

APPLICATION

PERCOLATION TESTING

A _____

REPAIR P 512760

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 313-2840

Proposal - to establish
10 K sq ft septic reserve
area to serve ex.
farm house (in order
to subdivide 1 acre
lot for ~~the~~ tenant house)

DISTRICT _____

DATE 10/12/1999

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM

PROPERTY OWNER Belmont Farm Limited Partnership

ADDRESS 1320 SHAFFERSVILLE ROAD PHONE (301) 829-5039
MT. AIRY MARYLAND 21771

AGENT OR PROSPECTIVE BUYER for Zach Fisk FISHER COLLINS and CARTER INC

ADDRESS 10272 BALT. NATIONAL AVE PHONE (410) 461-2855

PROPERTY LOCATION:

SUBDIVISION Belmont Farms LOT NO. 2

ROAD AND DESCRIPTION OFF SHAFFERSVILLE ROAD

TAX MAP 7 PARCEL # 490

SIZE OF LOT 49 Ae. ± TYPE BLDG. 1.F.D. EXISTING
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND

FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE

COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT. Zacharia Y. Fisk (agent)
(SIGNATURE OF APPLICANT)

APPROVED BY _____ FOR _____ DATE _____

DISAPPROVED BY _____ FOR _____ DATE _____

HOLD PENDING FURTHER TESTS _____

REASONS FOR REJECTION OR HOLDING _____

PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # _____ DATE _____

SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # _____ DATE _____

THIS IS NOT A PERMIT

10/25/99
10.00
11/5/99

512760

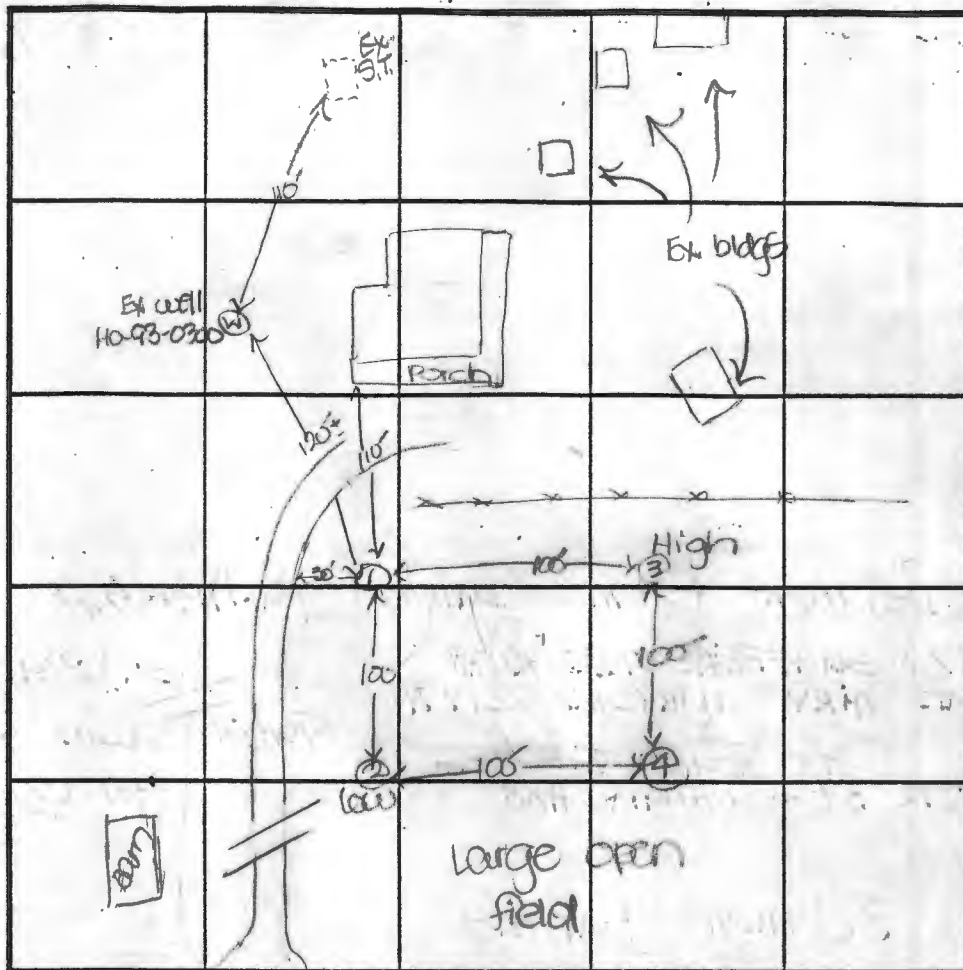
COUNTY #

SOIL PROFILE

0' ①
 1' topsoil
 4' org bn
 4.5' cl lm
 13' med
 org tan
 sil m
 25%+
 sand
 shale

0' ③
 4' topsoil
 org bn
 cl lm
 14' pale org
 tan
 sil m
 20%+
 sand
 shale

0' ④
 1' topsoil
 5.5' org bn
 cl lm
 med
 org tan
 sil m
 14.5' 15%
 sand
 shale



SOIL PROFILE

0' ②
 1' topsoil
 5' org bn
 cl lm
 12' 4' org
 bn
 sil m
 20%+
 sand
 shale
 13.5' some ev
 mottling

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

Shaffersville Road

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
11-5-99	1	4.0'S	10:39	10:48	10:48	11:03	15
		13.0'D	visual	-see	profile		OK
	3	4.0'S	10:43	10:47	10:47	10:58	11
		14.0'D	visual	-see	profile		OK
	4	5.0'S	11:05	slow	test stopped		-
		14.5'D	visual	-see	profile		OK
	2	5.0'S	11:08	11:27	11:27	11:41	11:41 slow
		13.5'D	visual	-see	profile		OK
	4	6.5'M	11:32	11:42	11:42	12:03	21

REMARKS _____

TYPE OF SOIL _____

TESTED BY D. Soe ALSO PRESENT Mr. Barnes, owner

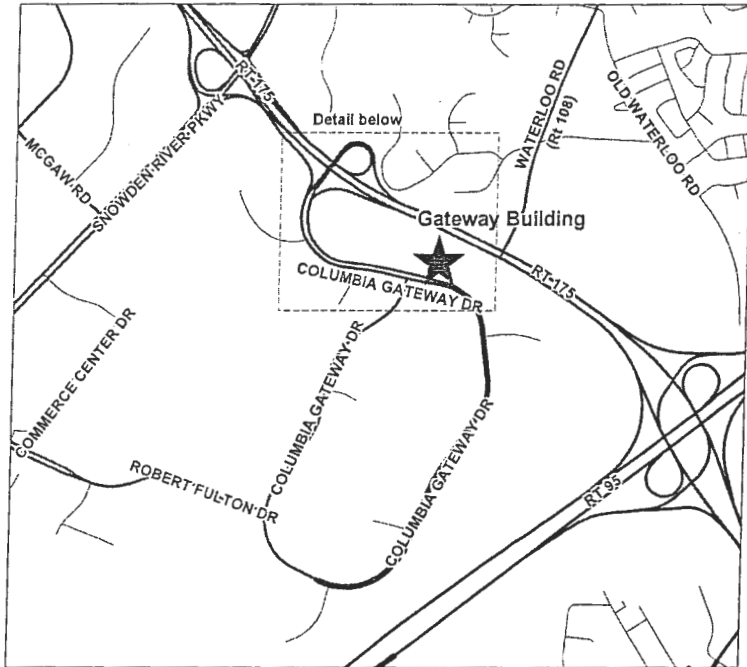
TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME _____ TRENCH WIDTH 3'

INLET DEPTH 4.5' MAXIMUM BOTTOM DEPTH 6.5' SQ. FT./BEDROOM 240

Directions to Howard County Government Gateway Building

Health Department

717B . Columbia Gateway Dr
 Columbia, MD 21046
 410-313-6300



From Interstate 95:

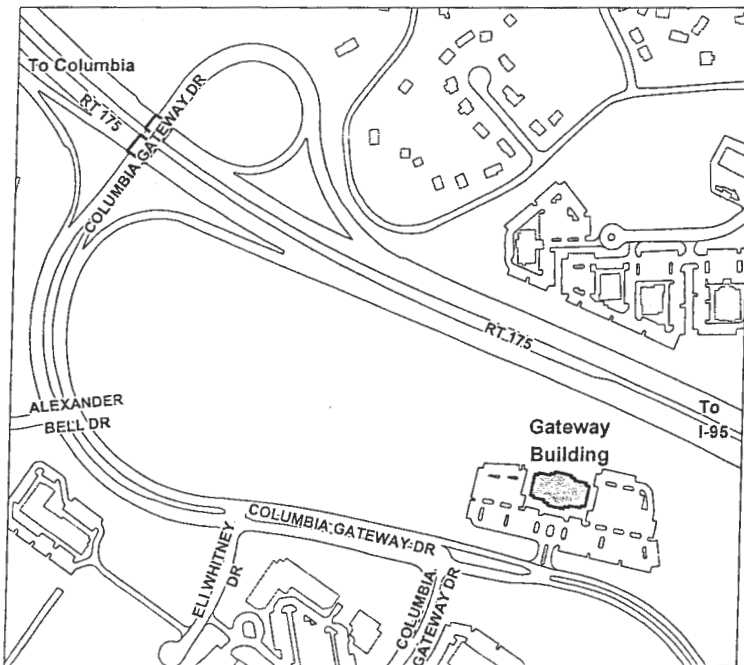
Exit at Route 175 westbound.

Proceed on Route 175 west through the light at Route 108.

Move to the right lane and bear right onto Columbia Gateway Dr.

Move to the left lane and continue on Columbia Gateway Dr until you see the Howard County Gateway Building on the left.

Turn left into the Parking lot and park in any unreserved space.



House location survey / Plot plan

20 ft rear

20 ft side

Ask them how far from the septic field / well you have to be.



HOWARD COUNTY HEALTH DEPARTMENT

Diane L. Matuszak, M.D., M.P.H., County Health Officer

November 17, 1999

Belmont Farms Limited Partnership
1320 Shaffersville road
Mt. Airy, Maryland 21771

RE: **Percolation Test Results**
Proposed Use: Subdivision
Property ID: Belmont Farms, Lot #2
Shaffersville Road
Tax Map: 7 Parcel #490

Dear Mr. Pearlman:

Percolation testing was conducted November 5, 1999, on the above referenced property. Copies of the percolation test results are enclosed.

A registered engineer should submit a revised Percolation Certification Plan showing the following information to this office at this time:

- actual locations and elevations of all excavated test holes
- proposed building site and well site
- locations of all existing wells and septic systems on the property
- locations of all existing structures on the property
- locations of streams/swales/springs and any other features on the property
- field matched contour lines at 2-foot intervals

This plat should be submitted within sixty (60) days to allow field verification if necessary.

If you have any questions regarding this matter, please feel free to contact me at the address below or by calling (410) 313-2640. Thank you in advance for your time and cooperation.

Sincerely,

Donna K. Soe, R.S.
Water and Sewerage Program

DKS

Enclosure

Cc: Fisher, Collins & Carter, Inc. – Mr. Zach Fisch
file

Rescheduled
at owner's request
to Friday, Nov. 5
10:00
DJS



HOWARD COUNTY HEALTH DEPARTMENT

Diane L. Matuszak, M.D., M.P.H., County Health Officer

October 14, 1999

Belmont Farms Limited Partnership
1320 Shaffersville Road
Mt. Airy, Maryland 21771

RE: **Percolation Test Date**
Proposed Use: Subdivision
Property ID: Belmont Farms, Lot #2
Shaffersville Road
Tax Map: 7 Parcel #490

Dear Sir:

Percolation testing has been tentatively scheduled for the above referenced property for ~~October 23, 1999~~ at 10:00 a.m. Please call this office at (410) 313-2640 to confirm your acceptance of this percolation test date.

You shall be responsible for having a contractor on site to excavate the test holes at the corners of the proposed septic area.

In the event of uncertain weather (i.e., precipitation or extremes of temperature), please contact this office prior to 9:00 a.m. on the test date to determine whether or not percolation testing can be performed on that date. If it is not feasible to perform the test, a new test date shall be assigned.

Percolation test results may be expected by mail two to three weeks after the completion of the percolation testing.

Thank you in advance for your cooperation in this matter.

Sincerely,

Donna K. See, R.S.
Water and Sewerage Program

cc: Fisher, Collins & Carter, Inc. - Mr. Zach Fisch
file

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Ronald B. Carter, L.S.
Charles J. Crovo, Sr., P.E., L.S.

November 15, 1999

Mrs. Cindy Hamilton, Chief
Division of Land Development
Howard County Department of
Planning and Zoning
3430 Court House Dr.
Ellicott City, MD 21043

RE: Belmont Farm
Forest Conservation

Dear Mrs. Hamilton:

The subject property is a minor subdivision which consists of one (1) one (1) acre cluster lot and one buildable agricultural preservation parcel.

The proposed 1 acre lot as well as the preservation parcel contain within their limits an existing dwelling. Since there is no proposed change in land use within the limits of the 1 acre lot or the preservation parcel this subdivision should be exempt from forest conservation.

Also, this subdivision should qualify for exemption under the provisions of Section 16.1202.(b).(1).(viii) of the subdivision and land development regulations.

The proposed subdivision is a minor subdivision which creates one (1) lot that has no further subdivision potential and one (1) buildable preservation parcel that contains an existing dwelling and that is going to be dedicated to the agricultural preservation program in its entirety and is going to be defined as a sending parcel for development rights

Therefore in our opinion this subdivision should be exempt from forest conservation.

Sincerely,
FISHER, COLLINS & CARTER, INC.

Zacharia Y. Fisch
Zacharia Y. Fisch, P.E.

tpk
WO #30703

**FISHER, COLLINS
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS
and LAND SURVEYORS**

Terrell A. Fisher, P.E., L.S.
Earl D. Collins, P.E.
Ronald B. Carter, L.S.
Charles J. Crovo, Sr., P.E., L.S.

On behalf of our client we are requesting a Waiver from Section 16.120.(c).(2).(iii) in the subdivision and land development regulations to allow proposed Lot No. 3 and buildable Agricultural Preservation Parcel 'A' have no fee-simple frontage on a public road.

Our justification for this request is as follows:

Lot 3 and Buildable Agricultural Preservation Parcel 'A' are a resubdivision of Belmont Farm Lot No. 2, which was created without frontage on a public road under plat No. 4730.

The purpose of this subdivision is to separate an existing dwelling which is located within the boundaries of proposed Lot 3 from the remainder of the lot so Buildable Agricultural Preservation Parcel 'A' can be dedicated to the Agricultural Preservation Program.

The approval of this waiver is in the county's and public's best interest because it will enable the county to add 49 acres \pm of agricultural land, that is surrounded by agricultural preservation land, into the agricultural land preservation program.

WO #30703

Howard County Department of Planning and Zoning
Division of Land Development

INITIAL SUBMISSION
WAIVER PETITION WORKSHEET
(For DPZ Use Only)

Project Name: _____ DPZ File No. _____

I. *Application Requirements* *Indicate Yes, No or N/A*

Application is complete _____
Required number of plans and applications are provided _____
 _____ Plans (14 sets on County Road or
 _____ Applications (18 sets on State Road)
Supplemental information is provided _____

II. *Fee Computation* **Fee**

Number of waivers requested _____
* Base Fee for first two waiver sections (\$350) _____
Fee for each additional waiver section (_____ additional waivers x \$50) _____
* (Maximum fee of \$350 for Agricultural Preservation parcels)

TOTAL _____

III. *Certification*

Cash Receipt No. _____ Account #011-005-4201 Amount _____

Check issued by _____

_____ Waiver petition application is accepted for processing.

_____ Scheduled SRC meeting date.

_____ Waiver petition application is rejected.

Reason: _____

_____ Resubmission is accepted. Date _____ Staff initials _____

1999 NO 19 AM 8:39
RECEIVED
HOWARD COUNTY HEALTH DEPT.
ENVIRONMENTAL HEALTH

1. Vicinity map scale 1" = 2,000'.
2. Bearings and distances of property boundary lines for the entire tract and size of tract area.
3. North arrow and scale of plan.
4. Location, extent, boundary lines and area of any proposed lots.
5. Any existing or proposed building(s), structures, points of access, driveways, topography, natural features and other objects and/or uses on the subject and adjacent properties which may be relevant to the petition; i.e. historic structures, cemeteries or environmentally sensitive areas.
6. Delineation of building setback lines.
7. Delineation of all existing public road and/or proposed street systems.
8. Identification and location of all easements.
9. Approximate delineation of floodplain, wetland and forested areas, if applicable.
10. Road profile to evaluate sight distance, if the application includes a request for direct access to a major collector or more restrictive roadway classification.
11. Any additional information to allow proper evaluation (e.g. for waivers to wetland buffers an alternative analysis and mitigation proposal are needed; for waivers to SDP requirements where there is no subdivision of land, an APFO Roads Test evaluation may be needed).
12. Photographs, perspective sketches or cross-sections as necessary to adequately portray the waiver request.
13. The exhibit plans should be highlighted to accurately illustrate the requested waiver(s) to allow proper evaluation (i.e. proposed grading, tree clearing or other disturbances within environmentally sensitive areas or buffers).

V. Fees

The Waiver Petition application fee shall be in accordance with the adopted fee schedule. All checks shall be made payable to the *Director of Finance*. **The petition will not be accepted for processing until the fee has been paid. Incomplete, incorrect or missing information may result in the rejection of the application and could cause additional time to be required to revise the petition for resubmittal and re-review.**

VI. Owner's/Petitioner's Certification

I/WE the undersigned fee simple owner(s) hereby make application to the Howard County Department of Planning and Zoning to relax the minimum requirements of the Howard County Subdivision and Land Development Regulations. The undersigned hereby certifies the information supplied herewith is correct and complete, confirms that the regulations and policies as referred to in the attached are understood, and authorizes periodic on-site inspections by the Howard County Subdivision Review Committee agencies. If the applicant is the owner's agent, written documentation from owner granting that authority is required.

C. Randy Zimmerman 11/16/99
 (Signature of Property Owner) (Date)
 (Fee Simple Owner Only)

Laetitia J. Fisch 11/8/99
 (Signature of Petition Preparer) (Date)

BELMONT FARMS LIMITED PARTNERSHIP
 (Name of Property Owner)

FISHER COLLINS AND CARTER INC.
 (Name of Petition Preparer, Surveyor/Engineer or Agent/Developer)

1320 SHAFFERSVILLE RD.
 (Address)

10272 BALTIMORE NATIONAL PIKE
 (Address)

MT. AIRY MD 21771
 (City, State, Zip Code)

ELLCOTT CITY MD. 21042
 (City, State, Zip Code)

(301) 829-5039
 (Telephone) (410) 795-4450

(410) 461-2855 (410) 750-3784
 (Telephone) (Fax)

DKS - For File

Howard County Department of Planning and Zoning
Division of Land Development

DKS
NC
12/14/99

WAIVER PETITION APPLICATION

Date Submitted/Accepted _____

DPZ File Number WP-00-054

I. Site Description

Subdivision Name/Property Identification: BELMONT FARM LOT 3 AND BUILDABLE AGRICULTURAL PRESERVATION PARCEL 'A'

Location of property: EAST SIDE OF SHAFFERSVILLE ROAD
(Road name and nearest public road intersection)

AGRICULTURAL / RESIDENTIAL
(Existing Use)

AGRICULTURAL / RESIDENTIAL
(Proposed Use)

7
(Tax Map)

13
(Grid/Block No.)

490
(Parcel No.)

FOURTH
(Election District)

RE-DEO
(Zoning District)

50.018 Ac.
(Total Area)

Provide a brief site history including reference to all previously submitted or currently active plans on file with the County (subdivision plans, Board of Appeals petitions, waiver petitions, etc.)

PREVIOUS PLAT No 4730

II. Waiver Request

In accordance with Section 16.104 of the Howard County Subdivision and Land Development Regulations, the Department of Planning and Zoning, in conjunction with the Subdivision Review Committee, may grant waivers of modifications to the minimum requirements stipulated within the Regulations.

In the area below, the petitioner shall enumerate the specific numerical section(s) from the Subdivision and Land Development Regulations for which a waiver is being requested and provide a brief summary of the regulation. Attach a separate sheet if additional information is appropriate.


Section Reference No.	Summary of Regulation
1. <u>16.120.(C).(2).(iii)</u>	<u>ALL SINGLE FAMILY DETACHED DWELLINGS SHALL HAVE MINIMUM LOT FRONTAGE ON APPROVED STREETS WITHIN A PUBLIC RIGHT OF WAY. ADJACENT PIPESTEMS WHICH SHARE A COMMON DRIVEWAY SHALL HAVE SUFFICIENT FRONTAGE COLLECTIVELY TO MEET THE DRIVEWAY EASEMENT REQUIREMENTS. IN THE MANUAL.</u>
2. _____	_____
3. _____	_____
4. _____	_____
5. _____	_____

N/A
 .518 Ac - (2CEO UNITSx4.25Ac) = 0.018Ac
 Upon Recordation Of The Second Exchange,
 Density Is Exhausted On The Easement Site.
 No Additional Development Rights Remain
 To Be Sold

VICINITY MAP

SCALE: 1" = 2400'

General Notes

1.  This Area Designates A Private Sewerage Easement Of 10,000 Square Feet As Required By The Maryland State Department Of The Environment For Individual Sewage Disposal. Improvements Of Any Nature In This Area Are Restricted Until Public Sewerage Is Available. These Easements Shall Become Null And Void Upon Connection To A Public Sewerage System. The County Health Officer Shall Have The Authority To Grant Variances For Encroachments Into The Private Sewerage Easement. Recordation Of A Modified Easement Shall Not Be Necessary.
2. The Lots Shown Hereon Comply With The Minimum Ownership Width And Lot Area As Required By The Maryland State Department Of The Environment.
3. Subject Property Zoned RC-DEO Per 10/18/93 Comprehensive Zoning Plan.
4. Coordinates Based On NAD '83, Maryland Coordinate System As Projected By Howard County Geodetic Control Stations No. 07AA And No. 07AB.
 Sta. 07AA N 106177.3400 (Meters)
 E 309177.0410 (Meters)
 Sta. 07AB N 309960.0247 (Meters)
 E 309960.0247 (Meters)
5. This Plat Is Based On Field Run Monumented Boundary Survey Performed On Or About June, 1999, By Fisher, Collins And Carter, Inc.
6. B.R.L. Denotes Building Restriction Line.
7. ● Denotes Iron Pin Set Capped "F.C.C. 106".
8. ⚡ Denotes Iron Pipe Or Iron Bar Found.
9. ○ Denotes Angular Change In Bearing Of Boundary Or Right-Of-Way.
10. ■ Denotes Concrete Monument Set With Aluminum Plate "F.C.C. 106".
11. ⚡ Denotes Concrete Monument Or Stone Found.
12. Refuse Collection, Snow Removal And Road Maintenance To Be Provided At The Road Right-Of-Way Of Shafterville Road And The Existing Private 50' Wide Right-Of-Way And Not Onto The Existing Private 50' Wide Right-Of-Way.
13. Use-In-Common Driveways Shall Be Provided Prior To Residential Occupancy To Ensure Safe Access For Fire And Emergency Vehicles Per The Following (Minimum) Requirements:
 a) Width - 12 Feet (14 Feet Serving More Than One Residence);
 b) Surface - Six (6") Inches Of Compacted Crusher Run Base With Tar And Chip Coating. (1 -1/2" Minimum);
 c) Geometry - Maximum 15% Grade, Maximum 10% Grade Change And 45-Foot Turning Radius;
 d) Structures (Culverts/Bridges) - Capable Of Supporting 25 Gross Tons (H25-Loading);
 e) Drainage Elements - Capable Of Safely Passing 100 Year Flood With No More Than 1 Foot Depth Over Surface;
 f) Structure Clearances - Minimum 12 Feet;
 g) Maintenance - Sufficient To Ensure All Weather Use.
14. No Clearing, Grading Or Construction Is Permitted Within Wetland Or Stream Buffers. Unless, Approved By The Department Of Planning And Zoning Of Howard County, Maryland.
15. All Lot Areas Are More Or Less (±).
16. Distances Shown Are Based On Surface Measurement And Not Reduced To NAD '83 Grid Measurement.
17. Existing House On Buildable Preservation Parcel 'A' To Remain. No New Additions Or Modifications Shall Extend Beyond The Building Restriction Line.
18. Buildable Preservation Parcel 'A' Retains The Right To Be A Sending Parcel In Accordance With Section 106 - Density Exchange Option Of The Howard County Zoning Regulations.
19. Per Section 16.115(d) Of The Howard County Code, Floodplain Limit Delineation Is Not Necessary For Rural Cluster Subdivisions Where The Floodplain Is Not Critical To The Proposed Development.
20. Per Section 16.116(a)(4) Of The Howard County Code, Wetlands Are Not Delineated For Rural Cluster Subdivisions If A Qualified Professional Certifies That Wetlands And Their Buffer Will Not Be Impacted By The Proposed Lots Or Development.
21. Prior Department Of Planning And Zoning File Nos. F01-20, VP00-03 And F00-75.
22. Plat Is Subject To WP-00-54 Section 16.120(c)(2)(iii) To Allow Buildable Preservation Parcel 'A' No Frontage On A Public Road On December 23, 1999 The Planning Director Approved The Waiver Request Subject To The Existing Driveway Meeting The Current Standard Of A Use-In-Common Driveway And Recordation Of A Maintenance Agreement.
23. The Creation Of Lot 3, Plat No. 14106 Necessitated The Creation Of 3.104 Acres (4.25 - 1.146 Acres) Of Preservation Parcel For This Property. This Obligation Is Addressed On This Plat.
24. A Use-In-Common Driveway Maintenance Agreement For Lot 3 And Buildable Preservation Parcel 'A', (Formerly Lot 4) Is Recorded In The Howard County Office Of Land Records.
25. This Property Is Encumbered With A Agricultural Land Preservation Easement Agreement With The Howard County Agricultural Land Preservation Program Recorded Among The Land Records Of Howard County, Maryland In Liber 5242 At Folio 394. This Easement Agreement Outlines The Maintenance Responsibilities Of The Owner, Prohibits Subdivision Of The Parcel And Enumerates The Uses Permitted On The Property. *(Donated to ALPP)*

General Notes Continued Above Left

PURPOSE NOTE:

The Purpose Of This Amended Plat Of Easement Is To Extinguish Permanently The Right To Subdivide The Portion Of Land Under Easement Based On The DEO/CEO Provisions Described In Section 106 Of The Zoning Regulations And Is To Create And Transfer 2 CEO Density Units From The Agricultural Land Preservation Easement Recorded On Plat No 14470, F-01-50.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2055

PLAT'S CERTIFICATE

Plat Shown Hereon Is Correct; That It Was Prepared By Scarlett Bowman To Be Conveyed By Scarlett Bowman to K. Bowman By Deed Dated January 11, 2003, Records Of Howard County, Maryland In Accordance With The Annotated Code Of Maryland. That All Monuments Are In Place Or Will Be In Place Within 30 Days Of The Date Hereof. The Monumentation Is In Accordance With The Code Of Maryland.

[Signature]
 Surveyor No. 10692 Date 1/9/03

Recorded As Plat No. _____ On _____
 Among The Land Records Of Howard County, Maryland.

AMENDED PLAT OF EASEMENT
BELMONT FARM
BUILDABLE PRESERVATION PARCEL 'A'
 (A REVISION OF LOT 4, "BELMONT FARM" - PLAT No. 14106)
 (AGRICULTURAL EASEMENT - DENSITY SENDING)
 ZONED: RC-DEO
 TAX MAP No. 7 PARCEL No. 490 GRID No. 13
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

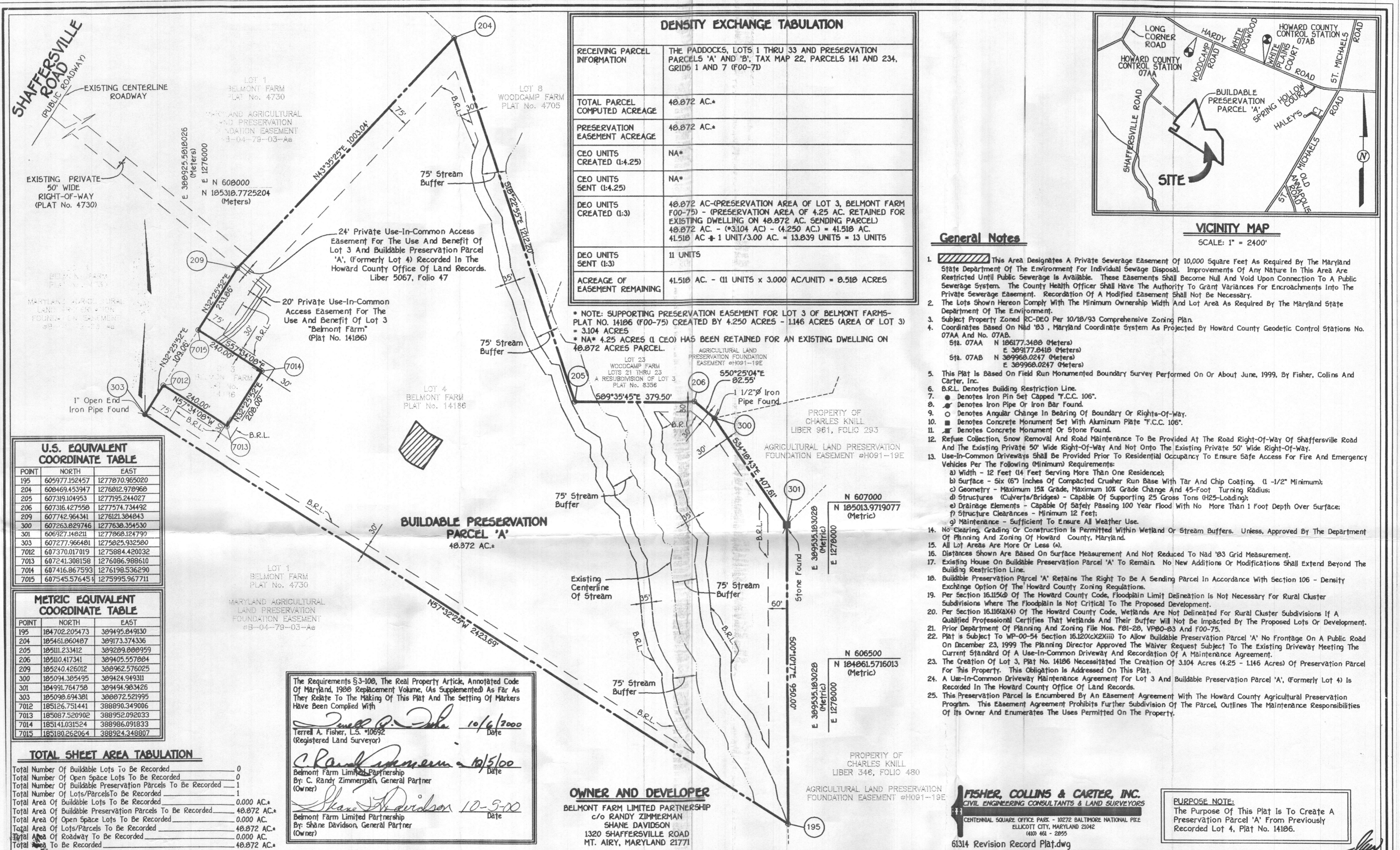


Scale: 1" = 200'

DATE: JANUARY 6, 2003
 F03-

Signed
 1/17/03

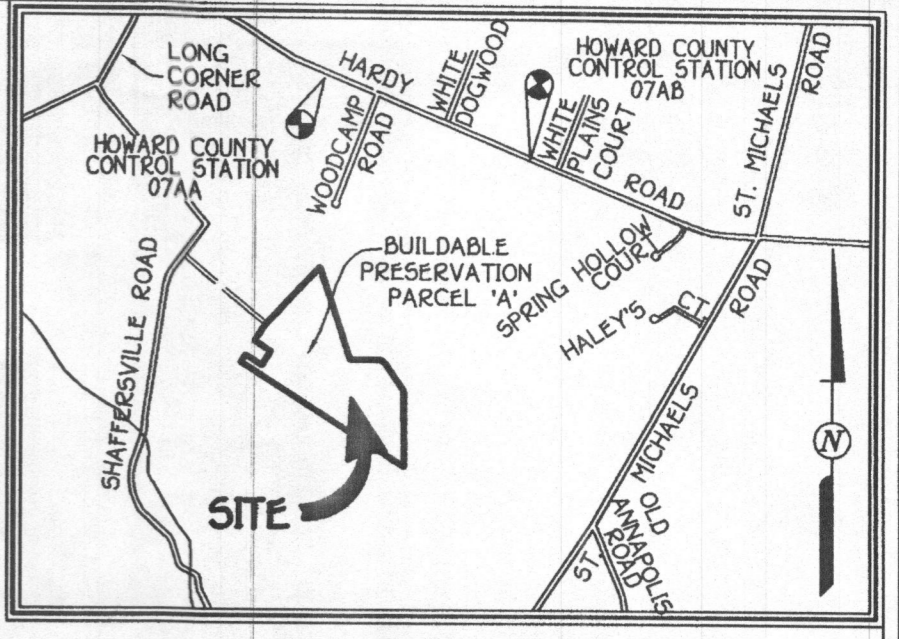
F.03.98 Density Sending to P.02.08



DENSITY EXCHANGE TABULATION

RECEIVING PARCEL INFORMATION	THE PADDOCKS, LOTS 1 THRU 33 AND PRESERVATION PARCELS 'A' AND 'B', TAX MAP 22, PARCELS 141 AND 234, GRIDS 1 AND 7 (F00-7)
TOTAL PARCEL COMPUTED ACREAGE	48.872 AC.*
PRESERVATION EASEMENT ACREAGE	48.872 AC.*
CEO UNITS CREATED (1:4.25)	NA*
CEO UNITS SENT (1:4.25)	NA*
DEO UNITS CREATED (1:3)	48.872 AC-(PRESERVATION AREA OF LOT 3, BELMONT FARM F00-75) - (PRESERVATION AREA OF 4.25 AC. RETAINED FOR EXISTING DWELLING ON 48.872 AC. SENDING PARCEL) 48.872 AC - (*3.104 AC) - (4.250 AC) = 41.518 AC. 41.518 AC ÷ 1 UNIT/3.00 AC. = 13.839 UNITS = 13 UNITS
DEO UNITS SENT (1:3)	11 UNITS
ACREAGE OF EASEMENT REMAINING	41.518 AC. - (11 UNITS x 3.000 AC/UNIT) = 8.518 ACRES

* NOTE: SUPPORTING PRESERVATION EASEMENT FOR LOT 3 OF BELMONT FARMS- PLAT NO. 14186 (F00-75) CREATED BY 4.250 ACRES - 1.146 ACRES (AREA OF LOT 3) = 3.104 ACRES
 * NA* 4.25 ACRES (1 CEO) HAS BEEN RETAINED FOR AN EXISTING DWELLING ON 48.872 ACRES PARCEL.



VICINITY MAP
SCALE: 1" = 2400'

General Notes

- This Area Designates A Private Sewerage Easement Of 10,000 Square Feet As Required By The Maryland State Department Of The Environment For Individual Sewerage Disposal. Improvements Of Any Nature In This Area Are Restricted Until Public Sewerage Is Available. These Easements Shall Become Null And Void Upon Connection To A Public Sewerage System. The County Health Officer Shall Have The Authority To Grant Variances For Encroachments Into The Private Sewerage Easement. Recordation Of A Modified Easement Shall Not Be Necessary.
- The Lots Shown Hereon Comply With The Minimum Ownership Width And Lot Area As Required By The Maryland State Department Of The Environment.
- Subject Property Zoned RC-DEO Per 10/18/93 Comprehensive Zoning Plan.
- Coordinates Based On Nad '83, Maryland Coordinate System As Projected By Howard County Geodetic Control Stations No. 07AA And No. 07AB.
 Sta. 07AA N 186177.3400 (Meters) E 309177.8410 (Meters)
 Sta. 07AB N 309968.0247 (Meters) E 309968.0247 (Meters)
- This Plat Is Based On Field Run Monumented Boundary Survey Performed On Or About June, 1999, By Fisher, Collins And Carter, Inc.
- B.R.L. Denotes Building Restriction Line.
- Denotes Iron Pin Set Capped T.C.C. 106".
- Denotes Iron Pipe Or Iron Bar Found.
- Denotes Angular Change In Bearing Of Boundary Or Rights-Of-Way.
- Denotes Concrete Monument Set With Aluminum Plate T.C.C. 106".
- Denotes Concrete Monument Or Stone Found.
- Refuse Collection, Snow Removal And Road Maintenance To Be Provided At The Road Right-Of-Way Of Shaversville Road And The Existing Private 50' Wide Right-Of-Way And Not Onto The Existing Private 50' Wide Right-Of-Way.
- Use-In-Common Driveways Shall Be Provided Prior To Residential Occupancy To Ensure Safe Access For Fire And Emergency Vehicles Per The Following (Minimum) Requirements:
 a) Width - 12 Feet (14 Feet Serving More Than One Residence);
 b) Surface - Six (6") Inches Of Compacted Crusher Run Base With Tar And Chip Coating. (1 - 1/2" Minimum);
 c) Geometry - Maximum 15% Grade, Maximum 10% Grade Change And 45-Foot Turning Radius;
 d) Structures (Culverts/Bridges) - Capable Of Supporting 25 Gross Tons (H25-Loading);
 e) Drainage Elements - Capable Of Safely Passing 100 Year Flood With No More Than 1 Foot Depth Over Surface;
 f) Structure Clearances - Minimum 12 Feet;
 g) Maintenance - Sufficient To Ensure All Weather Use.
- No Clearing, Grading Or Construction Is Permitted Within Wetland Or Stream Buffers. Unless, Approved By The Department Of Planning And Zoning Of Howard County, Maryland.
- All Lot Areas Are More Or Less (a).
- Distances Shown Are Based On Surface Measurement And Not Reduced To Nad '83 Grid Measurement.
- Existing House On Buildable Preservation Parcel 'A' To Remain. No New Additions Or Modifications Shall Extend Beyond The Building Restriction Line.
- Buildable Preservation Parcel 'A' Retains The Right To Be A Sending Parcel In Accordance With Section 106 - Density Exchange Option Of The Howard County Zoning Regulations.
- Per Section 16.115(d) Of The Howard County Code, Floodplain Limit Delineation Is Not Necessary For Rural Cluster Subdivisions Where The Floodplain Is Not Critical To The Proposed Development.
- Per Section 16.116(a)(4) Of The Howard County Code, Wetlands Are Not Delineated For Rural Cluster Subdivisions If A Qualified Professional Certifies That Wetlands And Their Buffer Will Not Be Impacted By The Proposed Lots Or Development.
- Prior Department Of Planning And Zoning File Nos. F81-28, VP00-03 And F00-75.
- Plat Is Subject To WP-00-54 Section 16.120(C)(2)(iii) To Allow Buildable Preservation Parcel 'A' No Frontage On A Public Road On December 23, 1999 The Planning Director Approved The Waiver Request Subject To The Existing Driveway Meeting The Current Standard Of A Use-In-Common Driveway And Recordation Of A Maintenance Agreement.
- The Creation Of Lot 3, Plat No. 14186 Necessitated The Creation Of 3.104 Acres (4.25 - 1.146 Acres) Of Preservation Parcel For This Property. This Obligation Is Addressed On This Plat.
- A Use-In-Common Driveway Maintenance Agreement For Lot 3 And Buildable Preservation Parcel 'A', (Formerly Lot 4) Is Recorded In The Howard County Office Of Land Records.
- This Preservation Parcel Is Encumbered By An Easement Agreement With The Howard County Agricultural Preservation Program. This Easement Agreement Prohibits Further Subdivision Of The Parcel, Outlines The Maintenance Responsibilities Of Its Owner And Enumerates The Uses Permitted On The Property.

U.S. EQUIVALENT COORDINATE TABLE

POINT	NORTH	EAST
195	605977.152457	1277870.965020
204	608469.453947	1276802.978968
205	607319.104953	1277195.244027
206	607316.427958	1277574.734492
209	607742.964341	1276121.384843
300	607263.829746	1277638.354530
301	606927.148211	1277868.124799
303	607277.966481	1275825.932580
7012	607370.017019	1275884.420032
7013	607241.308158	1276086.988610
7014	607416.867593	1276198.536290
7015	607545.576454	1275995.967711

METRIC EQUIVALENT COORDINATE TABLE

POINT	NORTH	EAST
195	184702.205473	389495.849130
204	185461.860487	389173.374336
205	185111.233412	389289.808959
206	185110.417341	389405.557884
209	185240.426012	388962.576025
300	185094.385495	389424.949311
301	184991.764758	389494.983426
303	185098.694381	388872.521995
7012	185126.751441	388890.349006
7013	185087.520902	388952.092033
7014	185141.031524	388986.091833
7015	185180.262064	388924.348807

TOTAL SHEET AREA TABULATION

Total Number Of Buildable Lots To Be Recorded	0
Total Number Of Open Space Lots To Be Recorded	0
Total Number Of Buildable Preservation Parcels To Be Recorded	1
Total Number Of Lots/Parcels To Be Recorded	1
Total Area Of Buildable Lots To Be Recorded	0.000 AC.*
Total Area Of Buildable Preservation Parcels To Be Recorded	48.872 AC.*
Total Area Of Open Space Lots To Be Recorded	0.000 AC.
Total Area Of Lots/Parcels To Be Recorded	48.872 AC.*
Total Area Of Roadway To Be Recorded	0.000 AC.
Total Area To Be Recorded	48.872 AC.*

The Requirements S3-108, The Real Property Article, Annotated Code Of Maryland, 1986 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With

Terrell A. Fisher 10/6/2000
 Terrell A. Fisher, L.S. #10692 (Registered Land Surveyor) Date

C. Randy Zimmerman 10/5/00
 Belmont Farm Limited Partnership
 By: C. Randy Zimmerman, General Partner (Owner) Date

Shane Davidson 10-5-00
 Belmont Farm Limited Partnership
 By: Shane Davidson, General Partner (Owner) Date

OWNER AND DEVELOPER
 BELMONT FARM LIMITED PARTNERSHIP
 c/o RANDY ZIMMERMAN
 SHANE DAVIDSON
 1320 SHAFFERSVILLE ROAD
 MT. AIRY, MARYLAND 21771

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 12772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2855
 61314 Revision Record Plat.dwg

PURPOSE NOTE:
 The Purpose Of This Plat Is To Create A Preservation Parcel 'A' From Previously Recorded Lot 4, Plat No. 14186.

Approved: For Private Water And Private Sewerage Systems, Howard County Health Department.

Dina M. Matusch 10/10/00
 Howard County Health Officer Date

Approved: Howard County Department Of Planning And Zoning.

Jay S. Smith 10/19/00
 Chief, Development Engineering Division Date
 Director Date

OWNER'S CERTIFICATE

Belmont Farm Limited Partnership, By C. Randy Zimmerman, General Partner, And Shane Davidson, General Partner, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns: (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 5th Day Of October, 2000.

C. Randy Zimmerman Witness
 Belmont Farm Limited Partnership,
 By: C. Randy Zimmerman, General Partner

Shane Davidson Witness
 Belmont Farm Limited Partnership,
 By: Shane Davidson, General Partner

SURVEYOR'S CERTIFICATE

I Hereby Certify That The Final Plat Shown Hereon Is Correct; That It Is A Subdivision Of Part Of The Lands Conveyed By Louise Murray To Belmont Farm Limited Partnership By Deed Dated December 29, 1977 And Recorded In The Land Records Of Howard County, Maryland In Liber No. 863 At Folio 15, And That All Monuments Are In Place Or Will Be In Place Prior To Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown, In Accordance With The Annotated Code Of Maryland, As Amended, And Monumentation Is In Accordance With The Howard County Subdivision Regulations.

Terrell A. Fisher 10/6/2000
 Terrell A. Fisher, Professional Land Surveyor No. 10692 Date

Recorded As Plat No. 14186 On 10/26/2000
 Among The Land Records Of Howard County, Maryland.

PRESERVATION EASEMENT PLAT AND PLAT OF REVISION BELMONT FARM BUILDABLE PRESERVATION PARCEL 'A'
 (A REVISION OF LOT 4, "BELMONT FARM" - PLAT No. 14186)

ZONED: RC-DEO
 TAX MAP No. 7 PARCEL No. 490 GRID No. 13

FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

Scale: 1" = 200'
 DATE: OCTOBER 4, 2000
 FOI-58

SHAFFERSVILLE ROAD
(PUBLIC ROADWAY)

EXISTING CENTERLINE ROADWAY

EXISTING PRIVATE 50' WIDE RIGHT-OF-WAY (PLAT No. 4730)

LOT 1 BELMONT FARM PLAT No. 4730

LOT 1 BELMONT FARM PLAT No. 4730

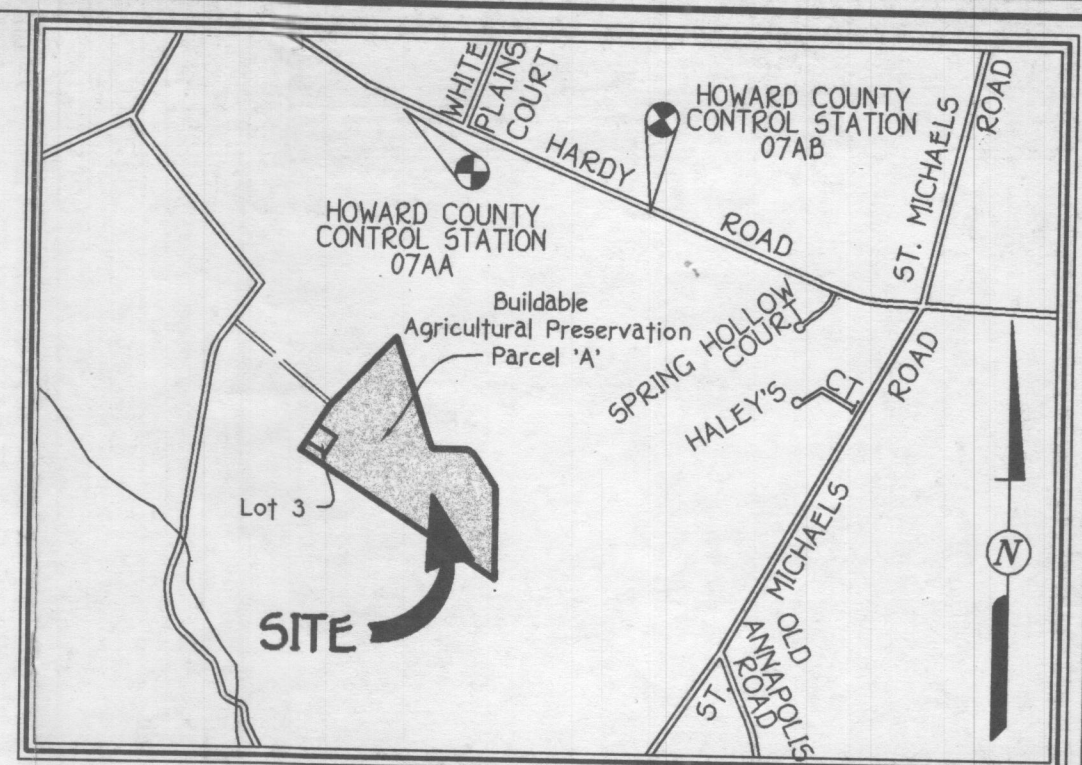
LOT 3 WOODCAMP FARM PLAT No. 4244

LOT 2 BELMONT FARM PLAT No. 4730

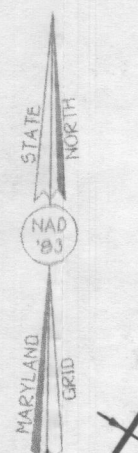
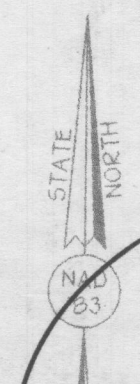
LOT 23 WOODCAMP FARM LOTS 21 THRU 23 A RESUBDIVISION OF LOT 3 PLAT No. 8358

LOT 2 BELMONT FARM PLAT No. 4730

LOT 1 BELMONT FARM PLAT No. 4730



VICINITY MAP
SCALE: 1" = 2400'



Enlargement
SCALE: 1" = 100'

General Notes

- This Area Designates A Private Sewerage Easement Of 10,000 Square Feet As Required By The Maryland State Department Of The Environment For Individual Sewerage Disposal. Improvements Of Any Nature In This Area Are Restricted Until Public Sewerage Is Available. These Easements Shall Become Null And Void Upon Connection To A Public Sewerage System. The County Health Officer Shall Have The Authority To Grant Variances For Encroachments Into The Private Sewerage Easement. Recordation Of A Modified Easement Shall Not Be Necessary.
- The Lots Shown Hereon Comply With The Minimum Ownership Width And Lot Area As Required By The Maryland State Department Of The Environment.
- Subject Property Zoned RC-DEO Per 9/18/92 Comprehensive Zoning Plan.
- Coordinates Based On Nad '83, Maryland Coordinate System As Projected By Howard County Geodetic Control Stations No. 07AA And No. 07AB.
Sta. 07AA N 106177.3488 (Meters) E 309177.8418 (Meters)
Sta. 07AB N 309968.0247 (Meters) E 309968.0247 (Meters)
- This Plat Is Based On Field Run Monumented Boundary Survey Performed On Or About June, 1999, By Fisher, Collins And Carter, Inc.
- B.R.L. Denotes Building Restriction Line.
- Denotes Iron Pin Set Capped "F.C.C. 106".
- Denotes Iron Pipe Or Iron Bar Found.
- Denotes Angular Change In Bearing Of Boundary Or Rights-Of-Way.
- Denotes Concrete Monument Set With Aluminum Plate "F.C.C. 106".
- Denotes Concrete Monument Or Stone Found.
- Denotes Collection Snow Removal And Road Maintenance To Be Provided At The Road Right-Of-Way Of Shaffersville Road And The Existing Private 50' Wide Right-Of-Way And Not Onto The Existing Private 50' Wide Right-Of-Way.
- Use-In-Common Driveways Shall Be Provided Prior To Residential Occupancy To Ensure Safe Access For Emergency Vehicles Per The Following (Minimum) Requirements:
a) Width - 12 Feet (4 Feet Serving More Than One Residence);
b) Surface - Six (6) Inches Of Compacted Crusher Run Base With Tar And Chip Coating.
(1 - 1/2" Minimum);
c) Geometry - Maximum 15% Grade, Maximum 10% Grade Change And 45-Foot Turning Radius;
d) Structures (Culverts/Bridges) - Capable Of Supporting 25 Gross Tons (H25-Loading);
e) Drainage Elements - Capable Of Safely Passing 100 Year Flood With No More Than 1 Foot Depth Over Surface;
f) Structure Clearances - Minimum 12 Feet;
g) Maintenance - Sufficient To Ensure All Weather Use.
- No Clearing, Grading Or Construction Is Permitted Within Wetland Or Stream Buffers. Unless, Approved By The Department Of Planning And Zoning Of Howard County, Maryland.
- All Lot Areas Are More Or Less (a).
- Distances Shown Are Based On Surface Measurement And Not Reduced To Nad '83 Grid Measurement.
- Buildable Agricultural Preservation Parcel 'A' Is Encumbered By An Easement Agreement With The Howard County Agricultural Program. This Easement Outlines The Maintenance Responsibilities Of The Owner, Prohibits Subdivision Of The Parcel And Enumerates The Uses Permitted On The Property.
- Existing House On Lot 3 To Remain. No New Additions Or Modification Shall Extend Beyond The Building Restriction Line.
- Existing House On Buildable Preservation Parcel 'A' To Remain. No New Additions Or Modifications Shall Extend Beyond The Building Restriction Line.
- Buildable Agricultural Preservation Parcel 'A' Retains The Right To Be A Sending Parcel In Accordance With Section 106 - Density Exchange Option Of The Howard County Zoning Regulations.
- Per Section 16.115(d) Floodplain Is Not Delineated On This Plat.
- Per Section 16.116(a)(4) Wetlands Are Not Delineated On This Plat.
- Prior Department Of Planning And Zoning File Nos. F81-28 And VP80-83.
- Plat Is Subject To WP-00 - Section 16.120(c)(2)(iii) To Allow No Frontage On A Public Road.

U.S. EQUIVALENT COORDINATE TABLE

POINT	NORTH	EAST
195	605977.152457	1277870.965020
204	608469.453974	1276812.978968
205	607319.104953	1277195.244027
206	607316.427958	1277574.734492
209	607742.904341	1276121.364843
300	607263.829746	1277638.354530
301	606927.148211	1277868.124790
303	607277.966481	1275825.932580

METRIC EQUIVALENT COORDINATE TABLE

POINT	NORTH	EAST
195	184702.205473	389495.849130
204	185461.860487	389173.374336
205	185111.233412	389289.888959
206	185110.417341	389405.557884
209	185240.426012	388962.576025
300	185094.385495	389424.949311
301	184991.764758	389494.983426
303	185098.694381	388872.521995

AREA TABULATION

Total Number Of Buildable Lots To Be Recorded	1
Total Number Of Open Space Lots To Be Recorded	0
Total Number Of Buildable Preservation Parcels To Be Recorded	1
Total Number Of Lots/Parcels To Be Recorded	2
Total Area Of Buildable Lots To Be Recorded	1.146 Ac.±
Total Area Of Open Space Lots To Be Recorded	0.000 Ac.
Total Area Of Buildable Preservation Parcels To Be Recorded	48.872 Ac.±
Total Area Of Lots/Parcels To Be Recorded	50.018 Ac.±
Total Area Of Roadway To Be Recorded	0.000 Ac.
Total Area To Be Recorded	50.018 Ac.±

The Requirements S3-108, The Real Property Article, Annotated Code Of Maryland, 1988 Replacement Volume, (As Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With

Terrell A. Fisher 11/11/99 Date
Terrell A. Fisher, L.S. 10692 (Registered Land Surveyor)

C. Randy Zimmerman 11/12/99 Date
Belmont Farm Limited Partnership
By: C. Randy Zimmerman, General Partner (Owner)

Shane Davidson 11/12/99 Date
Belmont Farm Limited Partnership
By: Shane Davidson, General Partner (Owner)

OWNER AND DEVELOPER
BELMONT FARM LIMITED PARTNERSHIP
c/o RANDY ZIMMERMAN
SHANE DAVIDSON
1320 SHAFFERSVILLE ROAD
MT. AIRY, MARYLAND 21771

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2855

The Purpose Of This Plat Is To Resubdivide Non-Buildable Lot 2, Belmont Farm, (Plat No. 4730) Into Buildable Lot 3 And Buildable Agricultural Preservation Parcel 'A'.

Approved: For Private Water And Private Sewerage Systems, Howard County Health Department.
Howard County Health Officer _____ Date _____

Approved: Howard County Department Of Planning And Zoning.
Chief, Development Engineering Division _____ Date _____
Director _____ Date _____

OWNER'S CERTIFICATE
Belmont Farm Limited Partnership, By C. Randy Zimmerman, General Partner, And Shane Davidson General Partner, Owner Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns: (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 11th Day Of November, 1999.

C. Randy Zimmerman _____ Date _____
Belmont Farm Limited Partnership,
By: C. Randy Zimmerman, General Partner

Shane Davidson _____ Date _____
Belmont Farm Limited Partnership,
By: Shane Davidson, General Partner

Earl D. Call _____ Date _____
Witness

Earl D. Call _____ Date _____
Witness

SURVEYOR'S CERTIFICATE
I Hereby Certify That The Final Plat Shown Hereon Is Correct; That It Is A Subdivision Of Part Of The Lands Conveyed By Louise Murry To Belmont Farm Limited Partnership By Deed Dated December 29, 1977 And Recorded In The Land Records Of Howard County, Maryland In Liber No. 863 At Folio 15, And That All Monuments Are In Place Or Will Be In Place Prior To Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown. In Accordance With The Annotated Code Of Maryland, As Amended, And Monumentation Is In Accordance With The Howard County Subdivision Regulations.

Terrell A. Fisher 11/11/99 Date
Terrell A. Fisher, Professional Land Surveyor No. 10692

Recorded As Plat No. _____ On _____
Among The Land Records Of Howard County, Maryland.

BELMONT FARM
Lot 3 and Buildable Agricultural Preservation Parcel 'A'
(A Resubdivision Of Lot 2 "Belmont Farm" - Plat No. 4730)

Zoned: RC-DEO
Tax Map No. 7 Parcel No. 490 Grid No. 13

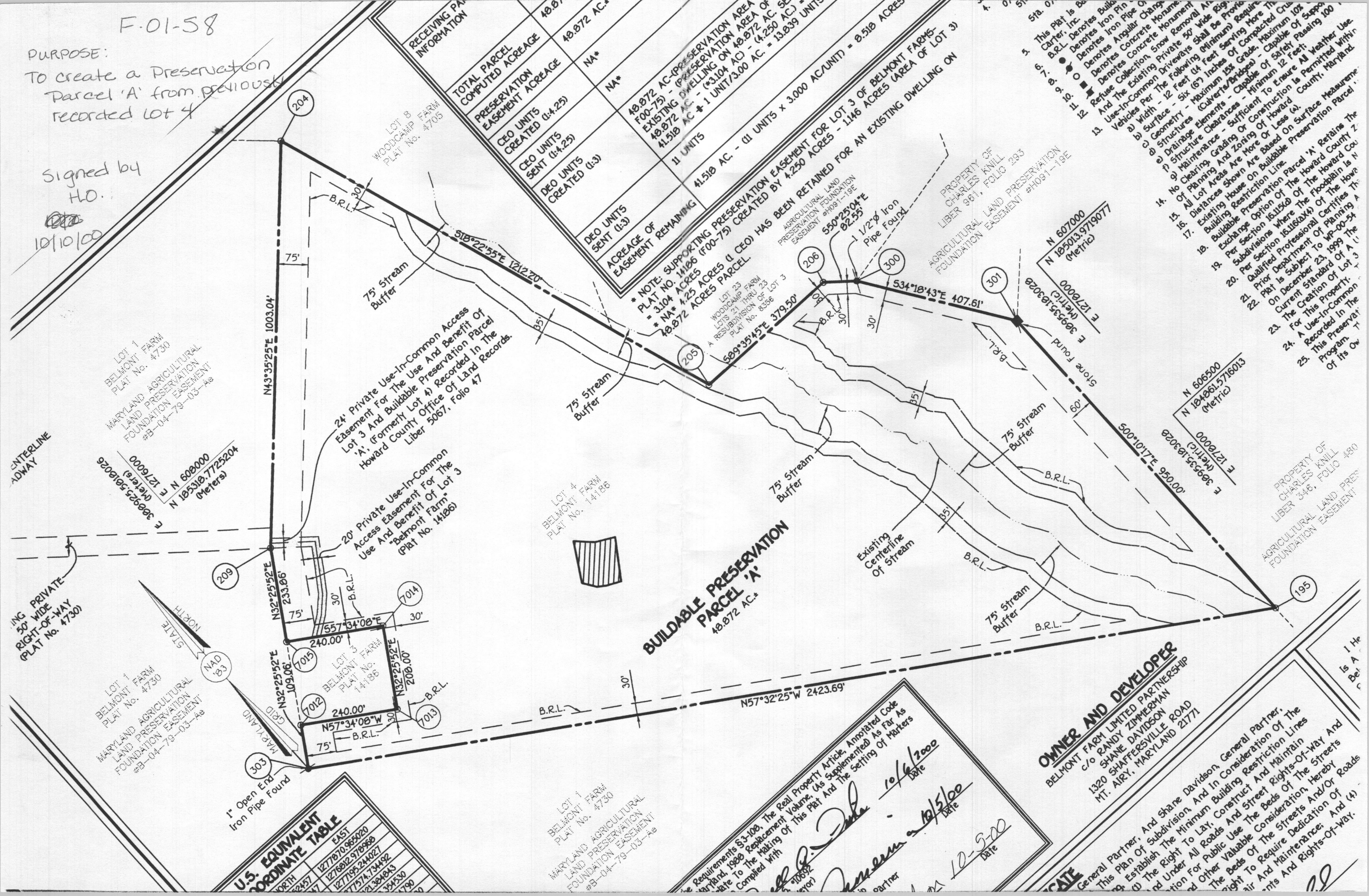
Fourth Election District
Howard County, Maryland

Scale: 1" = 200'
Date: November 11, 1999
Sheet 1 of 1
F-00-

F-01-58

PURPOSE:
To create a Preservation Parcel 'A' from previously recorded lot 4

Signed by
H.O.
10/10/00



TOTAL PARCEL COMPUTED ACREAGE	48.872 AC.
PRESERVATION EASEMENT ACREAGE	NA*
CEO UNITS CREATED (1:4.25)	NA*
CEO UNITS SENT (1:4.25)	NA*
CEO UNITS CREATED (1:3)	NA*
CEO UNITS SENT (1:3)	NA*
DEO UNITS CREATED (1:3)	NA*
DEO UNITS SENT (1:3)	NA*
ACREAGE OF EASEMENT REMAINING	41.518 AC. - (11 UNITS x 3.000 AC/UNIT) = 8.518 ACRES

* NOTE: SUPPORTING PRESERVATION EASEMENT FOR LOT 3 OF BELMONT FARMS - 1146 ACRES (AREA OF LOT 3) PLAT NO. 14186 (F00-75) CREATED BY 4.250 ACRES - 1146 ACRES (AREA OF LOT 3) NA* 4.25 ACRES (1 CEO) HAS BEEN RETAINED FOR AN EXISTING DWELLING ON 48.872 ACRES PARCEL

1. This Plat is...
2. Denotes Iron Pin...
3. Denotes Iron Pipe...
4. Denotes Angular Change...
5. Denotes Concrete Monument...
6. Denotes Snow Removal Area...
7. Denotes Private Right-of-Way...
8. Denotes Minimum Right-of-Way...
9. Denotes Minimum Right-of-Way...
10. Denotes Minimum Right-of-Way...
11. Denotes Minimum Right-of-Way...
12. Denotes Minimum Right-of-Way...
13. Denotes Minimum Right-of-Way...
14. Denotes Minimum Right-of-Way...
15. Denotes Minimum Right-of-Way...
16. Denotes Minimum Right-of-Way...
17. Denotes Minimum Right-of-Way...
18. Denotes Minimum Right-of-Way...
19. Denotes Minimum Right-of-Way...
20. Denotes Minimum Right-of-Way...
21. Denotes Minimum Right-of-Way...
22. Denotes Minimum Right-of-Way...
23. Denotes Minimum Right-of-Way...
24. Denotes Minimum Right-of-Way...
25. Denotes Minimum Right-of-Way...

U.S. EQUIVALENT COORDINATE TABLE

NORTH	EAST
1271810.965020	1271810.965020
1271812.978980	1271812.978980
1271815.992940	1271815.992940
1271818.006900	1271818.006900
1271821.020860	1271821.020860
1271824.034820	1271824.034820
1271827.048780	1271827.048780
1271830.062740	1271830.062740
1271833.076700	1271833.076700
1271836.090660	1271836.090660
1271839.104620	1271839.104620
1271842.118580	1271842.118580
1271845.132540	1271845.132540
1271848.146500	1271848.146500
1271851.160460	1271851.160460
1271854.174420	1271854.174420
1271857.188380	1271857.188380
1271860.202340	1271860.202340
1271863.216300	1271863.216300
1271866.230260	1271866.230260
1271869.244220	1271869.244220
1271872.258180	1271872.258180
1271875.272140	1271875.272140
1271878.286100	1271878.286100
1271881.300060	1271881.300060
1271884.314020	1271884.314020
1271887.327980	1271887.327980
1271890.341940	1271890.341940
1271893.355900	1271893.355900
1271896.369860	1271896.369860
1271899.383820	1271899.383820
1271902.397780	1271902.397780
1271905.411740	1271905.411740
1271908.425700	1271908.425700
1271911.439660	1271911.439660
1271914.453620	1271914.453620
1271917.467580	1271917.467580
1271920.481540	1271920.481540
1271923.495500	1271923.495500
1271926.509460	1271926.509460
1271929.523420	1271929.523420
1271932.537380	1271932.537380
1271935.551340	1271935.551340
1271938.565300	1271938.565300
1271941.579260	1271941.579260
1271944.593220	1271944.593220
1271947.607180	1271947.607180
1271950.621140	1271950.621140
1271953.635100	1271953.635100
1271956.649060	1271956.649060
1271959.663020	1271959.663020
1271962.676980	1271962.676980
1271965.690940	1271965.690940
1271968.704900	1271968.704900
1271971.718860	1271971.718860
1271974.732820	1271974.732820
1271977.746780	1271977.746780
1271980.760740	1271980.760740
1271983.774700	1271983.774700
1271986.788660	1271986.788660
1271989.802620	1271989.802620
1271992.816580	1271992.816580
1271995.830540	1271995.830540
1271998.844500	1271998.844500
1272001.858460	1272001.858460
1272004.872420	1272004.872420
1272007.886380	1272007.886380
1272010.900340	1272010.900340
1272013.914300	1272013.914300
1272016.928260	1272016.928260
1272019.942220	1272019.942220
1272022.956180	1272022.956180
1272025.970140	1272025.970140
1272028.984100	1272028.984100
1272031.998060	1272031.998060
1272034.102020	1272034.102020
1272037.115980	1272037.115980
1272040.129940	1272040.129940
1272043.143900	1272043.143900
1272046.157860	1272046.157860
1272049.171820	1272049.171820
1272052.185780	1272052.185780
1272055.199740	1272055.199740
1272058.213700	1272058.213700
1272061.227660	1272061.227660
1272064.241620	1272064.241620
1272067.255580	1272067.255580
1272070.269540	1272070.269540
1272073.283500	1272073.283500
1272076.297460	1272076.297460
1272079.311420	1272079.311420
1272082.325380	1272082.325380
1272085.339340	1272085.339340
1272088.353300	1272088.353300
1272091.367260	1272091.367260
1272094.381220	1272094.381220
1272097.395180	1272097.395180
1272100.409140	1272100.409140
1272103.423100	1272103.423100
1272106.437060	1272106.437060
1272109.451020	1272109.451020
1272112.464980	1272112.464980
1272115.478940	1272115.478940
1272118.492900	1272118.492900
1272121.506860	1272121.506860
1272124.520820	1272124.520820
1272127.534780	1272127.534780
1272130.548740	1272130.548740
1272133.562700	1272133.562700
1272136.576660	1272136.576660
1272139.590620	1272139.590620
1272142.604580	1272142.604580
1272145.618540	1272145.618540
1272148.632500	1272148.632500
1272151.646460	1272151.646460
1272154.660420	1272154.660420
1272157.674380	1272157.674380
1272160.688340	1272160.688340
1272163.702300	1272163.702300
1272166.716260	1272166.716260
1272169.730220	1272169.730220
1272172.744180	1272172.744180
1272175.758140	1272175.758140
1272178.772100	1272178.772100
1272181.786060	1272181.786060
1272184.800020	1272184.800020
1272187.813980	1272187.813980
1272190.827940	1272190.827940
1272193.841900	1272193.841900
1272196.855860	1272196.855860
1272199.869820	1272199.869820
1272202.883780	1272202.883780
1272205.897740	1272205.897740
1272208.911700	1272208.911700
1272211.925660	1272211.925660
1272214.939620	1272214.939620
1272217.953580	1272217.953580
1272220.967540	1272220.967540
1272223.981500	1272223.981500
1272226.995460	1272226.995460
1272229.100000	1272229.100000

Requirements 53-106, The Real Property Article, Annotated Code of Maryland, 1988 Replacement Volume, (As Supplemented As Far As Applicable) Shall Apply To The Making Of This Plat And The Setting Of Markers Complied With

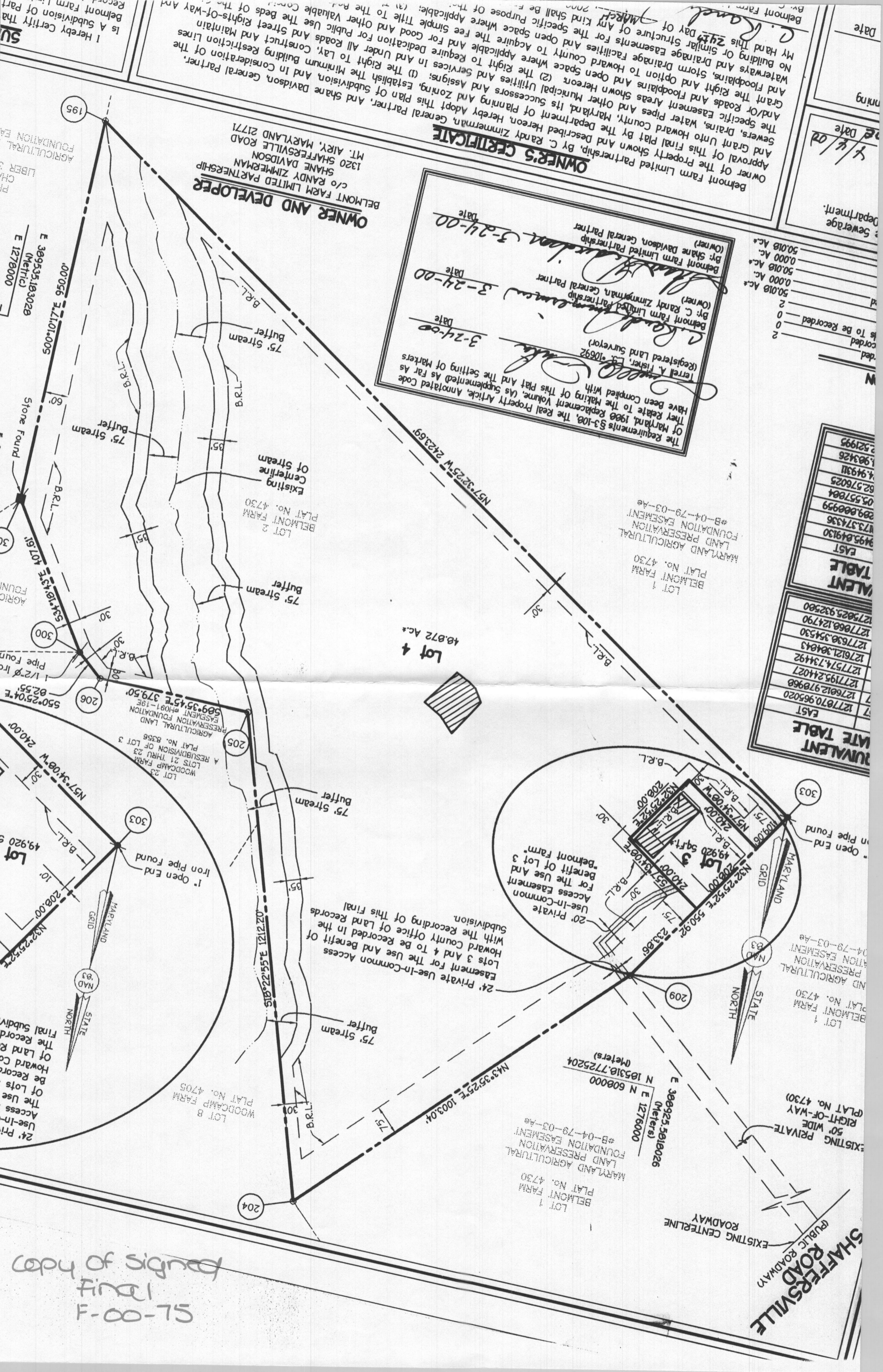
[Signature] 10/6/2000 Date

[Signature] 10/5/00 Date

10-500 Date

OWNER AND DEVELOPER
 BELMONT FARM LIMITED PARTNERSHIP
 c/o RANDY ZIMMERMAN
 SHANE DAVIDSON
 1320 SHAFFERSVILLE ROAD
 MT. AIRY, MARYLAND 21771

General Partner, And Shane Davidson, General Partner, This Plan Of Subdivision, And In Consideration Of The Establishment Of The Minimum Building Restriction Lines And Under All Roads And Street Rights-Of-Way And Other Valuable Consideration, Hereby Dedicate To The Public Use The Beds Of The Streets And Rights-Of-Way, And Maintenance; And (4) Air And Rights-Of-Way.



OWNER'S CERTIFICATE

I, Terrell A. Fisher, L.S. #10692 (Registered Land Surveyor) Have been Complied With The Requirements S3-108, The Real Property Article, Annotated Code Of Maryland, 1988 Replacement Volume, (as Supplemented) As Far As They Relate To The Making Of This Plat And The Setting Of Markers

Belmont Farm Limited Partnership (Owner) By: C. Randy Zimmerman, General Partner Date: 3-24-00

Belmont Farm Limited Partnership (Owner) By: Shane Davidson, General Partner Date: 3-24-00

Belmont Farm Limited Partnership (Owner) By: Shane Davidson, General Partner Date: 3-24-00

OWNER AND DEVELOPER

BELMONT FARM LIMITED PARTNERSHIP
 c/o RANDY ZIMMERMAN
 SHANE DAVIDSON
 1320 SHAFFERSVILLE ROAD
 MT. AIRY, MARYLAND 21771

Acres	To Be Recorded
50.018	2
0.000	0
50.018	2
0.000	0
50.018	2
0.000	0
50.018	2
0.000	0

VALUATION TABLE

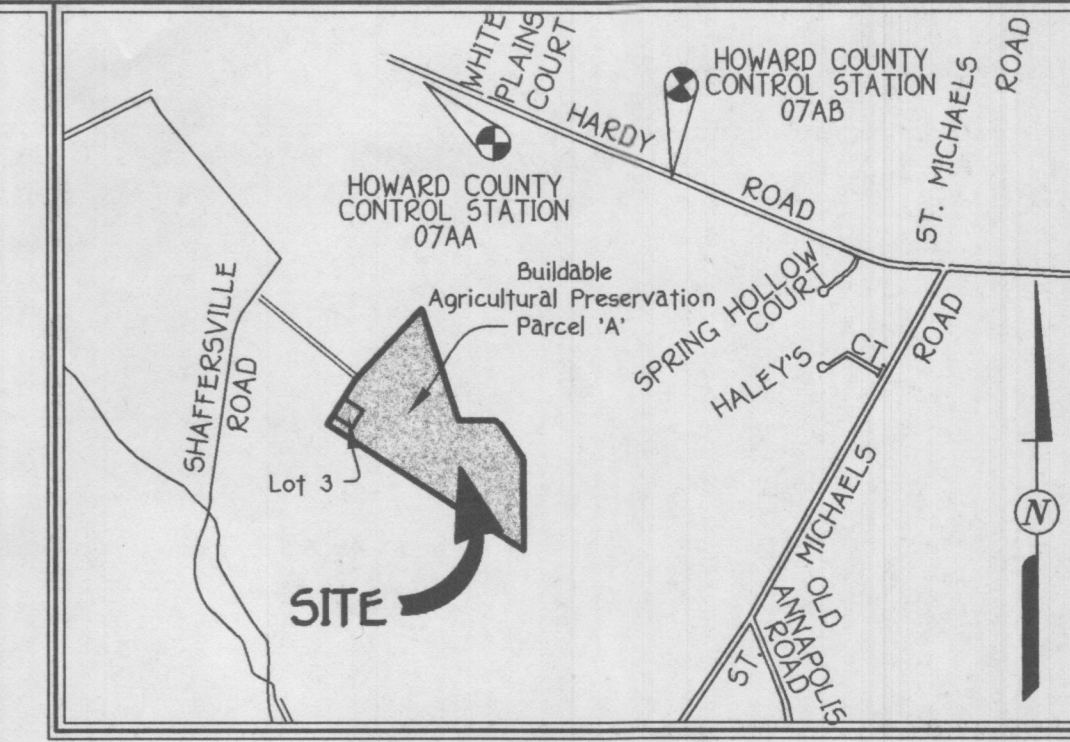
Lot	Area	Value
1	1277070.965020	1275025.932580
2	1277195.244027	1276121.304843
3	1277574.734492	1277630.354530
4	1277668.124790	1277668.124790
5	1277668.124790	1277668.124790
6	1277668.124790	1277668.124790
7	1277668.124790	1277668.124790
8	1277668.124790	1277668.124790
9	1277668.124790	1277668.124790
10	1277668.124790	1277668.124790

Copy of signed final F-00-75

SOILS LEGEND

SOIL	NAME	CLASS
**Ba	Baile silt loam	D
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
G1A	Glenelig loam, 0 to 3 percent slopes	B
G1B2	Glenelig loam, 3 to 8 percent slopes, moderately eroded	B
G1C2	Glenelig loam, 8 to 15 percent slopes, moderately eroded	B
G1A	Glenville silt loam, 0 to 3 percent slopes	C

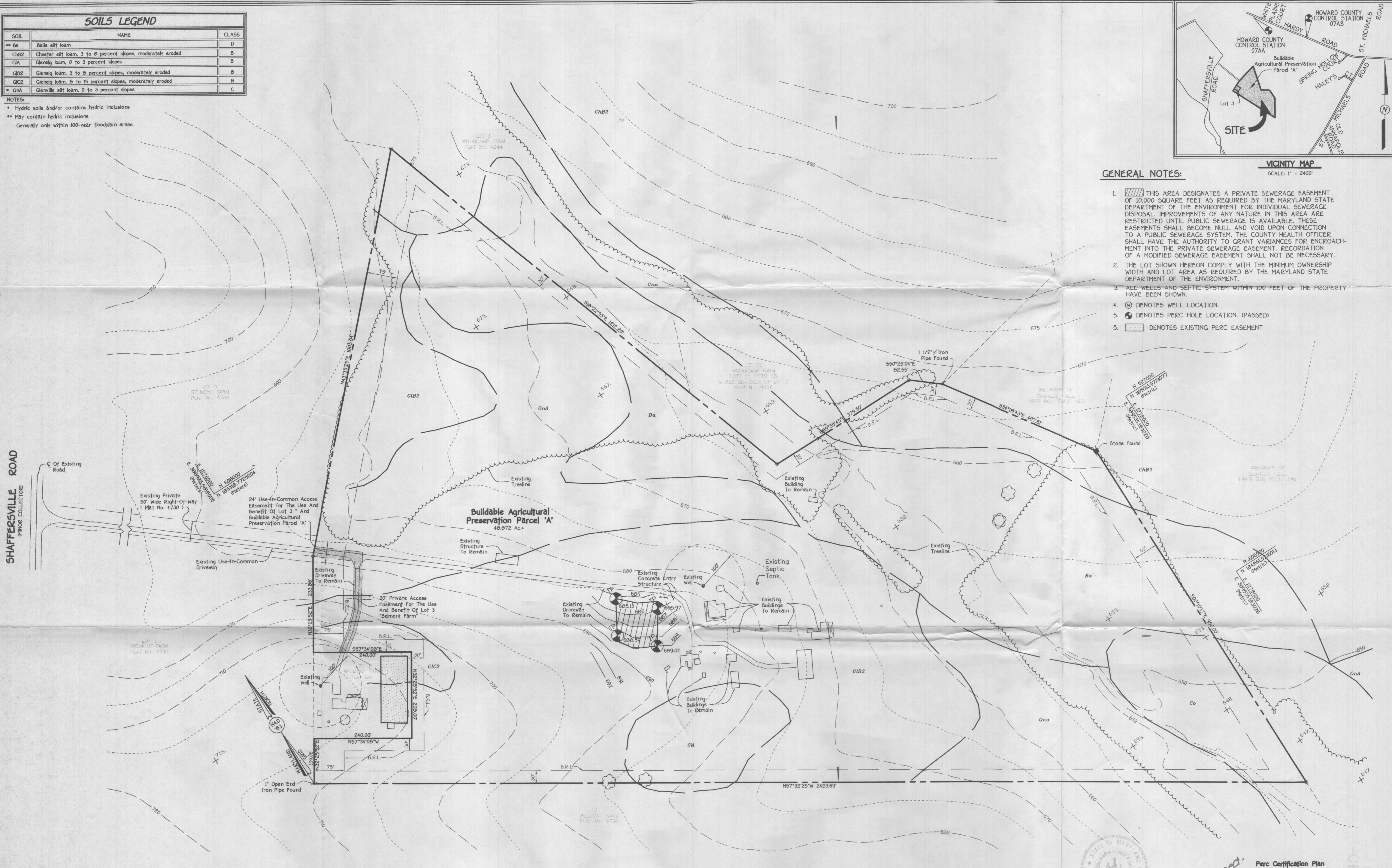
NOTES
 • Hydric soils and/or contains hydric inclusions
 • May contain hydric inclusions
 Generally only within 100-year floodplain areas



VICINITY MAP
 SCALE: 1" = 2400'

GENERAL NOTES:

- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENT INTO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
- THE LOT SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- ALL WELLS AND SEPTIC SYSTEM WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN.
- ⊙ DENOTES WELL LOCATION.
- ⊕ DENOTES PERC HOLE LOCATION. (PASSED)
- ▨ DENOTES EXISTING PERC EASEMENT



SHAFFERSVILLE ROAD
 (MINOR COLLECTOR)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLIOTT CITY, MARYLAND 21114
 (410) 481-2855

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: *[Signature]*
 DATE: 12/10/99

[Signature]
 12/8/99

Belmont Farm
 Buildable Preservation Parcel 'A'
 (A Resubdivision Of Lot 2 "Belmont Farm" - Plat No. 4730)
 Zoned: RC-DEO
 Tax Map No. 7, Parcel No. 490, Grid No. 13
 Fourth Election District
 Howard County, Maryland
 Date: December 7, 1999
 Scale: 1"=100'