

REGENT'S PARK II



NVR, Inc.
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Frederick, MD 21702

	FULL BASEMENT								CRAWL SPACE								ATTACHED GARAGE / ROOMS								STANDARD DETAILS	
	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "E"	ELEV. "K"	ELEV. "L"	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "E"	ELEV. "K"	ELEV. "L"	BEDROOM FIRST FLOOR	LIBRARY	MORNING ROOM	CONSERVATORY SUITE FIRST FLR	SITTING AREA / ALT. OWNERS	BEDROOM #5	BONUS ROOM / BONUS BEDROOM	4'-0" EXTENSION TO FAMILY ROOM		
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FIRST FLOOR JOIST LAYOUT		103		105	105	105	105	105		104		106	106	106	106	106			51	105						D-37
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BASE SQUARE FOOTAGE		
FIRST FLOOR	GROSS SQ. FT.	2111
SECOND FLOOR	GROSS SQ. FT.	1844
HOUSE TOTAL	GROSS SQ. FT.	3955

ELEVATIONS SQ. FT.		
ELEVATION "B"	GROSS SQ. FT.	+0
ELEVATION "C"	GROSS SQ. FT.	+96
ELEVATION "D"	GROSS SQ. FT.	+89
ELEVATION "E"	GROSS SQ. FT.	+118
ELEVATION "K"	GROSS SQ. FT.	+0
ELEVATION "L"	GROSS SQ. FT.	+96

ADDITIONAL SQ. FT.		
MORNING ROOM	GROSS SQ. FT.	+240
w/ NO SECOND FLOOR	GROSS SQ. FT.	+384
w/ SITTING AREA	GROSS SQ. FT.	+452
w/ ALT. OWNER'S SUITE	GROSS SQ. FT.	+194
4' EXTENSION	GROSS SQ. FT.	+326
w/ NO BONUS RM. / BDRM.	GROSS SQ. FT.	+514
BONUS RM. / BEDROOM	GROSS SQ. FT.	+352
w/ 4' EXTENSION	GROSS SQ. FT.	+104
CONSERVATORY / IN-LAW'S SUITE	GROSS SQ. FT.	
w/ 4-BEDROOM	GROSS SQ. FT.	
w/ 5-BEDROOM	GROSS SQ. FT.	

MAXIMUM FINISHED SQ. FT.		
HOUSE TOTAL	GROSS SQ. FT.	5743
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.		
RECREATION ROOM	GROSS SQ. FT.	1110
w/ MORNING ROOM	GROSS SQ. FT.	+240
w/ 4' EXTENSION	GROSS SQ. FT.	+44
w/ MOR RM & 4' EXTEN	GROSS SQ. FT.	+334
HOME OFFICE	GROSS SQ. FT.	248
EXERCISE RM. ("A", "B", "K")	GROSS SQ. FT.	218
EXERCISE RM. ("C", "L")	GROSS SQ. FT.	238
EXERCISE RM. ("D")	GROSS SQ. FT.	248
EXERCISE RM. ("E")	GROSS SQ. FT.	249
MEDIA RM. ("A", "B", "D", "K")	GROSS SQ. FT.	402
MEDIA RM. ("C", "L")	GROSS SQ. FT.	430
MEDIA RM. ("E")	GROSS SQ. FT.	433
BASEMENT BATH	GROSS SQ. FT.	57

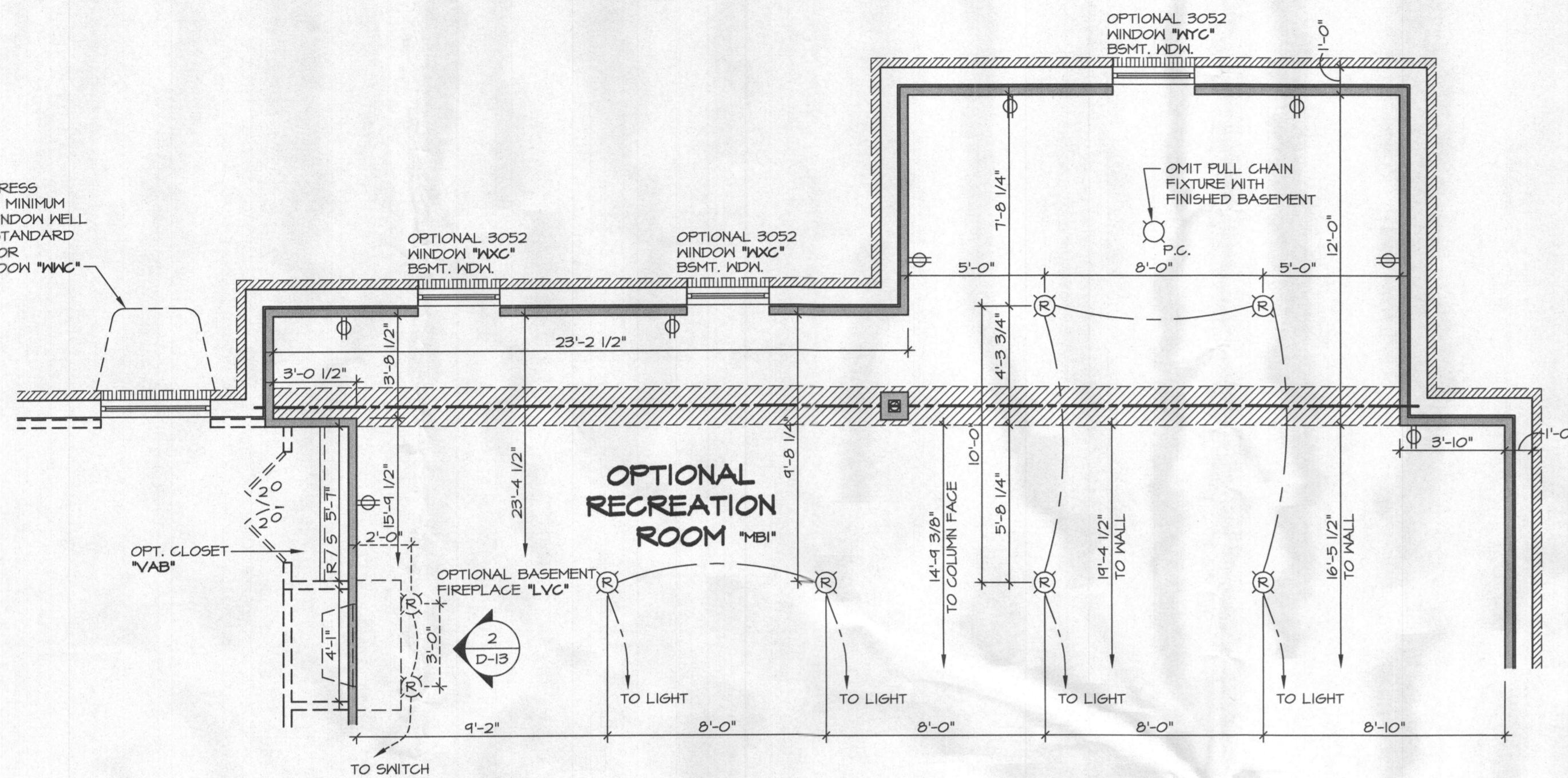
UNFINISHED SQ. FT.		
TWO CAR GARAGE (w/ "A")	GROSS SQ. FT.	559
THREE CAR GARAGE (w/ "A")	GROSS SQ. FT.	829

FOOTPRINT		
BASE HOUSE:		
WIDTH:	60'-0"	
DEPTH:	52'-0"	
MAXIMUM:		
WIDTH:	76'-8"	
DEPTH:	76'-8"	

SET - VERSION	10200-01	CS-1
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Brighton Mill Lot 4
6 Bed rooms

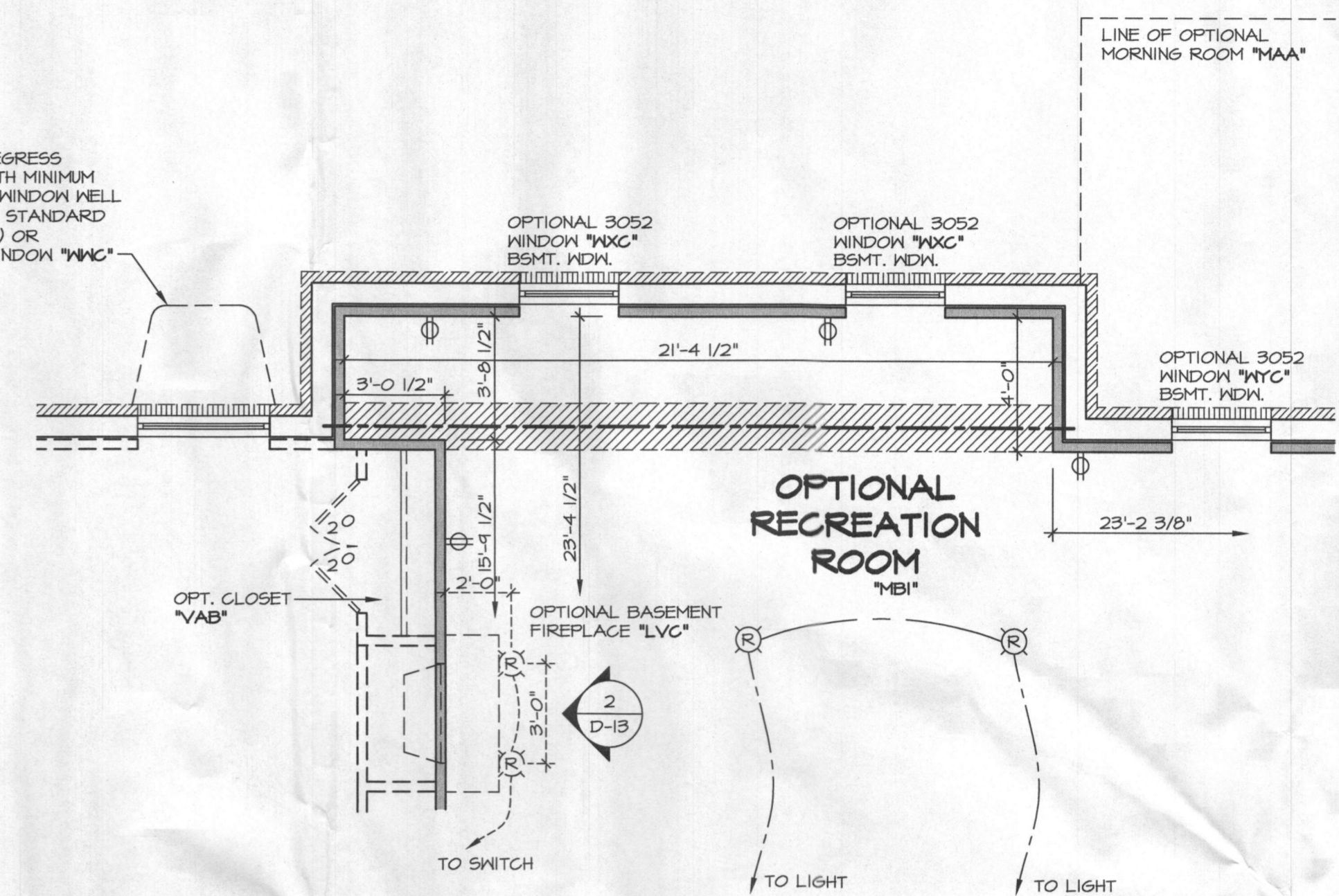
4040 BASEMENT EGRESS WINDOW "NMC" WITH MINIMUM 3'-0" EMERGENCY WINDOW WELL AS REQUIRED (SEE STANDARD DETAIL SHEET D-4) OR OPTIONAL 3052 WINDOW "NMC"



2
A-6b
SCALE: 1/4" = 1'-0"
OPTIONAL RECREATION ROOM "MBI" W MORNING ROOM ABOVE "MAA" AND 4'-0" FAMILY ROOM EXTENSION "EEN"

NOTE:
1. ELECTRICAL PLAN FOR ELECTRICAL DATA ONLY
2. LOCATION OF ELECTRICAL FEATURES ARE APPROXIMATE
3. INCLUDE ADDITIONAL OUTLET AT PANEL BOX LOCATION AS REQUIRED
4. OPTIONAL PENDANT LIGHTING TO BE 30"-36" ABOVE COUNTERTOP
5. OPTIONAL UNDER CABINET LIGHTS: SEE KITCHEN LAYOUT DRAWING FOR WALL CABINET SIZES AND LOCATION

4040 BASEMENT EGRESS WINDOW "NMC" WITH MINIMUM 3'-0" EMERGENCY WINDOW WELL AS REQUIRED (SEE STANDARD DETAIL SHEET D-4) OR OPTIONAL 3052 WINDOW "NMC"



1
A-6b
SCALE: 1/4" = 1'-0"
OPTIONAL RECREATION ROOM "MBI" W 4'-0" FAMILY ROOM EXTENSION "EEN"

ELECTRICAL LEGEND

Ⓢ	SINGLE POLE SWITCH	Ⓢ	EXHAUST FAN MOTOR WITH LIGHT
Ⓢ ₃	THREE WAY SWITCH	Ⓢ	DOOR CHIME
Ⓢ ₄	FOUR WAY SWITCH	Ⓢ	LIGHT FIXTURE - WALL MOUNTED
Ⓢ	DUPLEX RECEPTACLE	Ⓢ	LIGHT FIXTURE - CEILING MOUNTED
Ⓢ	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED	Ⓢ	LIGHT FIXTURE - RECESSED
Ⓢ	DUPLEX RECEPTACLE - FLOOR MOUNTED	Ⓢ	LIGHT FIXTURE - RECESSED WEATHER PROOF
Ⓢ	RECEPTACLE - 220V	Ⓢ	LIGHT FIXTURE - HANGING
Ⓢ _{GFI}	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT	Ⓢ	LIGHT FIXTURE - PENDANT
Ⓢ _{WSPFI}	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT	Ⓢ	LIGHT FIXTURE - FLUORESCENT
Ⓢ	SMOKE DETECTOR - WIRED IN SERIES	Ⓢ	LIGHT FIXTURE - UNDER CABINET LIGHT
Ⓢ	CARBON MONOXIDE DETECTOR	Ⓢ	FULLCHAIN LAMPHOLDER
Ⓢ	EXHAUST FAN MOTOR	Ⓢ	KEYLESS LAMPHOLDER

NOTE:
ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY AND NOT INTENDED AS ENGINEERED DRAWINGS. THESE PLANS REPRESENT THE DESIGN INTENT FOR SWITCH AND RECEPTACLE LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
NOTES:
• 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED UNLESS OTHERWISE NOTED
• A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
• PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. HATCHED AREAS INDICATE DROPPED CEILINGS.
4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

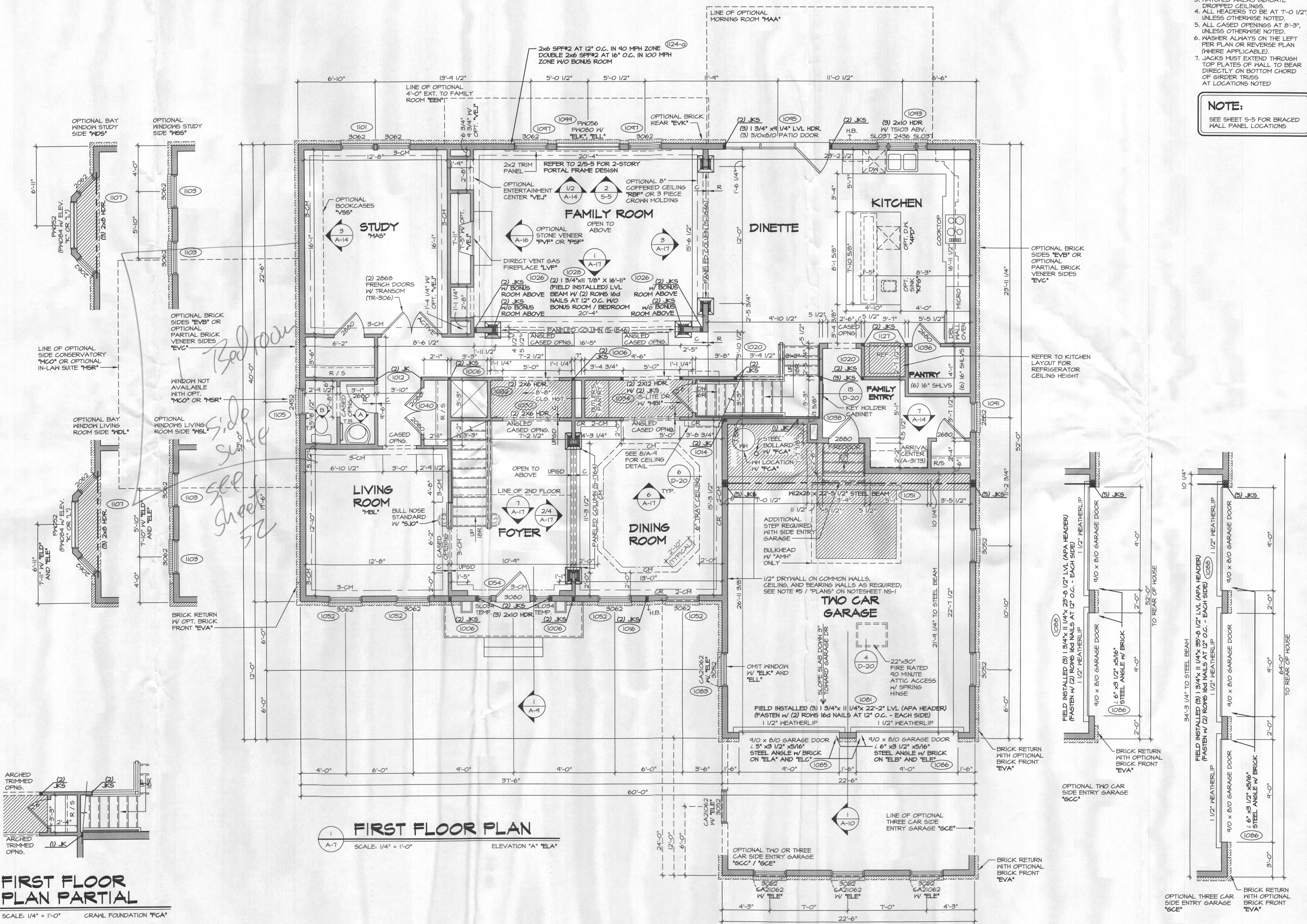
SHEET NO. A-6b	MODEL REGENT'S PARK II	DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS	OPTION DESCRIPTION 4'-0" EXTENSION TO FAMILY ROOM MORNING ROOM	DATE 11/28/13	DRAWN BY CHB	VERSION 01	SET NO. 10200	REV. NO.	DATE	REMARKS
								1	8/29/14	CEL - INTERNAL ADJUST
								2	2/24/15	CLS - ADDED NOTE FOR "SC1" OPTION (PAR ID 3187)

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OPTION DESCRIPTION
4'-0" EXTENSION TO FAMILY ROOM MORNING ROOM

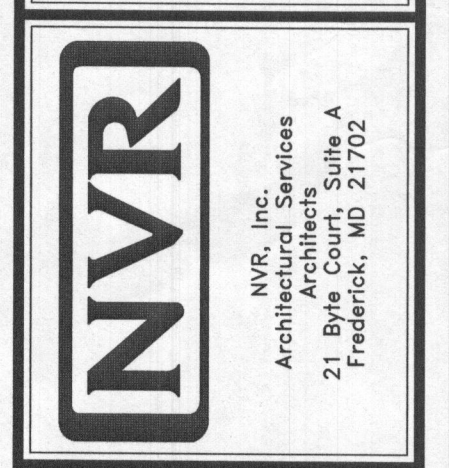
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL HEADERS TO BE AT 1'-0" 1/2", UNLESS OTHERWISE NOTED.
 5. ALL CASED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSSES AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS



REV. NO.	DATE	REMARKS
10	9/1/05	DDP - AUDIT REVISIONS
11	9/1/05	BEB - ADDED NOTE THAT GARAGE BULKHEAD IS WITH 'AMH' ONLY (PAR 34172)
12	9/22/06	SKM - ADDED ADDITIONAL REBAR AT GARAGE PAR 36662
13	4/10/07	GLS - REVISED WIDTH OF FAMILY ROOM/ REAR OF FAMILY ROOM (PAR ID 49347)
14	8/30/11	CLB - CLARIFIED THE STUD SPACING AT REAR OF FAMILY ROOM (PAR#17662)
15	4/20/15	SBS - PAR #92910 - ADDED ATTIC ACCESS TO GARAGE
16	4/30/15	JLR - ADDED TEMP. TO FRONT DOOR SIGHTLIGHTS (PAR #92969)
17	4/20/15	SBS - PAR #91565 - ADDED 2x2 TRIM PANEL IN FAMILY ROOM TO FLOOR PLANS
18	6/18/15	GAU - PLANT BUILT ARRIVAL CENTER PROJECT

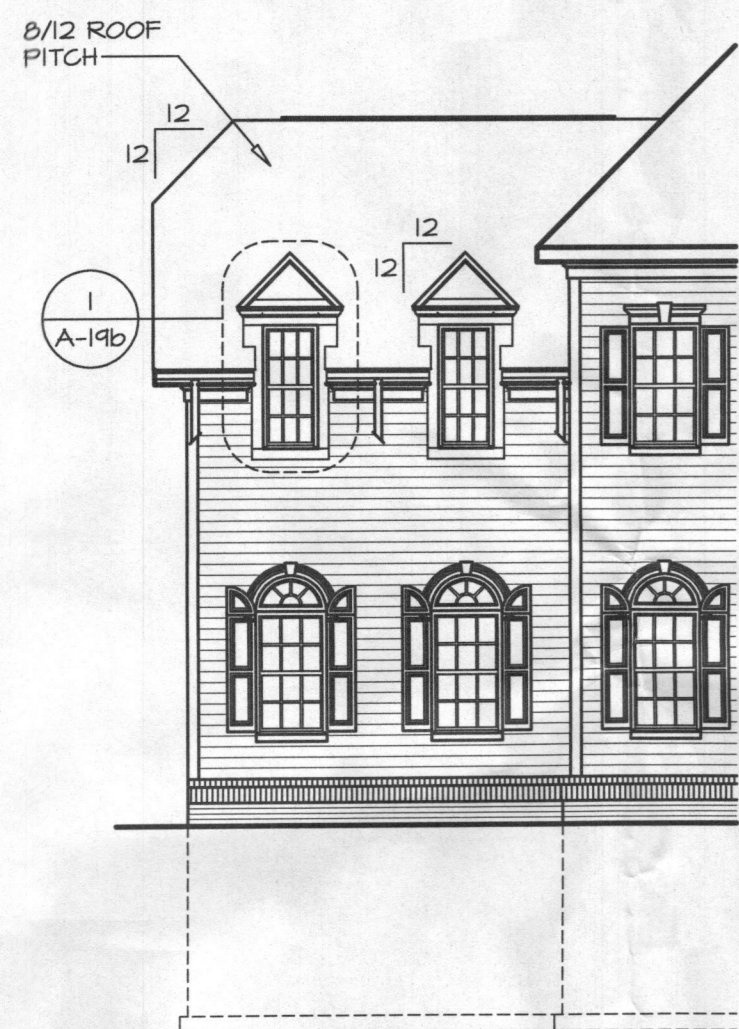
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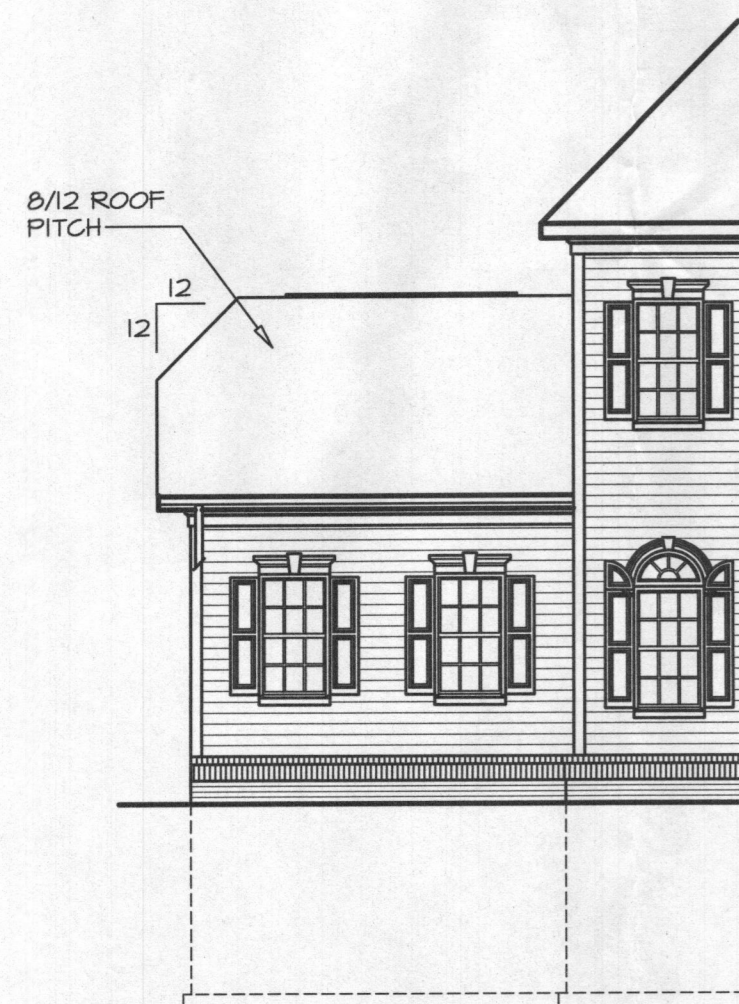
SHEET NO.	MODEL	SET NO.	VERSION	DRAWN BY	DATE	OPTION
A-7	REGENT'S PARK II	10200	01	DRA	9/25/14	OPTION
49.1	FIRST FLOOR PLAN					



4 SIDE ENTRY GARAGE
 SCALE: 1/8" = 1'-0"
 WITH OPTIONAL:
 TWO CAR SIDE ENTRY GARAGE '5CC',
 OR THREE CAR SIDE ENTRY GARAGE '6CE'



3 FRONT ELEVATION PARTIAL
 SCALE: 1/8" = 1'-0"
 WITH OPTIONAL:
 CONSERVATORY 'MCO',
 IN-LAW'S SUITE 'MER',
 AND BEDROOM #5 'BEB'

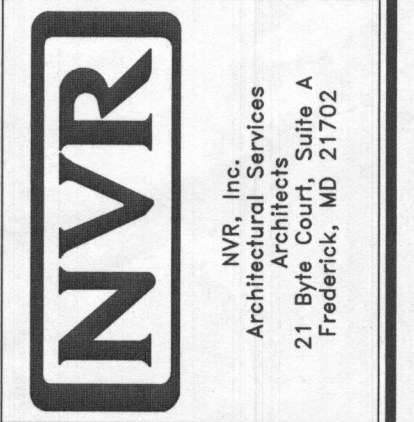


2 FRONT ELEVATION PARTIAL
 SCALE: 1/8" = 1'-0"
 WITH OPTIONAL:
 CONSERVATORY 'MCO' /
 FIRST FLOOR SUITE 'MER'



1 FRONT ELEVATION "B"
 SCALE: 1/4" = 1'-0"

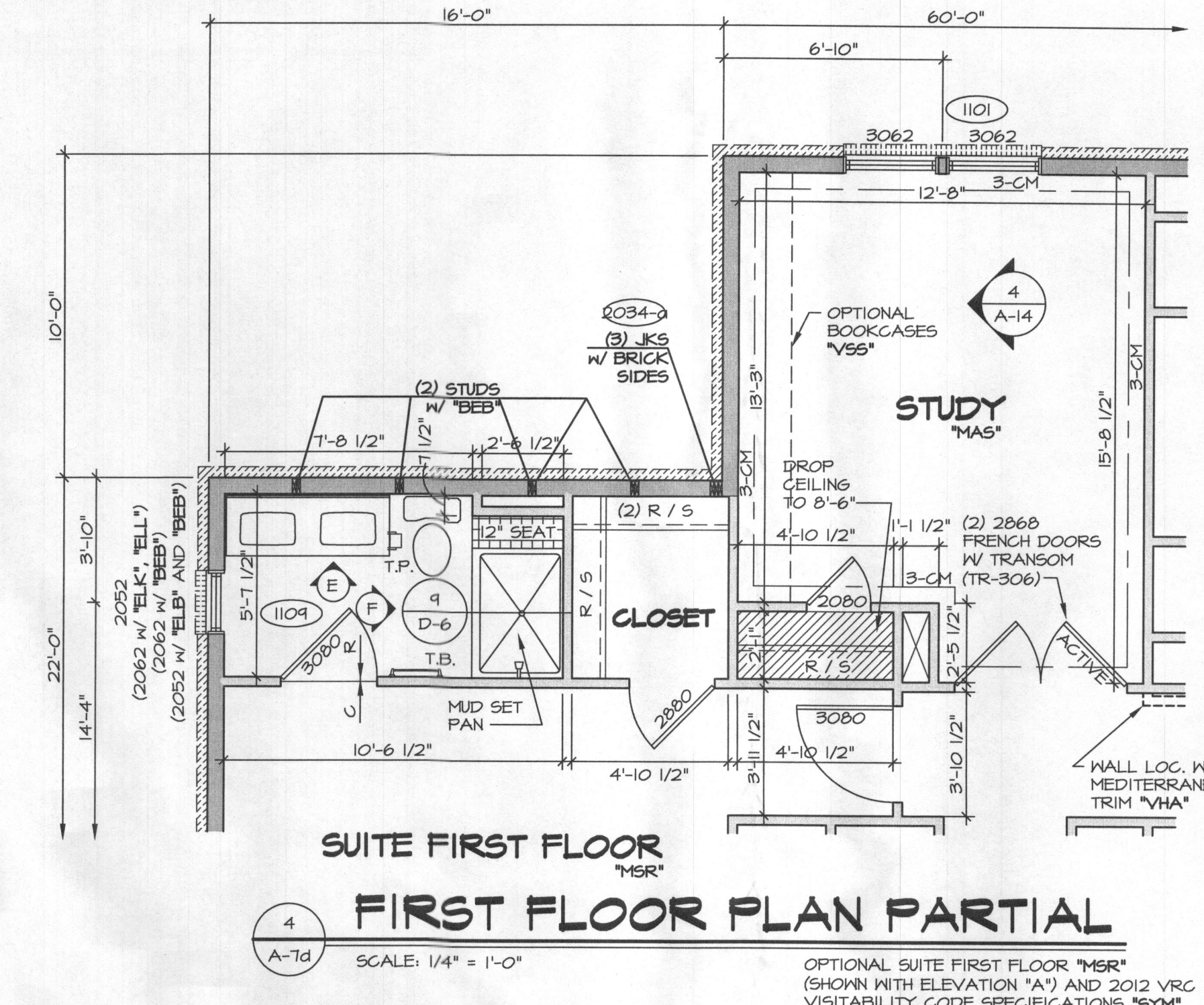
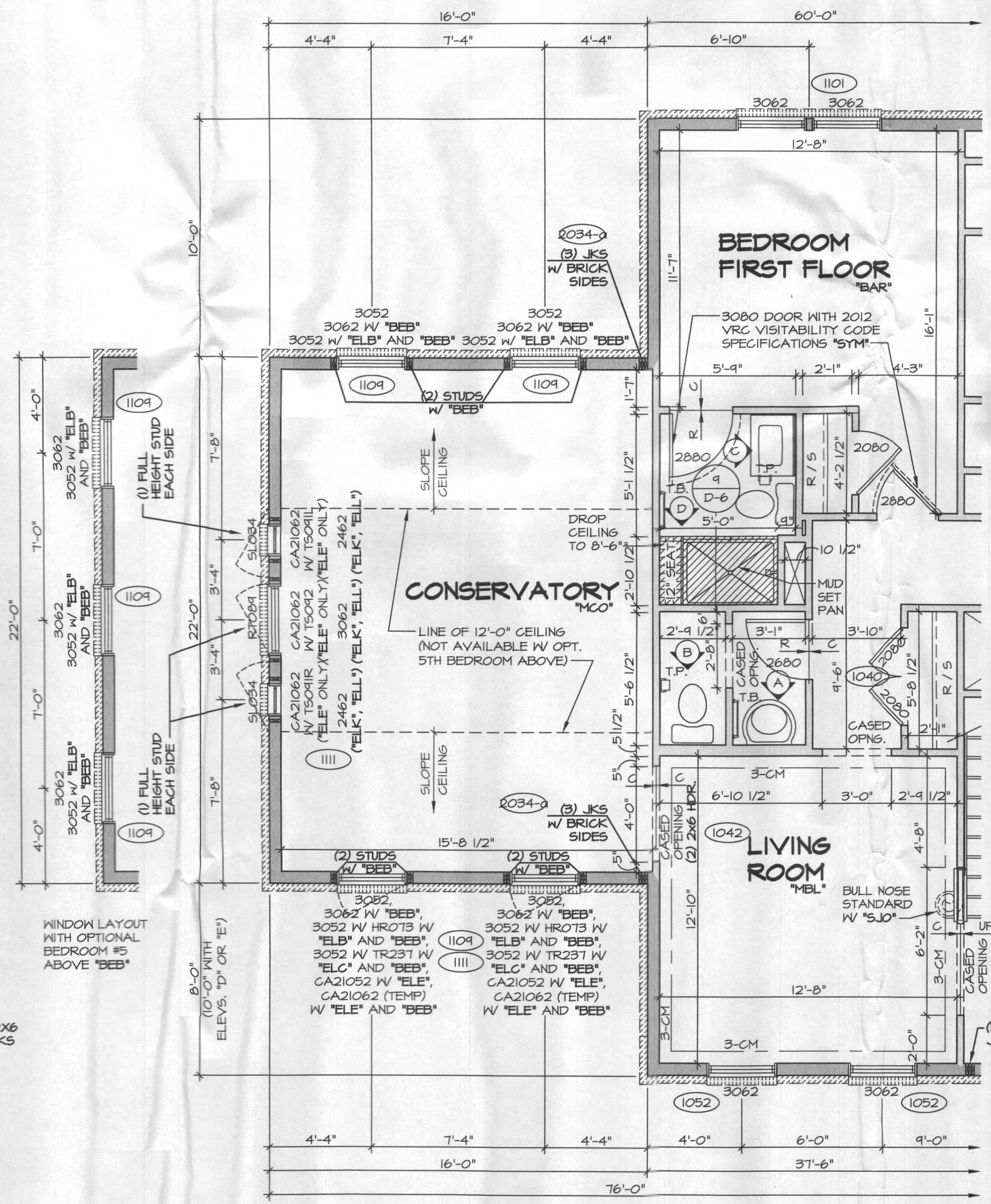
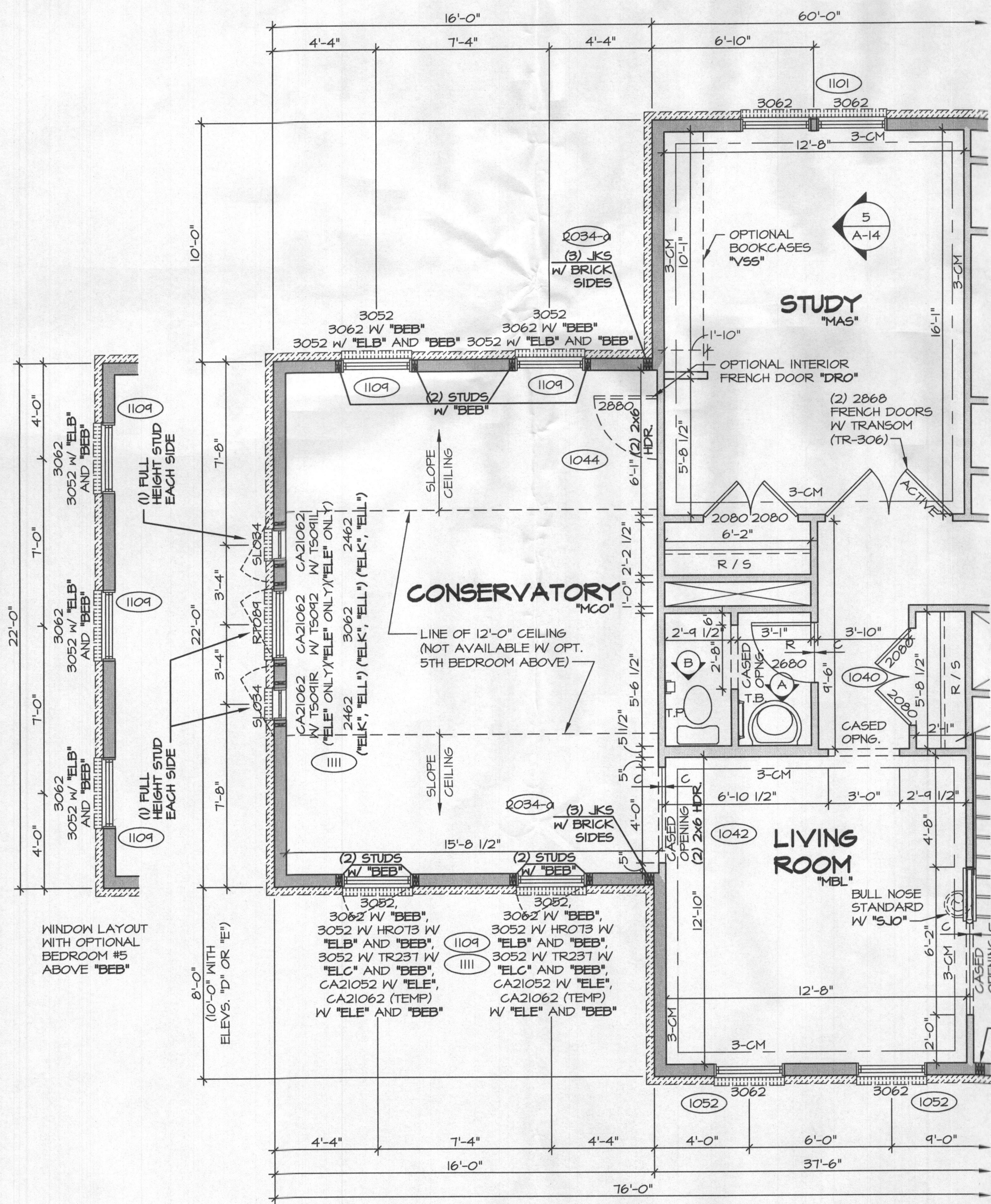
SHEET NO. A-1	MODEL REGENT'S PARK II	SET NO. 10200	DATE: 3/19/13	REVISIONS
	DRAWING TITLE FRONT ELEVATIONS	VERSION 01	DRAWN BY JEA	1 11/15/13 BEB - MARKETING REVISIONS
	OPTION DESCRIPTION ELEVATION "B" SIDING FRONT	OPTION ELB EVF	DATE: 3/19/13	2 5/26/14 ALH - AUDIT REVIEW
				3 9/19/14 JEG - MISC. TRIM REVISIONS
				4 11/16/14 CEL - REV/SEED GARAGE TRIM AND DETAILS
			5 3/14/16 CLS - REV. FIRST FLOOR WINDOW HEIGHT TO MATCH PANEL VISION (PAR ID 30332)	



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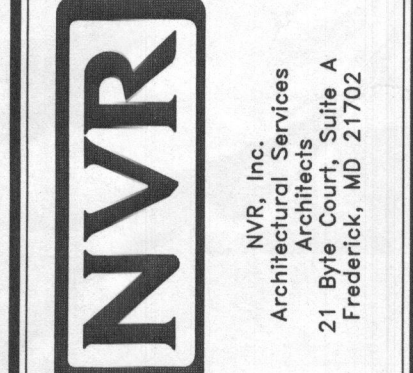
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 - HATCHED AREAS INDICATE DROPPED CEILINGS.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS



REV. NO.	DATE	REMARKS
10	4/29/15	J.L.R. - REV. CENTER GABLE WINDOW OF CONSERVATORY TO RT091 (PAR #3296)
11	10/21/15	EBF - 2012 VRC CODE UPDATES
12	5/8/17	KAD - ADDED SQUARE BOUL. VANITIES (PAR #4694)
13	6/9/17	BRK - REVISED "BAR" BATH TO HAVE BT-FANS SHOWER DOOR (PAR#4646-63)
14	6/9/17	BRK - MODIFIED FRONT WINDOWS "ELE" TO BE TEMPERED (PAR#4646-63)
16	5/26/14	DAS - QUALITY CHECK
7	8/27/14	BEB - ADDED NOTE THAT BULL NOSE IS STANDARD W/ "SLC" OPTION
8	9/22/14	JES - REDUCED FRONT AND SIDE WINDOW SIZE W/ "ELE" AND "BEB"
9	10/1/10	CAB - REVISONS PER PAR #27487

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SHEET NO.	MODEL	SET NO.	VERSION	DRAWN BY	DATE	OPTION
A-7d	REGENT'S PARK II	10200	01	JEA	9/14/13	CONSERVATORY SUITE FIRST FLOOR
52						