

Menu Save Reset Cancel Help

Record Detail \* (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Pool Spa	11001989	01/30/2019
Description of Work		
SFD, CONSTRUCT A 35' X 17' IN GROUND POOL, DEPTH 3' TO 6', FENCE TO CODE, FILLED BY TRUCK		

[check spelling](#)

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
12340	POINT RIDGE	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-76.94078	39.18821
City	State	Zip Code	Primary
HIGHLAND	MD	20777	Yes

*Approved 7/1/2019  
R/E B19000266  
\* Pool Addition*

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1101989	200	80.03	280100	280100	0	RURAL
Legal Description						
PAR A 80.03 A NONBU [ 12351 POINT RIDGE DRIVE [ REGAN PROPERTY						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Supervisor Dist	Map #	DAP Zone	Primary
	A	805102	4				Yes
Plan Area	State Tax Id	Subdivision Name					
	1405595738	Regan Property					
Section	Area	Tax Map					
		34					
Grid	Zoning District	ADC Map					
40-6	RR-DEO	4933-K10					
SDP No.	Final Plan No.	WP File No.					
	ECP-12-045						
Record Plat No.	WS Contract No.	FDP No.					
22601-2260							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-15A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

**Owner** \* (This section is required.)

Search      Reset      Clear

**Name** \*

MB HIGHLAND RESERVE LLC

**Address Line 1**

1686 E GUDE DR

**Address Line 2**

**Address Line 3**

**Mail City**

ROCKVILLE

**Mail State**

MD

**Mail Zip Code**

20850

**Phone**

410-707-1131

**Primary**

Yes

**E-mail**

**Cell Number**

**Fax Number**

**Professionals** (This section is not required.)

Search      Reset      Clear

**License #** \*

08010095872

**Business Name**

ANTHONY & SYLVAN CORP

**License Type** \*

MHIC Ind

**First Name**

ALAN

**Middle Name**

**Last Name**

WALKER

**Primary**

Yes

**Address Line 1**

8260 PRESTON COURT STE 1

**Address Line 2**

**City**

JESSUP

**State**

MD

**ZIP Code**

20794-0000

**Phone 1**

2154895600

**Phone 2**

**Fax**

2154895610

**E-mail**

AWALKER@ANTHONYSYLVAN.COM

**Applicant** (This section is not required.)

Search      As Owner      As Lic. Prof      As Contact

**Type** \*

Applicant

**First Name**

KAREN

**MI**

H

**Last Name**

ROWLEY

**Relationship**

Agent for Applicant

**Full Name**

KAREN H ROWLEY

**Primary**

Yes

**Organization Name**

KH & K

**Street Address**

293 SOUTHLAND COURT

**Address Line 2**

**City**

DUNKIRK

**State**

MD

**Zip Code**

20754

<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
410-507-7705		
<b>E-mail *</b>		
KHKPERMITS05@YAHOO.COM		

**Addtl Info**

<b>Est Construction Cost *</b>	<b>Housing Units *</b>	<b>Number of Buildings *</b>	<b>Public Owned</b>
30000	0	0	No
<b>Construction Type</b>			
--Select--			

**POOL INFORMATION**

**MISCELLANEOUS POOL INFORMATION**

<b>Capital Project-No Fee *</b>	<b>Capital Project Number</b>	<b>Fee Exempt *</b>	<b>Water Supply *</b>	<b>Sewage Disposal *</b>
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	Private	Private
<b>Existing Use</b>	<b>Type of Pool or Spa *</b>	<b>Electrical Permit Number</b>	<b>Expiration Date</b>	
SFD	In Ground Pool		7/31/2019	

**PAYMENT INFORMATION**

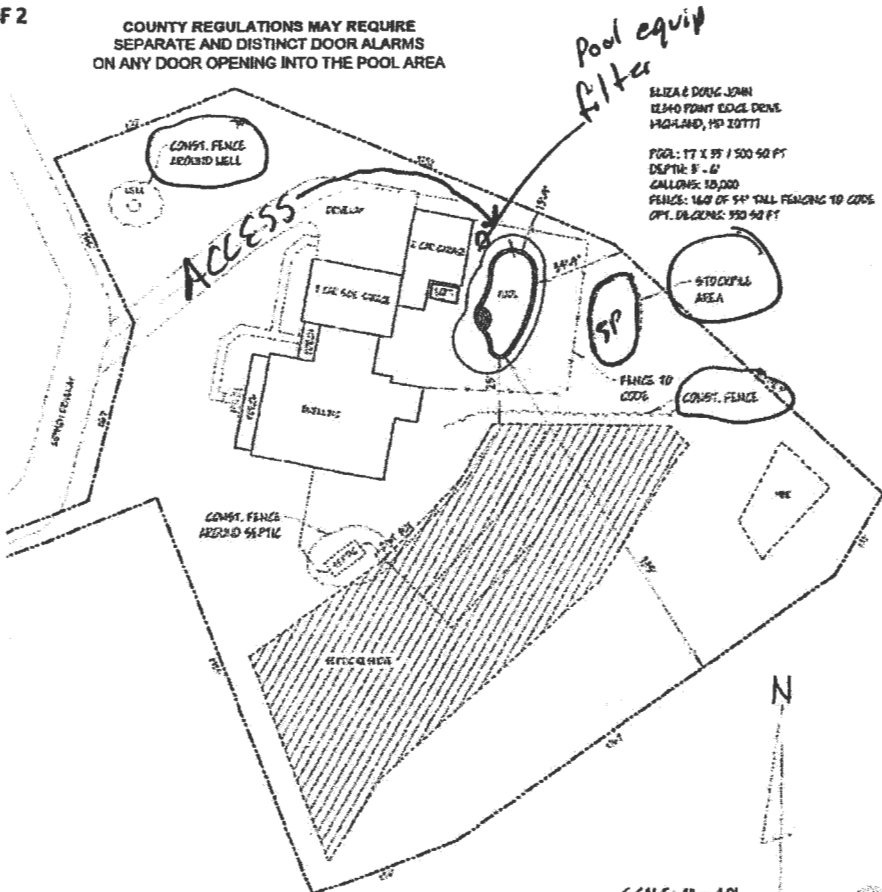
<b>Check 1</b>	<b>Payee 1</b>	<b>SAP Doc No</b>	<b>SAP Entered</b>

Submit Cancel

Approved 2/1/2019  
 R/E B19000266  
 \* Pool Addition

PAGE 2 OF 2

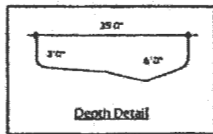
COUNTY REGULATIONS MAY REQUIRE  
 SEPARATE AND DISTINCT DOOR ALARMS  
 ON ANY DOOR OPENING INTO THE POOL AREA



SEIZA & DORIS JEAN  
 12340 POINT EDGE DRIVE  
 HIGHLAND, MD 20777  
 POOL: 17 X 35 / 500 SQ FT  
 DEPTH: 8'-6"  
 GALLONS: 10,000  
 FENCES: 160' OF 54" TALL FENCING TO CODE  
 OPT. DR. CONC: 350 SQ FT

SCALE: 1" = 40'

Survey Plan  
 SCALE: 1" = 40'-0"



**ANTHONY SYLVAN POOLS**  
 THE WHOLE ANTHONY WAY  
 © 2008 ANTHONY & SYLVAN POOLS CORP.

\*\*\*NOTES\*\*\*  
 Changes from the agreement are by addendum only, signed by both parties and paid in full at time of offering signature. No changes will occur prior to signing addendum.

NOTE	The [ ] in numerical and [ ] in letter [ ] in symbol		REVISIONS	
	T.O.C. = ?	Date	Description	
⊕	-----	4.16.19	FURNISH TO PERMITS/INSURANCE	
⊕	-----	-----	-----	
⊕	-----	-----	-----	
⊕	-----	-----	-----	

LAST NAME: \_\_\_\_\_  
 FIRST NAME: \_\_\_\_\_  
 BUSINESS: \_\_\_\_\_  
 CITY: \_\_\_\_\_  
 ZIP: \_\_\_\_\_  
 PROFESSION: \_\_\_\_\_  
 EMAIL ADDRESS: \_\_\_\_\_

DIRECTOR: \_\_\_\_\_  
 CROSS: \_\_\_\_\_

ACCP, EPC, GRABAC, INS TYPE, INV NAME, FENCE REGIONAL, SEAS REGIONAL, POWER LINES, STUMP REGIONAL, QTY, VBA, FENCE, REGIONAL, OWNER, JOB OFFICE, ADDRESS, REGIONAL MANAGER, SIGN DATE, PIN

DRAFT COPY  
 NOT APPROVED FOR PERMITS/INSURANCE

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Record Detail \* (This section is required.)

<b>Permit Type</b> Building/Residential/Misc/Porch	<b>Permit Number</b> B19000764	<b>Opened Date</b> 03/20/2019
<b>Description of Work</b> SFD/ CONSTRUCT 18' 9" X 16' 2" OPEN PORCH & 8' X 16' 2" IRREGULAR SHAPED OPEN DECK WITH STEPS		

check spelling

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b> 12340	<b>Street Name</b> POINT RIDGE	<b>Street Type</b> DR
<b>Unit Type</b> --Select--	<b>Unit #</b> 	<b>X Coordinate</b> -76.94078
<b>City</b> EULTON	<b>State</b> MD	<b>Zip Code</b> 20759
<b>Y Coordinate</b> 39.18821	<b>Primary</b> Yes	

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

<b>GIS ID *</b> 1103548	<b>Parcel</b> 200	<b>Parcel Area</b> 1.17	<b>Land Value</b> 201700	<b>Improved Value</b> 201700	<b>Exemption Value</b> 0	<b>Plan Area</b> RURAL
<b>Legal Description</b> LOT 3 1.172 A.[ ]12340 POINT RIDGE DR[ ]REGAN PROPERTY						

check spelling

<b>Block</b> 	<b>Lot</b> 3	<b>Census Tract</b> 605102	<b>Council Dist</b> 4	<b>Supervisor Dist</b> 	<b>Map #</b> 	<b>DAP Zone</b> 	<b>Primary</b> Yes
<b>Plan Area</b> 	<b>State Tax Id</b> 1405597436	<b>Subdivision Name</b> Regan Property					
<b>Section</b> 	<b>Area</b> 	<b>Tax Map</b> 34					
<b>Grid</b> 34-24	<b>Zoning District</b> RR-DEO	<b>ADC Map</b> 4933-K10					
<b>SDP No.</b> 	<b>Final Plan No.</b> ECP-12-045	<b>WP File No.</b> 					
<b>Record Plat No.</b> 23063-2307	<b>WS Contract No.</b> 	<b>FDP No.</b> 					
<b>Owner Occupied</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Year Built</b> 	<b>Historic District</b> <input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b> 	<b>Stat Area</b> 5-15A	<b>Flood Plain</b> <input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b> 							

Owner \* (This section is required.)

Search Reset Clear

<b>Name *</b> JOHN DOUGLAS H
<b>Address Line 1</b> 12340 POINT RIDGE DRIVE
<b>Address Line 2</b> 

Address Line 3

**Mail City**  **Mail State**  **Mail Zip Code**   
 HIGHLAND MD 20777  
**Phone**  **Primary**   
 410-707-1131 Yes  
**E-mail**   
**Cell Number**  **Fax Number**

Professionals (This section is not required.)

Search Reset Clear

**License # \***  **Business Name**   
 08010020247 PRO BUILT CONSTRUCTION  
**License Type \***  **First Name**  **Middle Name**  **Last Name**   
 MHIC Ind EDWARD PACYLOWSKI  
**Primary**  **Address Line 1**   
 No 13330 CLARKSVILLE PIKE  
**Address Line 2**   
**City**  **State**  **ZIP Code**   
 HIGHLAND MD 20777-9701  
**Phone 1**  **Phone 2**  **Fax**   
 3018540821 3018549632  
**E-mail**   
 EDWARD@PROBUILTCONSTRUCTION.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

**Type \***  **First Name**  **MI**  **Last Name**   
 Applicant EDWARD PACYLOWSKI  
**Relationship**  **Full Name**   
 --Select--  
**Primary**  **Organization Name**   
 Yes PRO BUILT CONSTRUCTION  
**Street Address**   
 13330 CLARKSVILLE PIKE  
**Address Line 2**   
**City**  **State**  **Zip Code**   
 HIGHLAND MD 20777-9701  
**Phone**  **Cell**  **Fax**   
 3018540821 3018549632  
**E-mail \***   
 EDWARD@PROBUILTCONSTRUCTION.COM

Addl Info

**Est Construction Cost**  **\*Housing Units \***  **Number of Buildings**  **\*Public Owned**   
 25000 0 0 No  
**Construction Type**   
 --Select--

PORCH INFORMATION

PORCH INFORMATION

**Capital Project-No Fee \***  **Capital Project Number**  **Fee Exempt \***  **Roadside Tree Project Permit \***  **Roadside Tree Project Permit #**   
 Yes No Yes No Yes No Yes No  
**Existing Use \***  **Type of Porch \***  **Type of Porch Foundation \***  **Total Square Footage \***  SQFT  
 SFD Open Porch New Deck 290  
**Water Supply**  **Sewage Disposal**  **Expiration Date**    
 Private Private 9/21/2019

PAYMENT INFORMATION

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Check 1

Payee 1

Check 2

Payee 2

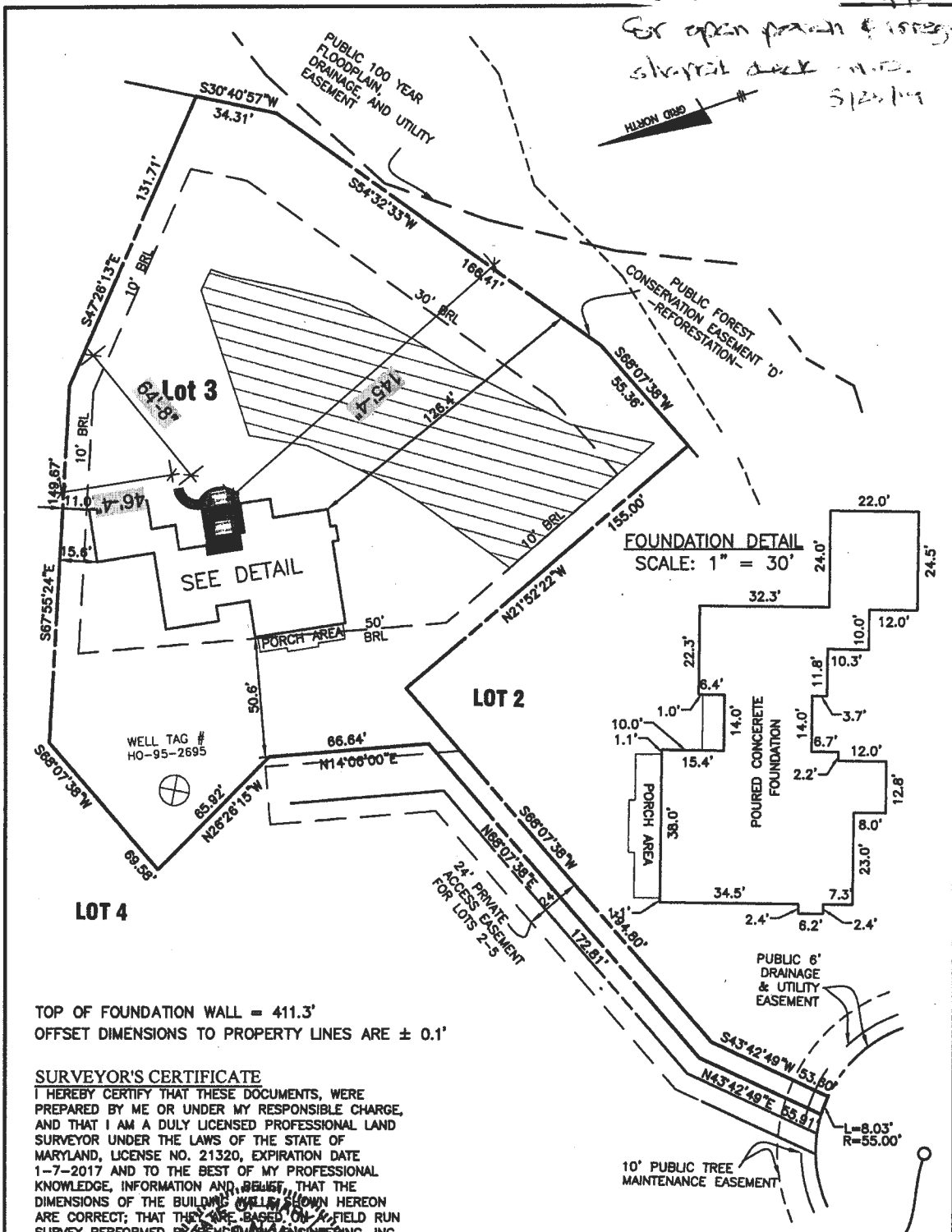
SAP Doc No

SAP Entered



Submit Cancel

379000704 - Approved  
 for open parcel & survey  
 shared deck - n.d.  
 5/24/19



TOP OF FOUNDATION WALL = 411.3'  
 OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

**SURVEYOR'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2017 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY DONALD A. MASON ENGINEERING, INC. ON 10/08/2018.

*Donald A. Mason*  
 DONALD A. MASON  
 PROFESSIONAL LAND SURVEYOR  
 MARYLAND REG. No. 21320

FEMA FIRM No. 24027C0130D  
 ZONE: X  
 DATED: NOV. 6, 2013

**BENCHMARK**  
**ENGINEERS LAND SURVEYORS PLANNERS**  
**ENGINEERING, INC.**  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-485-8105 ▲ (F) 410-485-8644  
 WWW.BEI-CVLENGINEERING.COM

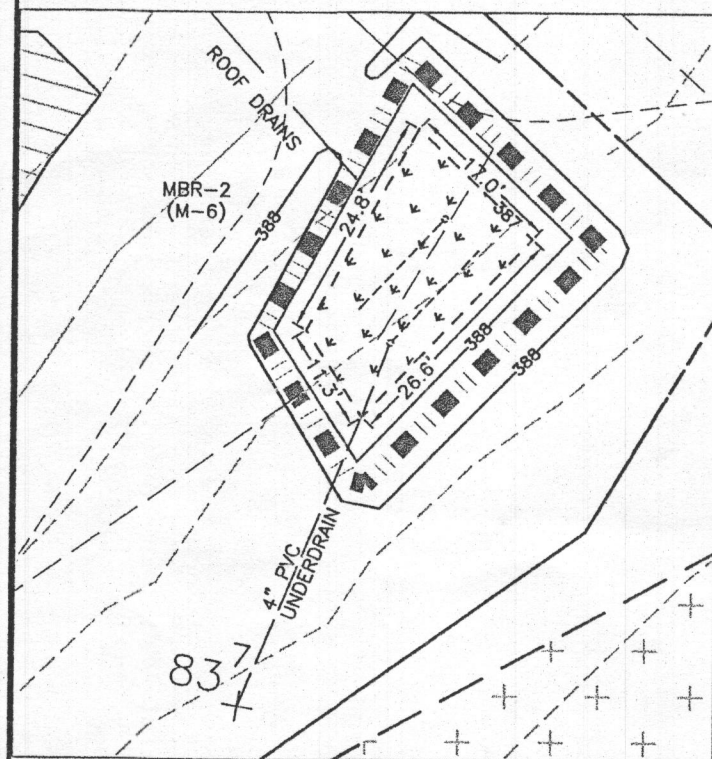
**POINT RIDGE DRIVE**  
 PUBLIC ACCESS PLACE  
 65' RW

**WALL CHECK**  
**REGAN PROPERTY**  
**PLAT No. 23070 / 23073**  
**LOT No. 3**  
 12340 POINT RIDGE DRIVE

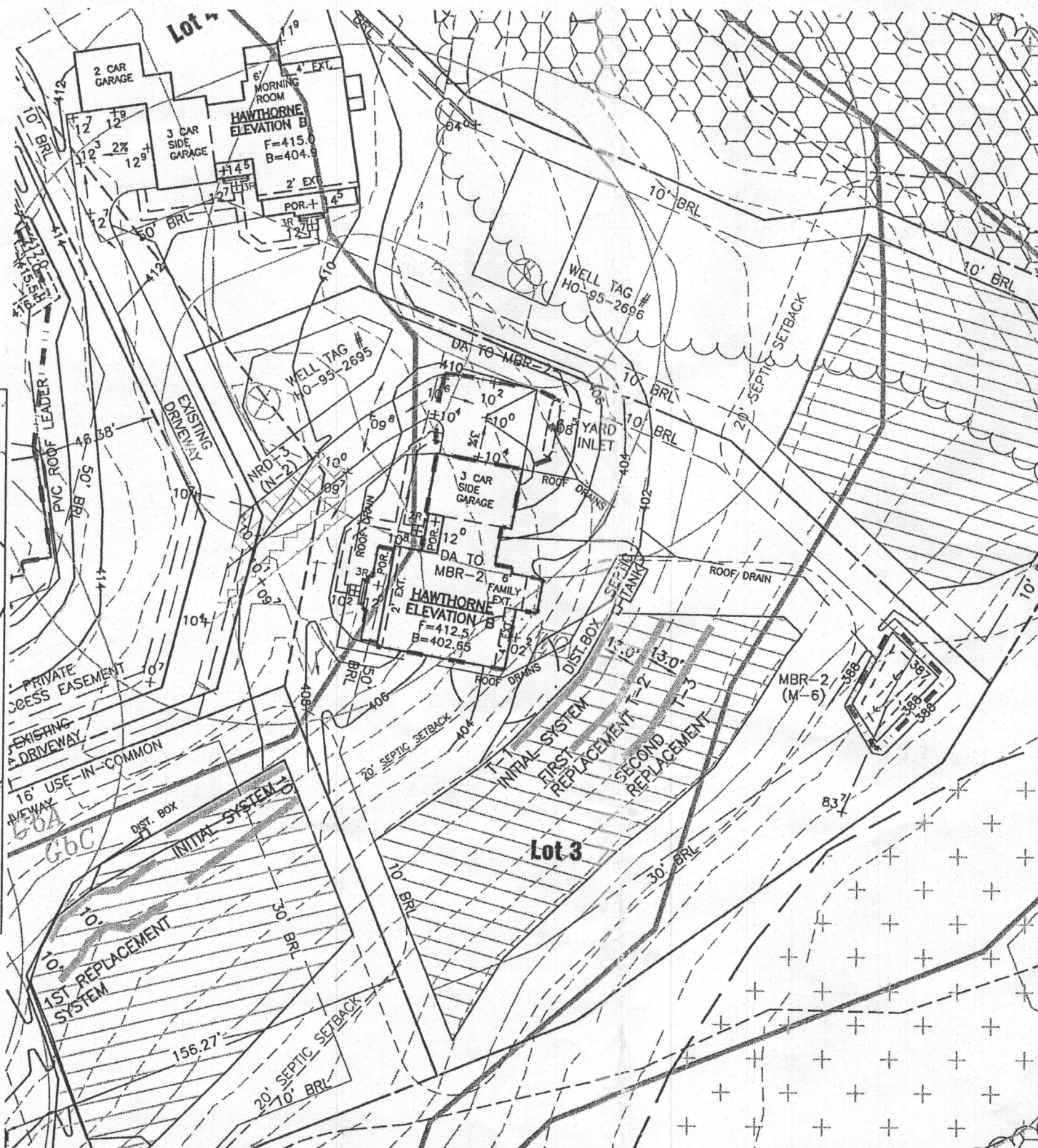
5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 FIELD OBS. BY PJ  
 COMP. BY EWF  
 DRAWN BY EWF SCALE: 1" = 50' DATE: 10-08-2018

**LEGEND**

- SOILS CLASSIFICATION *ChB2*
- SOILS DELINEATION
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LIMIT OF WETLANDS
- 25' WETLANDS BUFFER
- CENTERLINE OF STREAM
- STREAM BUFFER
- PROPOSED STRUCTURE
- SWM DRAINAGE DIVIDE
- LOD/EFFECTIVE AREA



**MBR DETAIL**  
1" = 20'



**BUILDING PERMIT PLAN NOTES:**

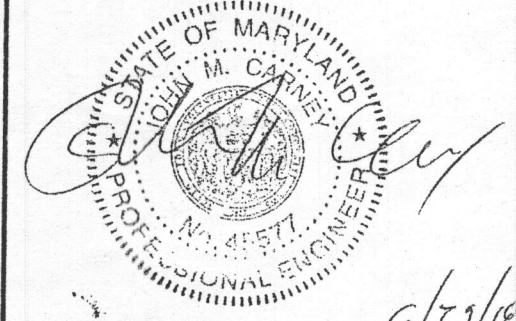
1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR REGAN PROPERTY, PLAT Nos. 23063-23074. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN AND MODIFIED FOR THIS SPECIFIC HOUSE.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JANUARY, 2012.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-2695, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED AND PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MDE M-6) AND DRY WELL FACILITIES (MDE M-5).
10. MICRO-BIORETENTION SHALL HAVE EITHER A 4" OR 6" ROOF LEADER DEPENDING ON ROOF-TOP AREA.

Approved Septic System Plan  
Howard County Health Department  
*Deborah*  
Signature *B. 18002901* Date *7-23-18*

**PLAN VIEW**  
1" = 50'

**NOTE**  
UNLESS OTHERWISE NOTED, THE FIRST RUN OF PVC ROOF LEADER SHALL BE 4" AND SHALL INCREASE TO AT LEAST 6" AFTER ANY CONFLUENCE OF 4" PIPES.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



**ESD STORMWATER MANAGEMENT SUMMARY TABLE**

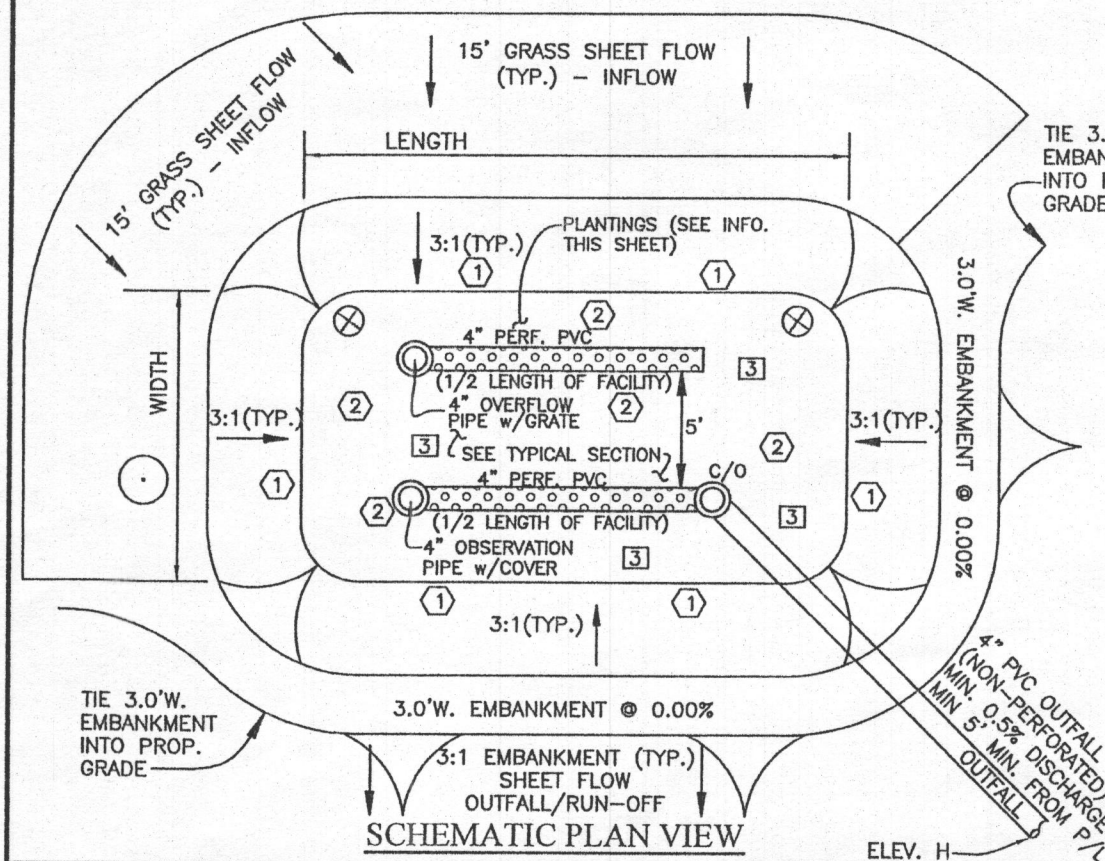
Practice	#	DA to practice	Imp Area to practice	Qe= 0.26 inches		ESDv= 673 cf	Rv= 0.22		Ownership		
				Required	Provided		Required	Provided			
(M-6) MicroBioretention	MBR-2	5,407	4,283	108	350	PASS	413	634	1.2	146	Private
(N-2) Disc. of Non-Rooftop Runoff	NDC-3	1,291	572					43	1.0	43	Private
<b>Total Treated</b>		6,698	4,855	108	350		673	677	1.2	146	189
<b>Site Total</b>		31,134	5,752								

OWNER/BUILDER:	BENCHMARK ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CMLENGINEERING.COM	
PROJECT:	REGAN PROPERTY LOT 3	
LOCATION:	12340 POINT RIDGE DRIVE HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436	
TITLE:	BUILDING PERMIT PLAN	
HOUSE TYPE:	HAWTHORNE - ELEVATION B	
DATE:	JUNE, 2018	PROJECT NO. 2171
SCALE:	AS SHOWN	DRAWING 1 OF 2

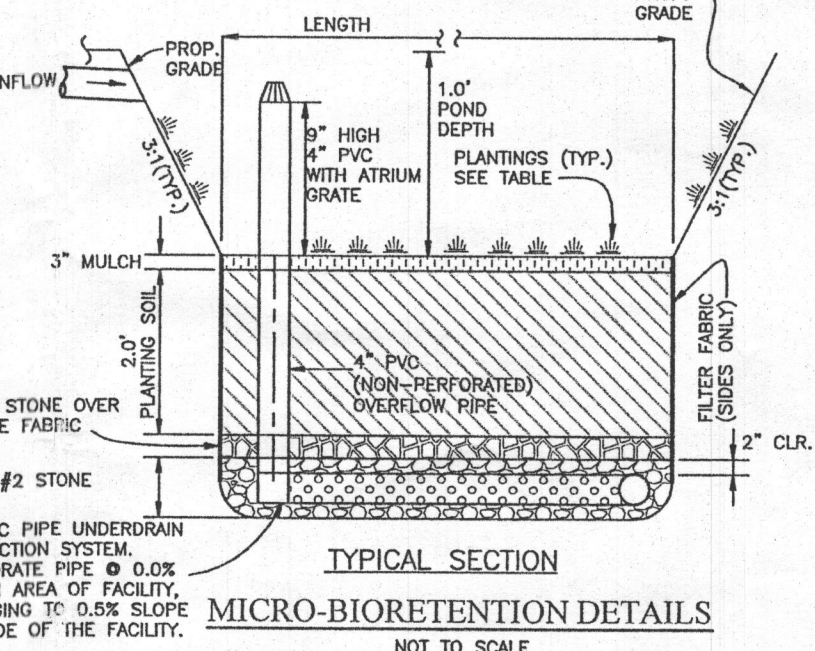
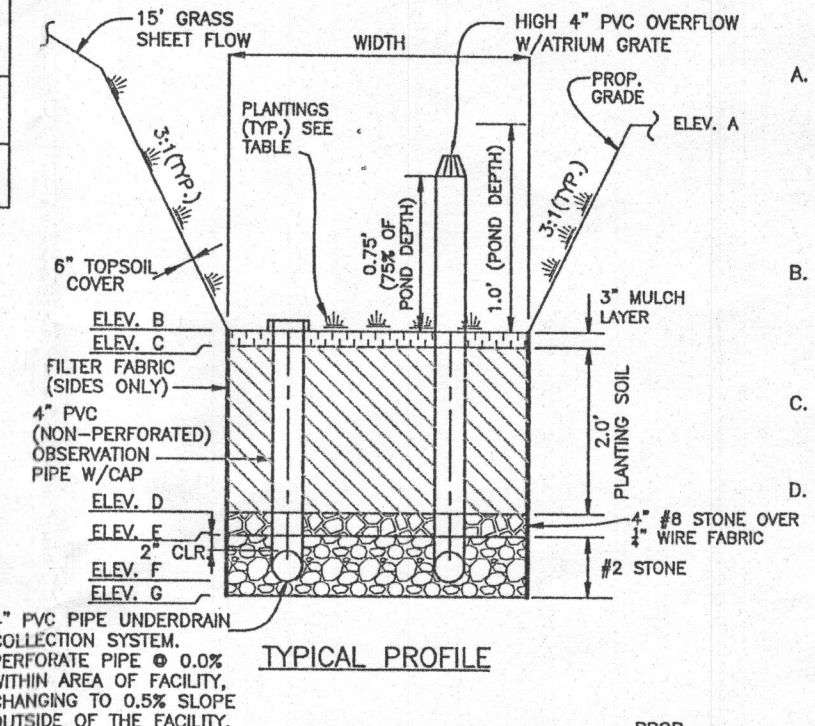
ON-LOT BIORETENTION DIMENSIONS

FACILITY	A	B	C	D	E	F	G	H	LENGTH	WIDTH	FILTER (A <sub>f</sub> )	PLANTINGS			LINER
												①	②	③	
MBR-3	388.00	387.00	386.75	384.75	384.42	383.92	382.88	383.70	26.6	17.0	448	100	100	50	NO

ADDITIONAL:  
 • 2 SHRUBS  
 • 1 TREE



NOTE: IMPERMEABLE LINER REQUIRED WHEN FACILITY IS INSTALLED IN THE 100' WELL RADIUS OR AS NOTED. THIS LINING SHOULD INCLUDE ENTIRE SIDES AND BOTTOM OF THE EXCAVATION AND EXTEND TO TOP OF EMBANKMENT. LINING ON SIDE SLOPES SHALL BE BELOW A MINIMUM OF 6" OF TOP SOIL. LINING TO BE CLAY OR 30 MIL POND LINER



- OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
  - THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
  - THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
  - THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL. THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

MICROBIORETENTION PLANTING SCHEDULE

- (PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)
- ① IRIS FULVA (COPPER IRIS) (1 PER SY)
  - ② LOBELIA CARDINALIS (CARDINAL FLOWER) (1 PER SY)
  - ③ RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER) (1 PER 2 SY)
  - ⊗ CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
  - ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

MICROBIORETENTION PLANTING DATA

- PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
- PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
- AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.

JOHN M. CARNEY  
 PROFESSIONAL ENGINEER  
 No. 45577  
 6/29/18

OWNER/BUILDER:  
 MB HIGHLAND RESERVE, LLC  
 1686 EAST GUDE DRIVE  
 ROCKVILLE, MD 20850  
 301-762-9511

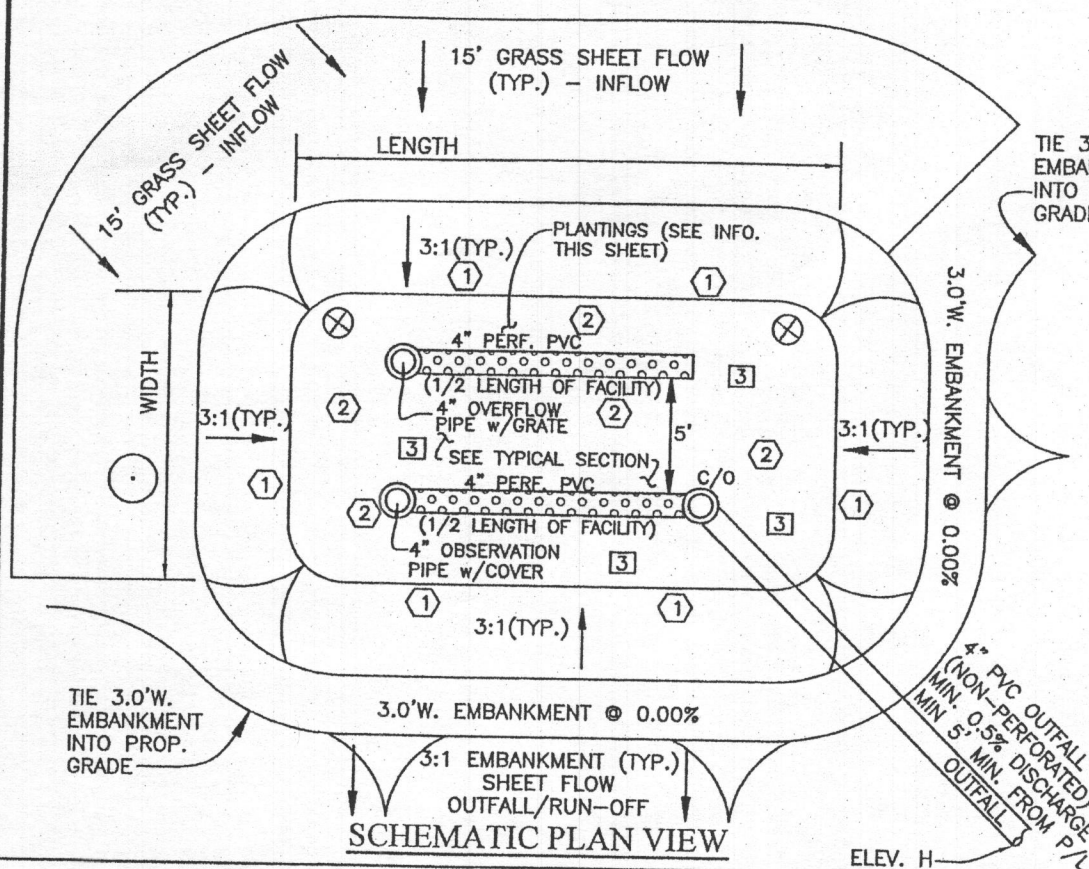
BENCHMARK  
 ENGINEERS LAND SURVEYORS PLANNERS  
 ENGINEERING, INC.  
 8480 BALTIMORE NATIONAL PIKE & SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 ▲ (F) 410-465-6644  
 WWW.BEI-CIVLENGINEERING.COM

PROJECT:	REGAN PROPERTY LOT 3	
LOCATION:	12340 POINT RIDGE DRIVE HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436	
TITLE:	BUILDING PERMIT & STORMWATER MANAGEMENT NOTES & DETAILS	
HOUSE TYPE:	HAWTHORNE - ELEVATION B	
DATE:	JUNE, 2018	PROJECT NO. 2171
SCALE:	NOT TO SCALE	DRAWING 2 OF 2

LOT BIORETENTION DIMENSIONS

FACILITY	A	B	C	D	E	F	G	H	LENGTH	WIDTH	FILTER (A#)	PLANTINGS			LINER
												①	②	③	
MBR-3	388.00	387.00	386.75	384.75	384.42	383.92	382.88	383.70	26.6	17.0	448	100	100	50	NO

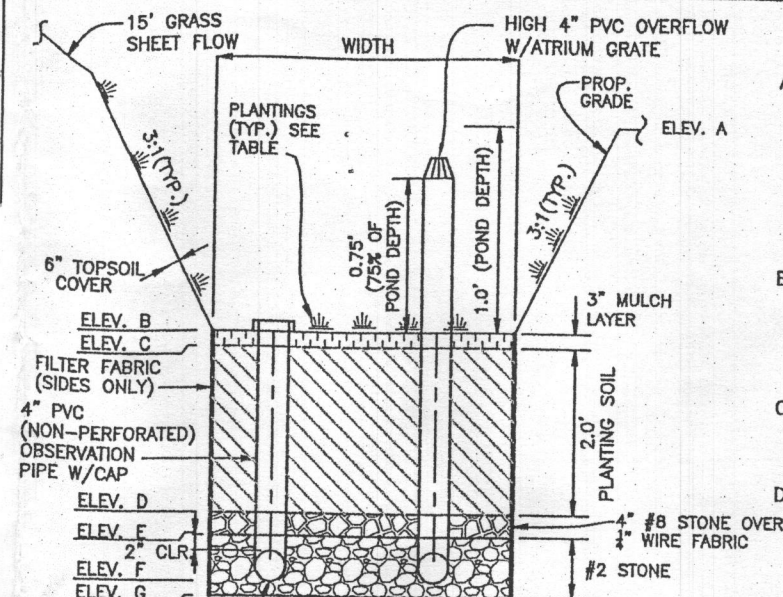
ADDITIONAL:  
 • 2 SHRUBS  
 • 1 TREE



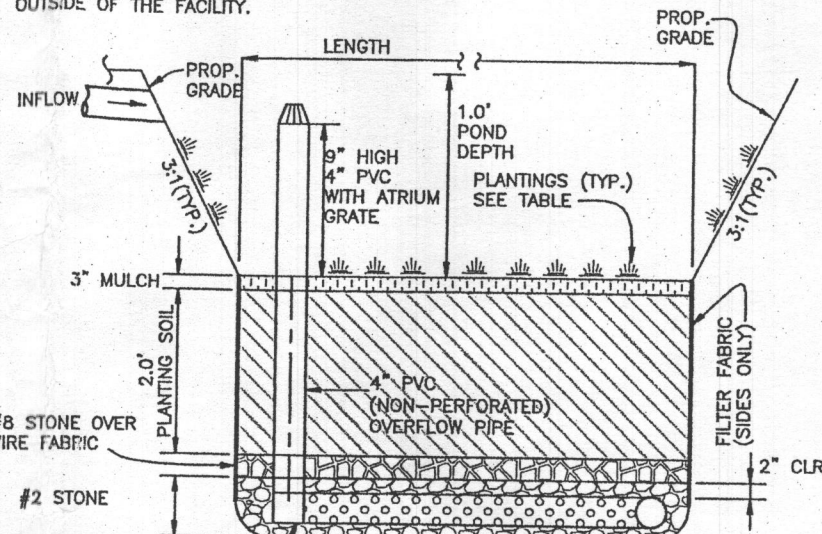
NOTE: IMPERMEABLE LINER REQUIRED WHEN FACILITY IS INSTALLED IN THE 100' WELL RADIUS OR AS NOTED. THIS LINING SHOULD INCLUDE ENTIRE SIDES AND BOTTOM OF THE EXCAVATION AND EXTEND TO TOP OF EMBANKMENT. LINING ON SIDE SLOPES SHALL BE BELOW A MINIMUM OF 6" OF TOP SOIL. LINING TO BE CLAY OR 30 MIL POND LINER

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL. THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		



TYPICAL PROFILE



TYPICAL SECTION

MICRO-BIORETENTION DETAILS

NOT TO SCALE

MICROBIORETENTION PLANTING SCHEDULE

(PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)

- ① IRIS FULVA (COPPER IRIS) (1 PER SY)
- ② LOBELIA CARDINALIS (CARDINAL FLOWER) (1 PER SY)
- ③ RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER) (1 PER 2 SY)
- ⊗ CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
- ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

MICROBIORETENTION PLANTING DATA

1. PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
2. PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
3. AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

- A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



OWNER/BUILDER:  
 MB HIGHLAND RESERVE, LLC  
 1686 EAST GUDE DRIVE  
 ROCKVILLE, MD 20850  
 301-762-9511

BENCHMARK  
 ENGINEERS LAND SURVEYORS PLANNERS  
 ENGINEERING, INC.  
 8480 BALTIMORE NATIONAL PIKE SUITE 315  
 ELLICOTT CITY, MARYLAND 21043  
 (P) 410-465-6105 (F) 410-465-6644  
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SCALE:	NOT TO SCALE	DRAWING 2 OF 2



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

# Health

G14000305

Permit No.: B18002901

Building Address: 12340 Point Ridge Drive  
 City: Highland State: MD Zip Code: 20777  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Subdivision: Highland Reserve aka Regan Property  
 Lot: 3 Tax Map: 34 Parcel: 200

Existing Use: Vacant  
 Proposed Use: Single Family Dwelling  
 Estimated Construction Cost: \$ 400,000

Description of Work: Hawthorne - Elev. B ; 10R; 4BR; 4FB; 1HB; fireplace  
3 car side entry garage; 4' Family Room Extension; 6' Family Dining Extension  
2' front ext. - Walkout Basement  
(No In-Law Suite in this home; Only 3 bedrooms upstairs- Bedroom#4 became a sitting room)

Seeking Silver Level Certification of the NGBS-3rd party verification by Pando Alliance

Occupant/Tenant Name: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: MB Highland Reserve  
 Address: 1686 E. Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 Phone: 301-762-9511 Fax: 301-610-9564  
 Email: MQuint@mitchellbest.com

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: Marc Quint - MB Highland Reserve LLC  
 Address: 1686 E. Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 Phone: 301-762-9511 Fax: 301-610-9564  
 Email: MPBIDGPERMITS@COMCAST.NET

Contractor Company: MB Highland Reserve LLC  
 Contact Person: Marc Quint  
 Address: 1686 E. Gude Drive  
 City: Rockville State: MD Zip Code: 20850  
 License No.: 7316  
 Phone: 301-762-9511 ext. 318 Fax: \_\_\_\_\_  
 Email: MQuint@mitchellbest.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: **RECEIVED**  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: AUG 15 2018 Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1st floor: 58'	76'
	2nd floor: 58'	76'
Area of construction (sq. ft.):	Basement: 58'	76'
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G14000305</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: V. Meyer Print Name: Vicky Meyer  
 Email Address: MD Bldg Permits @ COMCAST.NET Date: 8/15/18  
 Title/Company: Agent

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>8-31-18</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Erosion Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>150</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>00306</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

**Bernard, Dana**

---

**From:** Bernard, Dana  
**Sent:** Friday, August 31, 2018 3:48 PM  
**To:** Marc Quint (mquint@mitchellbest.com)  
**Subject:** 12340 Point Ridge Drive

Good afternoon Marc, I have everything needed to process your building permit except your OSDS plan. Once I receive it I will review the plan and permit ASAP.

Thank you & Have a\*")

..\*")..\*")

(..\* Wonderful Day!

*Dana Bernard*  
Dana Bernard, R.E.H.S/L.E.H.S.

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)

## Bernard, Dana

---

**From:** Bernard, Dana  
**Sent:** Monday, September 17, 2018 3:27 PM  
**To:** Marc Quint (mquint@mitchellbest.com)  
**Subject:** FW: 12340 Point Ridge Drive

Hello Marc and John,

I forwarding the e-mail I sent Marc on August 31, 2018 regarding point Ridge Drive. I have everything else as stated except the OSDS.

Thanks  
Dana

**From:** Bernard, Dana  
**Sent:** Friday, August 31, 2018 3:48 PM  
**To:** Marc Quint (mquint@mitchellbest.com)  
**Subject:** 12340 Point Ridge Drive

Good afternoon Marc, I have everything needed to process your building permit except your OSDS plan. Once I receive it I will review the plan and permit ASAP.

Thank you & Have a\*")  
,,\*,\*") ,,\*")  
(,,\* (,,\* \* Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)

# I. General Requirements

- A. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions approved by the Architect.
- B. Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing, of any discrepancies before proceeding with the work or shall be responsible for same.
- C. Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- D. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- E. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- F. In the event of conflict between local, state, and national codes, the more stringent shall govern.
- G. AIA General Conditions of the Contract for Construction are a part of this project.
- H. All construction is to be in compliance with the following code:  
International Residential Code For One & Two Family Dwellings, 2015 Edition (As Amended by Montgomery and Howard County, MD)
- I. This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- J. Use of these documents without written permission of the Architect is forbidden.  
(c) Copyright 2016 Sutton Yantis Associates Architects, P.C.
- K. Any and all drawings and specifications for sitework, plumbing supply or waste, electrical, heating, and ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.
- L. Contractor shall be responsible for all noise attenuation requirements.

# II. Structural Specifications

- A. General Requirements
  - 1. The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
  - 2. These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.
  - 3. Soil conditions shall conform to the following conditions:  
Bearing capacity: Min. 2000psf, field verify, under all footings and slab.  
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings. Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
  - 4. Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
  - 5. Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pcf. If backfill pressures exceed 30 pcf then foundation walls must be designed for actual equivalent fluid pressure.
  - 6. All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.
- B. Concrete
  - 1. All concrete shall attain the following 28 day compressive strengths:  
-Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi  
-All other slabs on grade (including garage slabs) . . . 3500 psi.
  - 2. Reinforcing steel shall conform to ASTM A-615, low billet, grade 60.
  - 3. Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
  - 4. Maximum slump 5".
  - 5. All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
  - 6. Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
  - 7. All concrete work shall be in accordance with ACI 318.
- C. Steel
  - 1. All structural steel specified in these documents shall conform to ASTM A-36.
  - 2. Steel pipe shall conform to ASTM A-53.
  - 3. All welds shall comply with AWS standards.
  - 4. All bolts in bolted steel connections shall conform to ASTM A-325.
  - 5. All required steel anchor bolts, anchors straps, nails, caps, joist hangers shall be constructed of code approved galvanized or stainless steel. All metal nails, hangers, straps & bolts that are in direct contact with pressure treated lumber shall be fabricated from stainless steel or other non-corrosive metal approved by the Building Official.
  - 6. All connections shall conform to AISC standards.
  - 7. Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

# II. STRUCTURAL SPECIFICATIONS (continued)

- D. Wood
  - 1. All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by NFPA, unless noted. All wood shall comply to the following minimum specifications:  
#2 Hem Fir, 19% M.C.  
F<sub>b</sub> min: 980 psi repetitive use  
850 psi single member use  
E min: 1,300,000 psi  
F<sub>v</sub> min: 75 psi  
F<sub>c</sub> min: 1,250 psi  
F<sub>c1</sub> min: 405 psi  
#2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)  
F<sub>b</sub> min: 1,005 psi repetitive use  
875 psi single member use  
E min: 1,400,000 psi  
F<sub>v</sub> min: 70 psi

Highland Reserve - Lot 3  
12340 Point Ridge Drive  
Fulton, MD 20759  
4 BR septic - 1 basement; 3 upper level  
Plans for Health Dept

- E. Masonry
  - 1. Materials  
Mortar: Type "S" ASTM C270  
Hollow CMU: ASTM C-90  
Face Brick: ASTM C-216  
Grout Aggregated: ASTM C-404
  - 2. All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
  - 3. Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistant corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
  - 4. Provide horizontal joint reinforcement (Duralwall) in all masonry walls @ 8" o.c. unless otherwise specified.
  - 5. The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- F. Other
  - 1. In locations required by local code, window opening limiting devices are to be installed by window manufacturer in compliance with code section R312.2.2.
  - 2. Residential Energy Efficiency compliance is per the Total UA Alternative Method per the 2015 International Energy Conservation Code for climate zone 4A. Refer to REScheck Compliance Certificate and to "M" sheets (Energy Plans) for additional information.
  - 3. NOTE: Structural Design is for Gravity Loads Only. Structural Engineering for Lateral Load Design requirements specified per Building Code is NOT included in these documents and shall be provided by others.
  - 4. Whole house ventilation system to be installed (by others).

# II. STRUCTURAL SPECIFICATIONS (continued)

- 16. Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be installed in accordance with manufacturers specifications and details.
- 17. #3 plywood roof, floor and wall sheathing shall be APA approved.

requirements of BIA and NCMA.  
id aesthetic size and type by 156 DH denotes a 2'-8" wide Contractor shall verify that e installed comply with local code ed by local code, shall be manufacturer's label, designating enclosing habitable spaces as sements and crawl spaces with of wall. g shall be provided at all prevent entry of water into the structural framing components. on of chimneys or other with projecting lips on both sides under stucco copings; under and at the ends of masonry wood or metal copings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings. All windows and doors shall be flashed in accordance with the manufacturers written instructions.

- 5. Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer. Approved water resistant sheathing may be substituted for building paper.

# V. Other

- 1. In locations required by local code, window opening limiting devices are to be installed by window manufacturer in compliance with code section R312.2.2.
- 2. Residential Energy Efficiency compliance is per the Total UA Alternative Method per the 2015 International Energy Conservation Code for climate zone 4A. Refer to REScheck Compliance Certificate and to "M" sheets (Energy Plans) for additional information.
- 3. NOTE: Structural Design is for Gravity Loads Only. Structural Engineering for Lateral Load Design requirements specified per Building Code is NOT included in these documents and shall be provided by others.
- 4. Whole house ventilation system to be installed (by others).

### Symbols

	Duplex Outlet		One Way Switch		Cont. Running Mech Fan
	Duplex Outlet, Weather Proof on GF circuit		Three Way Switch		Four Way Switch
	Duplex Outlet, Floor Mounted		Switch w/ Rheostat		Smoke Detector
	Range Outlet		Chime		Bathroom Exhaust Fan
	Gas Outlet		Television Outlet		Telephone Outlet
	Ceiling Mounted Incandescent		Medicine Cabinet		Frost Proof Hose Bib
	Junction Box		Recessed Waterproof Light		Dedicated Circuit Outlet
	Eyeball Light		Steel Angle (Lintel)		Structural Post
	Wall Washer Light (Recessed)		Smoke/Carbon Monoxide Detector		Fan/Light
	Recessed Light				
	2 1/2 Fluorescent Light				
	4 1/2 Fluorescent Light				
	Exterior Flood Lights				
	Wall Mounted Incandescent				
	Pull Switch Light				

### List of Abbreviations

ADJ.	Adjustable	MC	Medicine Cabinet
A.S.F.	Above Subfloor	MFG.	Manufacturing
BM	Beam	O.A.	Overall
B.O.J.	Bottom of Joist	O.C.	On Center
B.W.L.	Braced Wall Line	OPT.	Optional
CLG	Ceiling	PART.	Partial
CMU	Concrete Masonry Unit	PLYWD	Plywood
C.O.	Cased Opening	P.T.	Pressure Treated
COL	Column	R/A	Return Air
CONC.	Concrete	R.C.	Rough Cut
CONT.	Continuous	REF	Refrigerator
CS	Casement	R/O	Range Oven
CVAC	Central Vacuum	SF	Square Feet
DBL	Double	SHWR	Shower
DES.	Design	SIM.	Similar
DH	Double Hung	S.L.	Sliding Door/Window
DTL	Detail	STD.	Standard
DW	Dishwasher	STL	Steel
FD	Floor Drain/French Door	S&P	Shelf & Pole
F.P.	Fireplace	S.V.B.	Solid Valley Blocking
FTG.	Footing	T&G	Tongue & Groove
GFI	Ground Fault Circuit Interrupter	T.B.D.	To Be Determined
GPDW	Gypsum Drywall	T.O.S.	Top of Slab
HD.HGHT	Window Head Height	T.O.W.	Top of Wall
HDR	Header	TR	Trim
HFL	Heat/Fan/Light	TYP.	Typical
HW	Hot Water Heater	V.I.F.	Verify In Field
INSUL	Insulation	W/O	Without
L.I.F.	Locate In Field	W.O.	Wall Oven
L.T.	Laundry Tub	W.W.M.	Welded Wire Mesh

### Area Calculations

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.

	LOWER	UPPER	BASEMENT
BASE HOUSE	1844 SF	1842 SF	102 SF
OPT. FINISHED BASEMENT			+1525 SF
OPT. 2' FRONT EXTENSION	+76 SF	+76 SF	+77 SF
OPT. 8' SIDE EXTENSION	+197 SF	+197 SF	+104 SF
OPT. 3-CAR SIDELOAD GARAGE	+140 SF		
OPT. HOME OFFICE/IN-LAW SUITE W/3-CAR SIDELOAD GARAGE	+372 SF		
ALT. ELEV. 'C'		+76 SF	+77 SF
BONUS ROOM OVER GARAGE		+57 SF	
OPT. 6'-0" FAMILY DINING EXTENSION	+77 SF	+77 SF	+77 SF
OPT. 4'-0" FAMILY ROOM EXTENSION	+92 SF	+92 SF	+92 SF
OPT. ATTIC			+697 SF
OPT. BAT WINDOW	+16 SF		

MAX. SQ. FOOTAGE FOR BASE HOUSE W/ ALL AVAILABLE OPTIONS: 7,747 SF

### List of Drawings

1. General Notes & Specifications	10. Prt' Upper Floor Plan W/Alt. Elev. "B"	29. Prt' Left & Right Side Elevations	E3. Upper Floor Electrical Plan
RC. REScheck Compliance Certificate	11. Prt' Fndn/Bsmt Fir Pln W/Alt. Elev. "A"	30. W/Opt. Alt. Elevation "C"	E3A. Prt' Upper Floor Electrical Plan
D1. Foundation/Framing Details	11A. Prt' Fndn/Bsmt Fir Pln W/Alt. Elev. "C"	31. W/Opt. Alt. Elevation "D"	W/Opt. Attic and Opt. Attic Floor Electrical Plan
D2. Foundation/Framing Details	12. Prt' Lower Floor Plan W/Alt. Elev. "C"	32. Prt' Left & Right Side Elevations	E3B. Prt' Bsmnt. Lower & Upper Floor Electrical Plans W/Opt. 5 Ft. Extension
AW. Artery Details	12A. Prt' Lower Floor Plan W/Alt. Elev. "C"	33. W/Opt. Alt. Elevation "D"	E4. Prt' Bsmnt. Lower & Upper Floor Electrical Plans W/Opt. 8 Ft. Side Extension
TR1. Trim Details	13. Prt' Upper Floor Plan W/Alt. Elev. "C"	34. Upper Floor Framing Plan	34. Roof Framing Plan
TR2. Trim Details	13A. Prt' Upper Floor Plan W/Alt. Elev. "C"	34A. Roof & Fr Framing Plan W/Opt. Attic	34A. Roof & Fr Framing Plan W/Opt. Attic
TR3. Trim Details	14. Prt' Upper Floor Plan W/Alt. Elev. "C"	35. Prt' Lower, Upper & Roof Framing Plans W/Opt. Side Extension	35. Prt' Lower, Upper & Roof Framing Plans W/Opt. Side Extension
TR4. Trim Details	14A. Prt' Upper Floor Plan W/Alt. Elev. "C"	36. Prt' Lower & Upper Floor Framing Plans W/Opt. 3 Car SideLoad Garage	36. Prt' Lower & Upper Floor Framing Plans W/Opt. 3 Car SideLoad Garage
TR5. Trim Details	15. Prt' Upper Floor Plan W/Alt. Elev. "D"	37. Prt' Lower, Upper & Roof Framing Plans w/Opt. 3 Car SideLoad Garage & Opt. Home Office/In-Law Suite	37. Prt' Lower, Upper & Roof Framing Plans w/Opt. 3 Car SideLoad Garage & Opt. Home Office/In-Law Suite
TR6. Trim Details	16. Building Section "A"	37A. Prt' Upper Floor & Roof Framing Plan W/Opt. Bonus Room over Garage	37A. Prt' Upper Floor & Roof Framing Plan W/Opt. Bonus Room over Garage
TR7. Trim Details	17. Building Section "B"	38. Prt' Roof Framing Plan W/Opt. Rear Covered Porch & Deck Framing Plan	38. Prt' Roof Framing Plan W/Opt. Rear Covered Porch & Deck Framing Plan
TR8. Trim Details	18. Building Section "C" & "D"	39. Prt' Lower & Upper Floor Framing Plans W/Alt. Elevation "B"	39. Prt' Lower & Upper Floor Framing Plans W/Alt. Elevation "B"
TR9. Trim Details	19. Front Elevation "A"	40. Prt' Roof Framing Plan W/Alt. Elevation "B"	40. Prt' Roof Framing Plan W/Alt. Elevation "B"
DK. Deck Details	20. Rear Elevation	41. Prt' Lower Floor Framing Plans W/Alt. Elevation "C"	41. Prt' Lower Floor Framing Plans W/Alt. Elevation "C"
7. Fndn/Bsmt Plan W/Elev. "A"	21. Left Side Elevation	42. Prt' Upper Floor Framing Plans W/Alt. Elevation "C"	42. Prt' Upper Floor Framing Plans W/Alt. Elevation "C"
3. Lower Floor Plan W/Elev. "A"	22. Right Side Elevation	43. Prt' Roof Framing Plan W/Alt. Elevation "C"	43. Prt' Roof Framing Plan W/Alt. Elevation "C"
4. Upper Floor Plan W/Elev. "A"	22A. Prt' Left & Right Side Elevations w/Opt. 8 Ft. Side Extension	44. Prt' Lower & Upper Floor Framing Plans W/Alt. Elevation "D"	44. Prt' Lower & Upper Floor Framing Plans W/Alt. Elevation "D"
4A. All Upper Floor w/Opt. Attic & Opt. Attic	23. Prt' Front & Right Side Elevations w/Opt. 8 Ft. Side Extension	45. Prt' Roof Framing Plan W/Alt. Elev. "D"	45. Prt' Roof Framing Plan W/Alt. Elev. "D"
4B. Prt' Fndn/Bsmt. Lower & Upper Fir Pln w/Opt. 8 Ft. Extension & Opt. 4'-0" Family Room Extension	24. Prt' Front, Rear & Left Side Elev. w/Opt. 3 Car SideLoad Garage	46. Truss Joist Details	46. Truss Joist Details
5. Prt' Fndn/Bsmt Plan, Lower & Upper Floor Plans W/Opt. 8 Ft. Side Extension	24A. Prt' Rear & Left Side Elevations w/Opt. 3 Car SideLoad Garage & w/Opt. Bonus Room	E7. Basement Electrical Plan	E7. Basement Electrical Plan
6. Prt' Fndn/Bsmt & Lower Floor Plan W/Opt. Attached 3 Car Garage	25. Prt' Rear & Right Side Elevations w/Opt. Rear Covered Porch	E8. Upper Floor Electrical Plan	E8. Upper Floor Electrical Plan
7. Prt' Fndn/Bsmt & Lower Floor Plan W/Opt. Attached 3 Car Garage and W/Opt. Bonus Room over Garage	26. Alternate Front Elevation "B"	E9. Prt' Upper Floor Electrical Plan W/Alt. Elevation "D"	E9. Prt' Upper Floor Electrical Plan W/Alt. Elevation "D"
7A. Prt' Fndn/Bsmt & Lower Floor Plan W/Opt. Attached 3 Car Garage and W/Opt. Bonus Room over Garage	27. Prt' Left & Right Side Elevations w/Opt. Alt. Elevation "B"	E10. Prt' Bsmnt. Electrical Plan W/Alt. Elevation "C"	E10. Prt' Bsmnt. Electrical Plan W/Alt. Elevation "C"
8. Prt' Fndn & Lower Floor Plan W/Opt. Rear Covered Porch	28. Alternate Front Elevation "C"	E11. Prt' Lower Floor Electrical Plan W/Alt. Elevation "C"	E11. Prt' Lower Floor Electrical Plan W/Alt. Elevation "C"
9. Prt' Fndn/Bsmt & Lower Floor Plan W/Alt. Elev. "B"		E12. Prt' Upper Floor Electrical Plan W/Alt. Elevation "C"	E12. Prt' Upper Floor Electrical Plan W/Alt. Elevation "C"

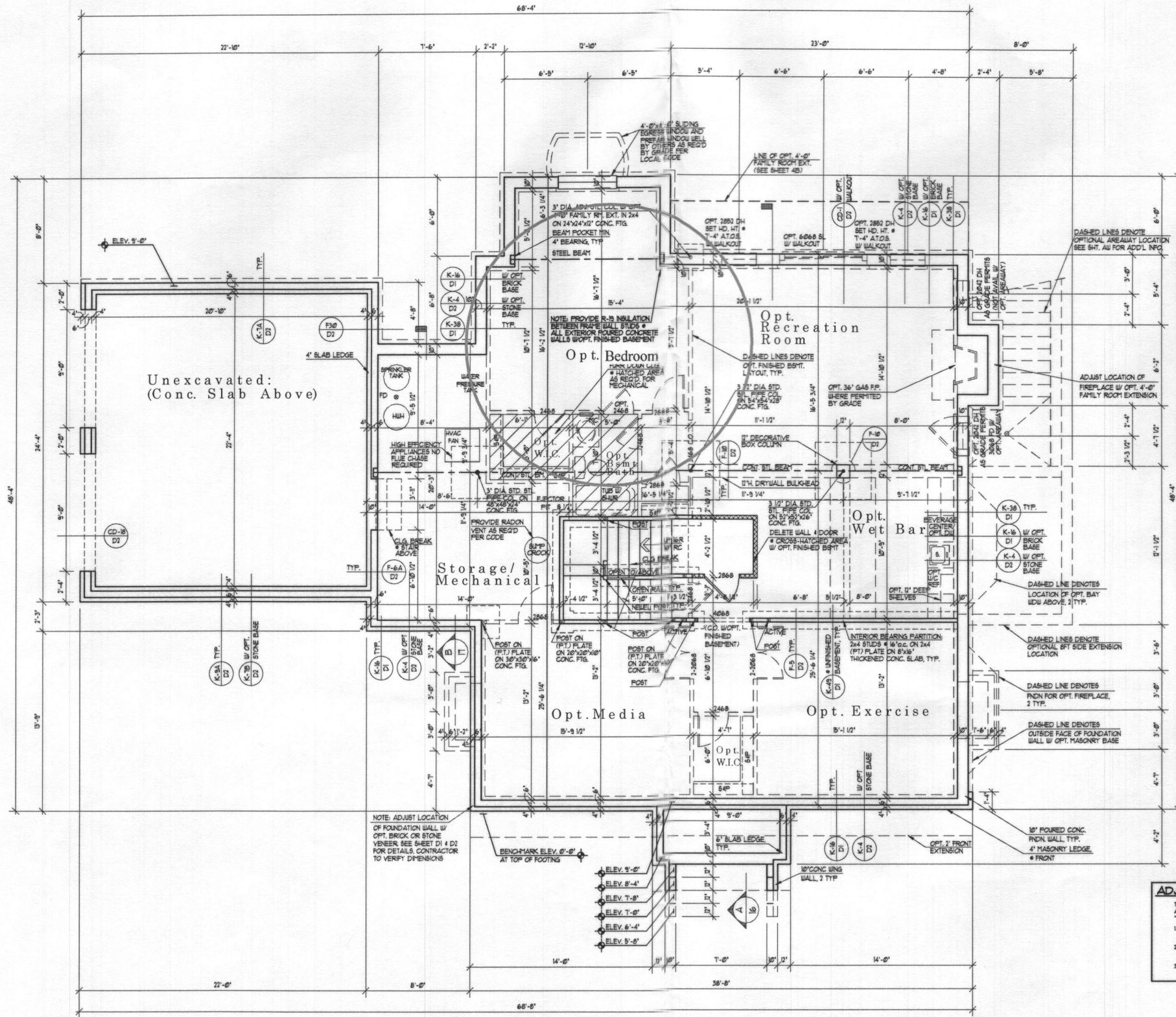
FLOOR PLANS → FOR HEALTH DEPT.

Date	REV. 02/10/20	REV. 04/15/20	REV. 05/05/20	REV. 06/10/20	REV. 07/10/20	REV. 08/10/20	REV. 09/10/20
	REV. 02/10/20	REV. 04/15/20	REV. 05/05/20	REV. 06/10/20	REV. 07/10/20	REV. 08/10/20	REV. 09/10/20

Project Number: 0998-01  
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**MITCHELL BEST HOMES**

Architect  
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Date	REV.	BY	CHK.
AC 10/10/10	01	JM	JM
AC 10/10/10	02	JM	JM
PA 10/10/10	01	JM	JM
CA 09/01/10	01	JM	JM
REV. 08/01/10	01	JM	JM
REV. 08/01/10	02	JM	JM

Project Number: 0709-02

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