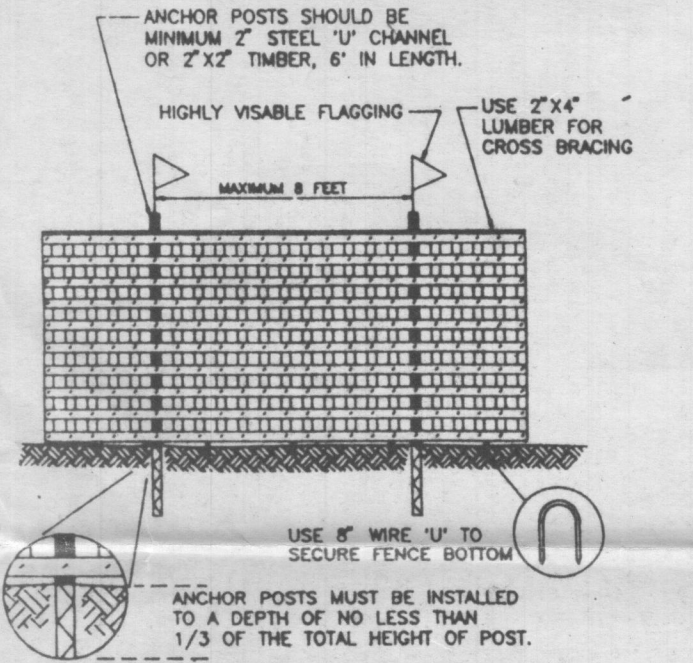
- THE BOUNDARY AND TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY STEPHEN C. BARNHART, RPLS #168 ON SEPTEMBER 7, 1995.
- FOREST STAND DELINEATION PERFORMED BY MAR-LEN FORESTRY, REGISTERED PROFESSIONAL FORESTER, NO. 192 ON AUGUST 3, 1994.
- THERE ARE NO 25% OR GREATER STEEP SLOPES ON THIS PROPERTY.
- THE PROPERTY SHOWN HEREON IS OWNED BY HARVEY WINFORD NOYES (NOW DECEASED) AND SARA MAE NOYES BY DEED DATED SEPTEMBER 4, 1992 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 2770, FOLIO 404.

* NOTE:

LIMITED HOUSE SITES, PUMP SEPTIC SYSTEM AND LIMITED WELL SITES ARE REQUIRED ON LOT 1 DUE TO FOREST CONSERVATION EASEMENT AND ELEVATION CONSTRAINTS.



- FOREST CONSERVATION NOTES
- Plan to be accompanied by report written by MAR-LEN FORESTRY entitled "Simplified Forest Conservation Plan for Sara Noyes Property."
 - Afforestation to occur simultaneously with the removal of sediment control devices.
 - All retention areas shall be protected by highly visible, well anchored temporary protection devices as shown.
 - All protection devices shall be in place prior to any grading or land clearing.
 - All protection devices shall remain in place until all construction has ceased in immediate area.
 - Devices shall be maintained throughout construction.
 - Attachment of signs or any other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
 - Pre Construction meeting: After the boundaries have been staked and flagged and before any disturbance, the developer, contractor or project manager and local inspector shall attend. Temporary parking, stockpile, staging and fueling area will be shown to all personnel.
 - Any changes made to the Forest Conservation Plan due to On-Site conditions shall be made in consultation with a representative of the Division of Planning & Zoning.
 - No burial of discarded materials will occur on-site within the conservation area.
 - No open burning within 100 feet of a wooded area.
 - All temporary Forest Protection structures will be moved after construction.
 - Pre-construction meeting is required with the project manager and county representative from Division of Planning & Zoning (303-2350).
 - Concrete wash-off, temporary parking, staging and fueling areas are designated on plan.
 - Retention forest and afforestation/reforestation areas will be protected by a Forest Conservation easement, deed restriction or other Forest Conservation and Management Agreement.
- Final Copy of Supplemental Eligible for Submittal



- NOTES
- FOREST PROTECTION DEVICE ONLY.
 - RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 - ROOT DAMAGE SHOULD BE AVOIDED.
 - PROTECTIVE SIGNAGE MAY ALSO BE USED.
 - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING TOPOGRAPHY
---	FOREST CONSERVATION AREA (RETENTION)
---	SOILS LINE
---	SPECIMEN TREES
---	FOREST PROTECTION FENCE
---	PROJECT EASEMENT
---	FOREST CONSERVATION AREA (AFFORESTATION)
---	LANDSCAPE TREE

LAND USE KEY

SYMBOL	DESCRIPTION
(F)	FOREST
(W)	WETLANDS (OTHER THAN FORESTED)
(AF)	ABANDONED FIELD
(O)	OPEN FIELD, PASTURE OR MEADOW
(C)	CROPS

FOREST STAND RETENTION AREAS AND PRIORITY RATINGS

RETENTION AREAS	PRIORITY RATING	ACRES	DISBURSANCE (SQ FT)	RETENTION (SQ FT)
STAND (F)-1	HIGH	.60	2000 #	23,958 #
STAND (F)-2	FAIR	.67	0	21,185 #

TOTAL FOREST RETAINED 1.22 Act / 53,143 #

SOILS LEGEND

SYMBOL	NAME/DESCRIPTION
G1A	GLENVILLE SILTLOAM, 0 TO 3 PERCENT SLOPE
EK1B2	ELIOAK SILT LOAM, 3 TO 8 PERCENT SLOPE, MODERATELY ERODED
EK2C2	ELIOAK SILT LOAM, 8 TO 15 PERCENT SLOPE, MODERATELY ERODED
Ch2B2	CHILLUM SILT LOAM, 2 TO 5 PERCENT SLOPES, MODERATELY ERODED

INFORMATION FROM HOWARD SOIL SURVEY - MAPS 3 AND 4

OWNER AND DEVELOPER

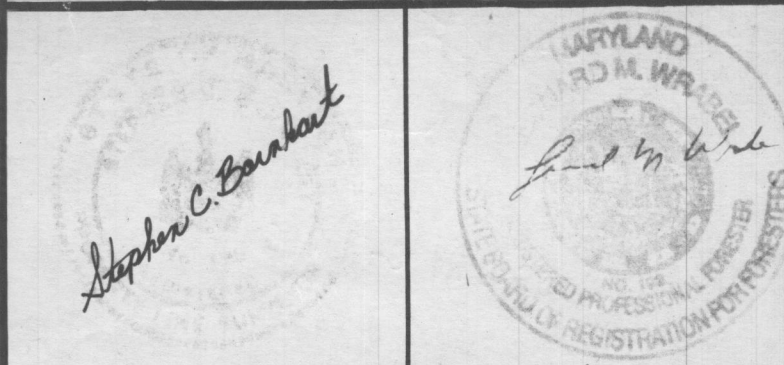
SARA MAE NOYES
1879 DEER PARK ROAD
FINKSBURG, MARYLAND
21048

PROPERTY OF
SARA MAE NOYES
SUPPLEMENTARY INFORMATION
AND EXISTING CONDITIONS

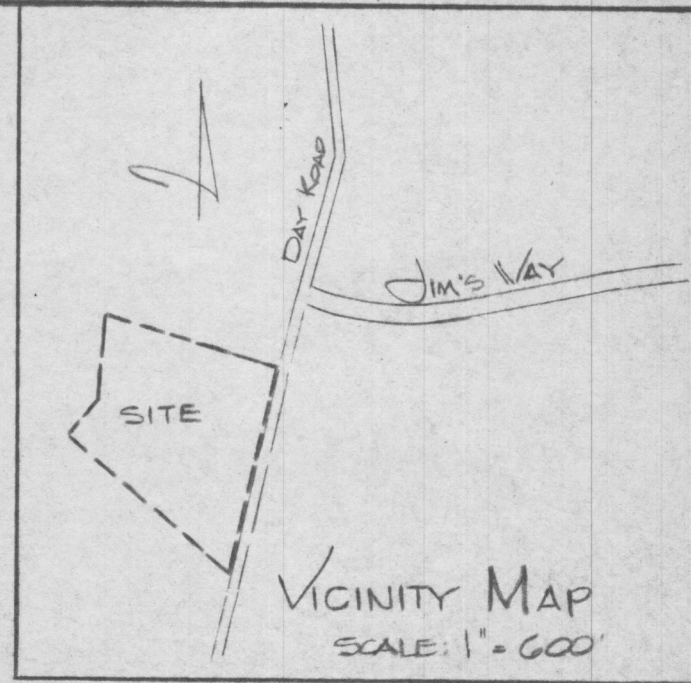
TAX MAP 9 DEED REF: 2770/404 3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PARCEL 125
SCALE: 1" = 100'
DATE: AUGUST 7, 1995
REVISED: 10/20/95

STEPHEN C. BARNHART
RPLS #168
SURVEYING AND LAND PLANNING
PO BOX 244
FINKSBURG, MARYLAND
21048
(410) 861-8730

MAR-LEN FORESTRY
275 BARNHART ROAD
WESTMINSTER
MARYLAND
21158
(410) 857-2322



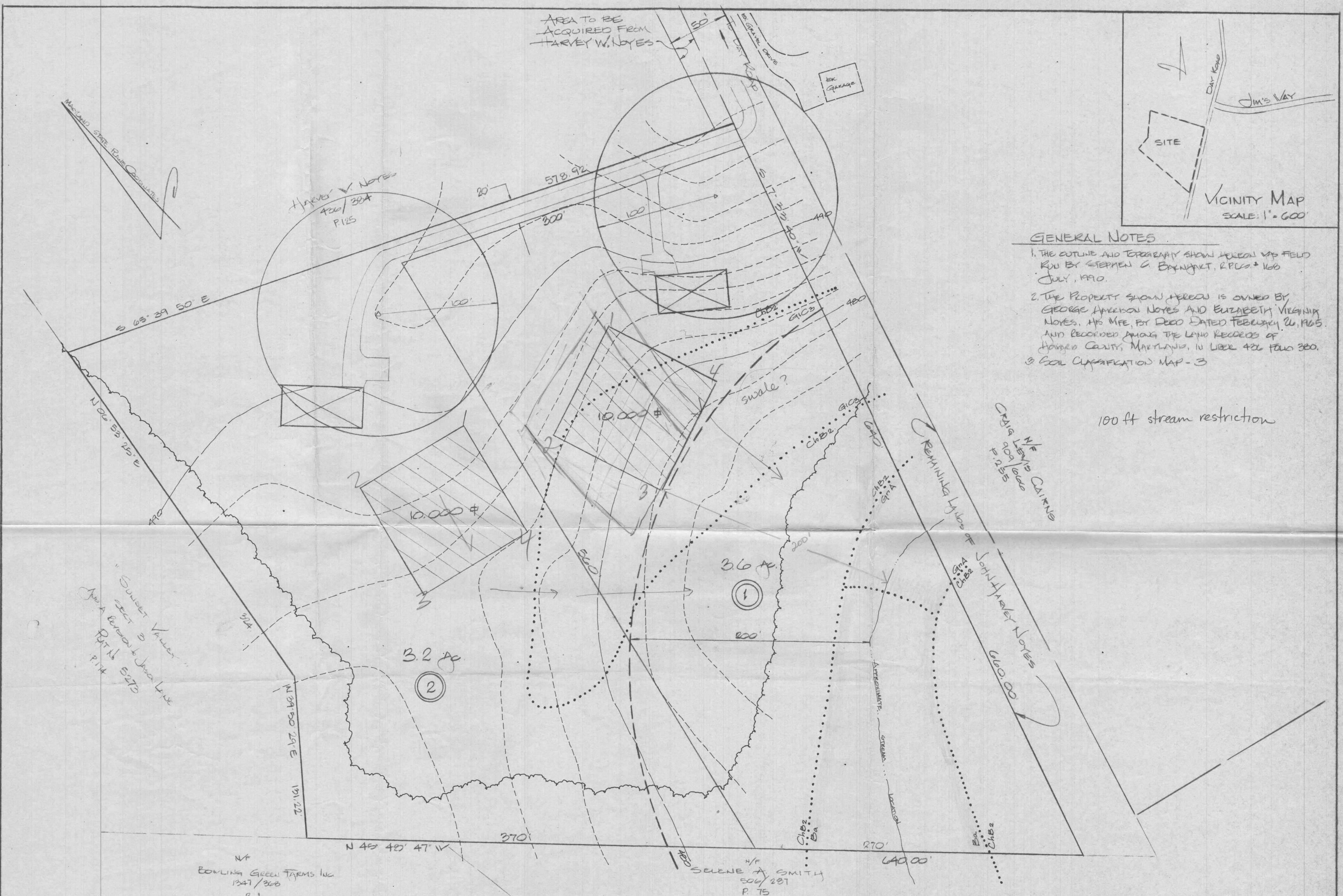
AREA TO BE ACQUIRED FROM HARVEY W. NOYES



GENERAL NOTES

1. THE OUTLINE AND TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY STEPHEN C. BARNHART, R.P.L.S.# 168 JULY, 1990.
2. THE PROPERTY SHOWN HEREON IS OWNED BY GEORGE AND ELIZABETH V. NOYES, HIS WIFE, BY DEED DATED FEBRUARY 26, 1965, AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, IN LIBER 426 FOLIO 380.
3. SOIL CLASSIFICATION MAP - 3

100 ft stream restriction

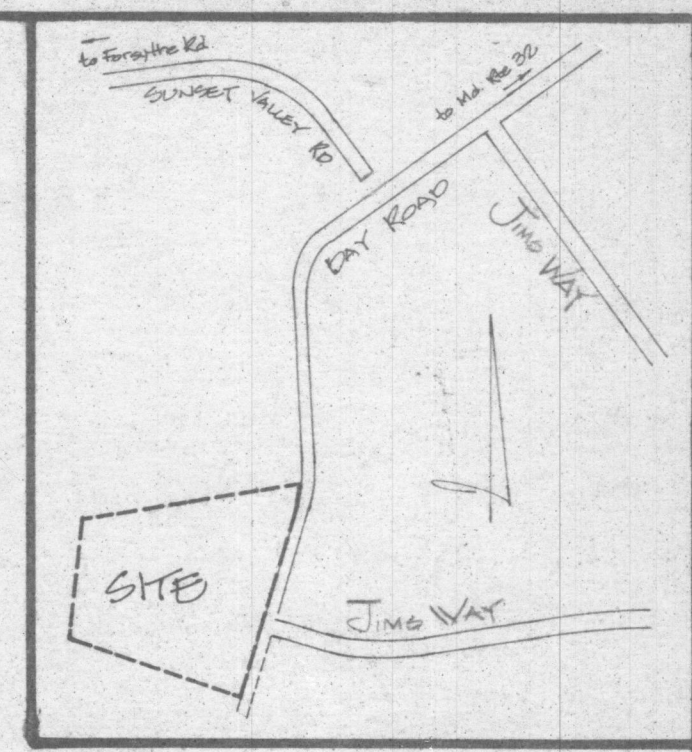


PREPARED BY
STEPHEN C. BARNHART, R.P.L.S.# 168
 PO Box 244
 FINKSBURG, MD 21048
 (301) 361-8730



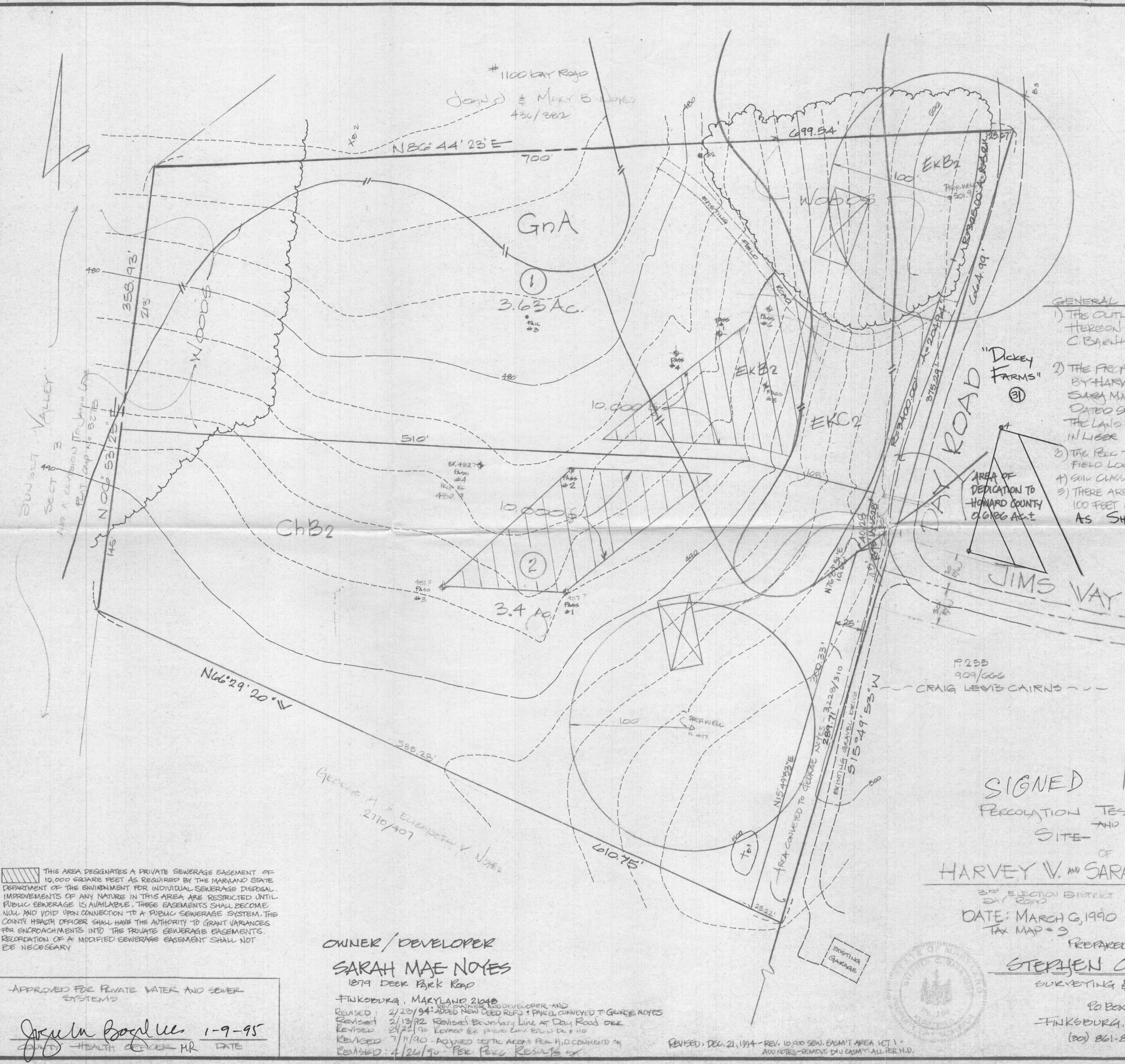
OWNER/DEVELOPER
GEORGE A. AND ELIZABETH V. NOYES
 528 KLEE MILL ROAD
 SYKESVILLE, MD 21784

SITE PLAN
GEORGE H. NOYES PROPERTY
 2ND ELECTION DISTRICT
 DAR ROAD
 HOWARD COUNTY, MD
 NEAR SYKESVILLE
 DATE AUGUST 20, 1990 SCALE: 1" = 50'



VICINITY MAP
SCALE 1"=600'

- GENERAL NOTES
- 1) THE OUTLINE AND TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY STEPHEN C. BARNHART RPLS #168 OCT. 1989
 - 2) THE PROPERTY SHOWN HEREON IS OWNED BY HARVEY WINFORD NOYES (NOW DECEASED) AND SARAH MAE NOYES, HIS WIFE BY DEED DATED SEPTEMBER 4, 1992 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 2770 FOLIO 404
 - 3) THE PERC TEST ADJES SHOWN AROUND WERE FIELD LOCATED.
 - 4) SOIL CLASSIFICATION MAP #3
 - 5) THERE ARE NO WELLS OR SEPTICS WITHIN 100 FEET OF THE PROPERTY LINE, EXCEPT AS SHOWN.



THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWERAGE EASEMENTS. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.

APPROVED FOR PRIVATE WATER AND SEWER SYSTEMS

Joseph Bogluc 1-9-95
HEALTH OFFICER M.R. DATE

OWNER/DEVELOPER
SARAH MAE NOYES
1879 DEER PARK ROAD

FINKSBURG, MARYLAND 21048
REVISED: 2/23/94 - ADDED NEW DEED REF'S & PARCEL CONVEYED TO GEORGE NOYES
REVISED: 2/13/92 - REVISED BOUNDARY LINE AT DAY ROAD DRK
REVISED: 2/22/90 - REVISED PERC TEST ADJES PER H.O. COMMENTS
REVISED: 7/11/90 - ADJUSTED SEPTIC ADJES PER H.O. COMMENTS
REVISED: 4/26/90 - PERC TEST RESULTS

SIGNED
PERCOLATION TEST CERTIFICATION
AND
SITE PLAN
OF
HARVEY W. AND SARAH M. NOYES PROPERTY

3RD ELECTION DISTRICT
DAY ROAD
DATE: MARCH 6, 1990
TAX MAP # 9
HOWARD COUNTY MD
NEAR SYKESVILLE
SCALE: 1"=50'
PARCEL # 125

PREPARED BY
STEPHEN C. BARNHART, RPLS #168
SURVEYING & LAND PLANNING

P.O. Box 244
FINKSBURG, MARYLAND 21048
(301) 861-8730



REVISED: DEC. 21, 1994 - REV. 10,000 SQ. FT. SEWER EASMENT VOT 1 - ADD NOTES - REMOVE DUO CASMT - ALL PER H.O.