



Health

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B18003945

Building Address: 13615 CURTIS VISTA WAY
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Brighton mill 11
Section: _____ Area: _____ Lot: 1
Tax Map: 34 Parcel: 16 Grid: 2
Zoning: _____ Map Coordinates: _____ Lot Size: 45,302

Existing Use: SFD
Proposed Use: SFD W/PROPANE TANK
Estimated Construction Cost: \$ 4,000

Description of Work:
INSTALL 1000 GAL UNDERGROUND PROPANE TANK

Occupant/Tenant Name: OWNER
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<u>Depth</u> <u>Width</u>
Gross area, sq. ft./floor:	1 st floor: 2 nd floor:
Area of construction (sq. ft.):	Basement: <input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space
Use group:	<input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms:
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling
<input type="checkbox"/> Structural Steel	No. of efficiency units:
<input type="checkbox"/> Masonry	No. of 1 BR units:
<input type="checkbox"/> Wood Frame	No. of 2 BR units:
<input type="checkbox"/> State Certified Modular	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home

Property Owner's Name: Highland Development Corp
Address: PO Box 228
City: Clarksville State: MD Zip Code: 21029
Phone: 410-360-1670 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: MICHELLE CLANCY
Address: PO BOX 310
City: PERRY HALL State: MD Zip Code: 21128
Phone: 443-610-7514 Fax: _____
Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TECH AIR
Contact Person: DENNIS FEAGA
Address: 1560 A-D CATON CENTER DRIVE
City: BALTIMORE State: MD Zip Code: 21227
License No.: 81215
Phone: 410-984-5681 Fax: _____
Email: _____

Engineer/Architect Company: CONTRACTOR
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: <u>NEW 11/20/18</u>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING-NOTICES.

MICHELLE CLANCY
Applicant's Signature
MICHELLE@APPLIEDANDAPPROVED.COM
Email Address
PERMITS
Title/Company

MICHELLE CLANCY
Print Name
11/20/18
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>12/10/18</u>	<u>[Signature]</u>

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>15</u>
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>6642</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

LEGEND

- SOILS CLASSIFICATION *GgC*
- SOILS DELINEATION
- PROPOSED CONTOURS
- EXISTING CONTOURS
- LIMIT OF WETLANDS
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- EXISTING STRUCTURE
- EXISTING WELL
- EXISTING WELL BOX
- EXISTING SEWAGE DISPOSAL AREA

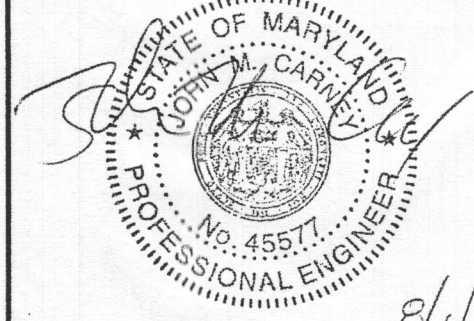
ONSITE SEWAGE DISPOSAL PLAN NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR BRIGHTON MILL II, PLAT Nos. 24469-24474. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY F-17-054, ON OR ABOUT MAY, 2017.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-17-0150, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED AND PROVIDED BY TWO DRY-WELLS (M-5), AND ONE MICRO-BIORETENTION FACILITY (M-6).
10. MICRO-BIORETENTION SHALL HAVE EITHER A 4" OR 6" ROOF LEADER DEPENDING ON ROOF-TOP AREA.
11. THE SEPTIC TANK WILL HAVE A 2000 GALLON 2 COMPARTMENT TANK.
12. FOR DEVELOPMENT LANDSCAPING SEE ROAD CONSTRUCTION PLAN F-17-054.



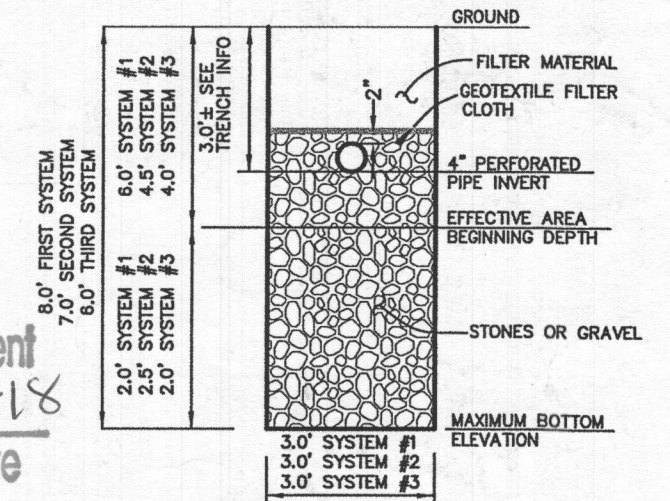
PLAN VIEW
1" = 50'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.



8/1/19

LOT 4

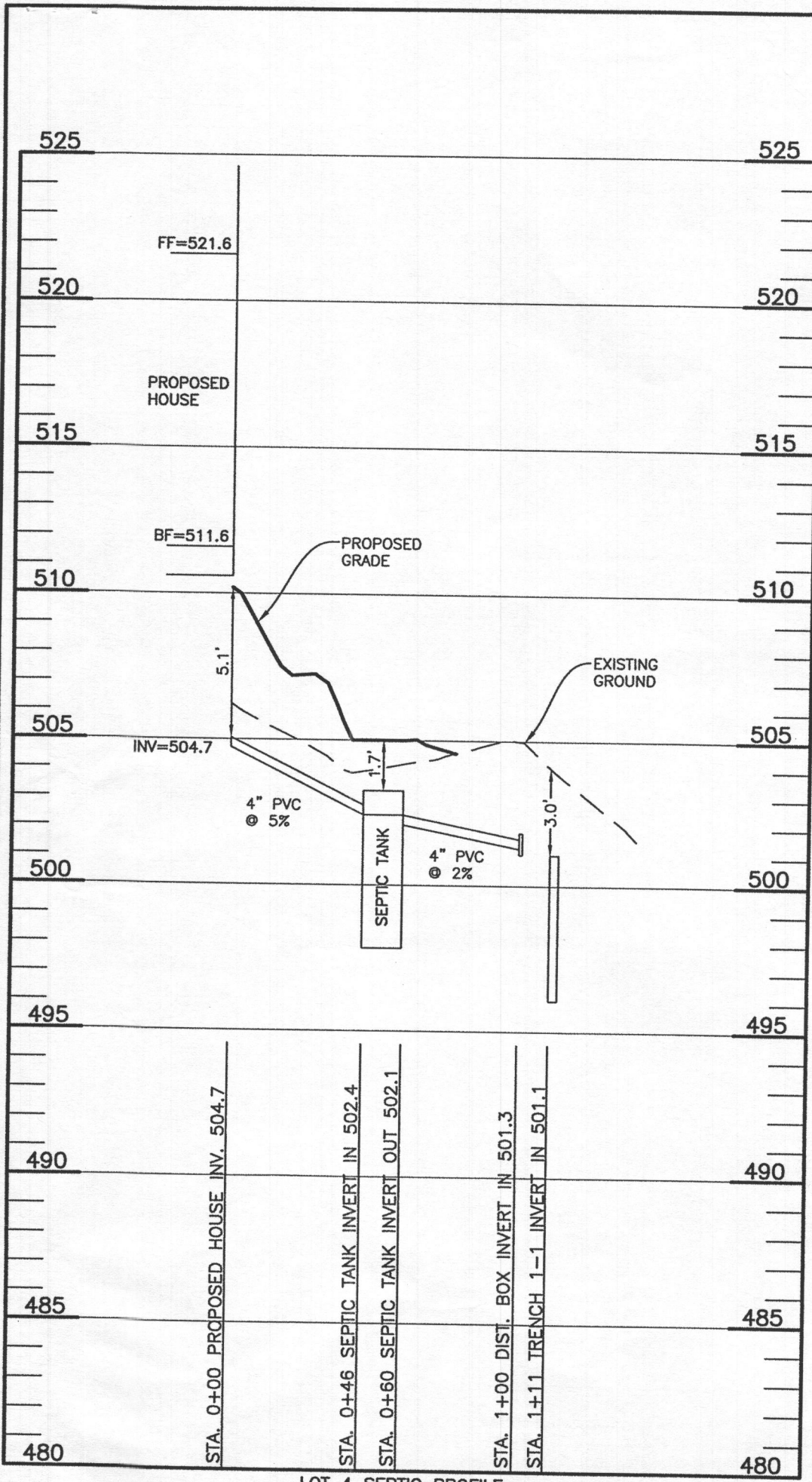


TYPICAL TRENCH DETAIL
NOT TO SCALE

Approved Septic System Plan
Howard County Health Department
Signature 8-15-18
Date

PROJECT: BRIGHTON MILL II LOT 4	
LOCATION: TAX MAP: 34, GRID: 2, PARCEL: 16 ZONED: RR-DEO 13615 CURTIS VISTA WAY CLARKSVILLE, MD 21029 FIFTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #05-600585	
TITLE: ONSITE SEPTIC DESIGN SYSTEM PLAN	
HOUSE TYPE: REGENTS PARK II - ELEVATION E	
DATE: JULY, 2018	PROJECT NO. 2627
SCALE: AS SHOWN	DRAWING 1 OF 2

BUILDER: NV HOMES, INC. 9720 PATUXENT WOODS DRIVE SUITE 100 COLUMBIA, MD 21046 410-379-5956	OWNER: HIGHLAND DEVELOPMENT CORP P.O. BOX 228 CLARKSVILLE, MARYLAND 21029 410-365-0414	BENCHMARK ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 ▲ (F) 410-465-6644 WWW.BEI-CMLENGINEERING.COM
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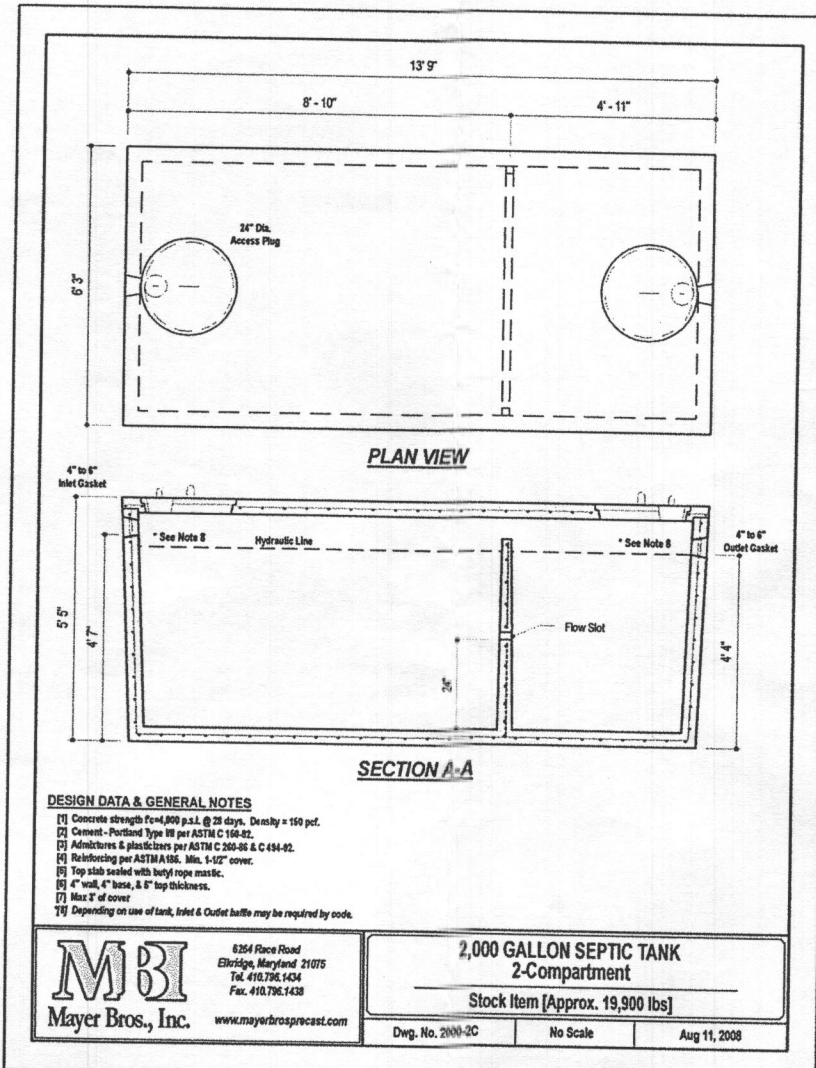
LOT 4 SEPTIC PROFILE
SCALE: 1"=50' HORIZ., 1"=5' VERT.

TRENCH DATA - LOT 4					
INITIAL SYSTEM		FIRST REPLACEMENT		SECOND REPLACEMENT	
TRENCH 1-1		TRENCH 2-1		TRENCH 3-1	
LENGTH	46.9 ft	LENGTH	52.1 ft	LENGTH	73 ft
GROUND ELEVATION	504.1	GROUND ELEVATION	504.5	GROUND ELEVATION	498.0
INVERT ELEVATION	501.1	INVERT ELEVATION	501.5	INVERT ELEVATION	495.0
MAX BOTTOM ELEVATION	496.1	MAX BOTTOM ELEVATION	497.5	MAX BOTTOM ELEVATION	492.0
TRENCH 1-2		TRENCH 2-2		TRENCH 3-2	
LENGTH	46.9 ft	LENGTH	52.1 ft	LENGTH	85 ft
GROUND ELEVATION	502.8	GROUND ELEVATION	503.0	GROUND ELEVATION	496.4
INVERT ELEVATION	499.8	INVERT ELEVATION	500.0	INVERT ELEVATION	493.4
MAX BOTTOM ELEVATION	494.8	MAX BOTTOM ELEVATION	496.0	MAX BOTTOM ELEVATION	490.4
TRENCH 1-3		TRENCH 2-3		TRENCH 3-3	
LENGTH	46.9 ft	LENGTH	52.1 ft	LENGTH	85 ft
GROUND ELEVATION	501.5	GROUND ELEVATION	501.2	GROUND ELEVATION	496.4
INVERT ELEVATION	498.5	INVERT ELEVATION	498.2	INVERT ELEVATION	493.4
MAX BOTTOM ELEVATION	493.5	MAX BOTTOM ELEVATION	494.2	MAX BOTTOM ELEVATION	490.4
TRENCH 1-4		TRENCH 2-4		TRENCH 3-4	
LENGTH	46.9 ft	LENGTH	52.1 ft	LENGTH	85 ft
GROUND ELEVATION	499.8	GROUND ELEVATION	499.5	GROUND ELEVATION	496.4
INVERT ELEVATION	496.8	INVERT ELEVATION	496.5	INVERT ELEVATION	493.4
MAX BOTTOM ELEVATION	491.8	MAX BOTTOM ELEVATION	492.5	MAX BOTTOM ELEVATION	490.4
TRENCH 1-5		TRENCH 2-5		TRENCH 3-5	
LENGTH	46.9 ft	LENGTH	52.1 ft	LENGTH	85 ft
GROUND ELEVATION	498.4	GROUND ELEVATION	498.4	GROUND ELEVATION	496.4
INVERT ELEVATION	495.4	INVERT ELEVATION	495.4	INVERT ELEVATION	493.4
MAX BOTTOM ELEVATION	490.4	MAX BOTTOM ELEVATION	490.4	MAX BOTTOM ELEVATION	490.4

SEPTIC INVERT CHART - LOT 4	
INV @ HOUSE	504.7
GROUND @ HOUSE	510.2
INV IN TANK	502.4
INV OUT TANK	502.1
TOP OF TANK	503.3
GROUND OVER TANK	505.0
INV IN DIST BOX	501.3
INV OUT DIST BOX	501.2
GROUND AT DIST BOX	505.0

Health Department Spec Sheet information			
System	Application Rate	Effective Depth	Bottom Depth
Initial	0.8	6.0	8.0
1st Replacement	0.8	4.5	7.0
2nd Replacement	1.2	4.0	6.0

INITIAL SYSTEM - LOT 4		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	6.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	234	lf
1st REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	4.5	ft
Bottom Max Depth	7.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.56	
Trench width	3	ft
Effective Area Depth	2.5	ft
Trench Spacing	10	ft
Linear Length of trench Required	208	lf
2nd REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	4.0	ft
Bottom Max Depth	6.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.63	
Trench width	3	ft
Effective Area Depth	2	ft
Trench Spacing	10	ft
Linear Length of trench Required	156	lf



DESIGN DATA & GENERAL NOTES
 [1] Concrete strength F_{cm} 4000 p.s.i. @ 28 days. Density = 150 pcf.
 [2] Cement - Portland Type III per ASTM C 150-02.
 [3] Admixtures & plasticizers per ASTM C 260-06 & C 494-02.
 [4] Reinforcing per ASTM A 636, Min. 1-1/2" cover.
 [5] Top slab sealed with butyl rope mastic.
 [6] 4" wall, 4" base, & 2" top thickness.
 [7] Max 2' of cover.
 [8] Depending on use of tank, Inlet & Outlet balls may be required by code.

MBI Mayer Bros., Inc. 6264 Race Road, Ellicott City, Maryland 21045. Tel. 410.790.1434. Fax. 410.790.1438. www.mayerbrosprecast.com

2,000 GALLON SEPTIC TANK
2-Compartment
Stock Item [Approx. 19,900 lbs]

Dwg. No. 2000-2C No Scale Aug 11, 2008

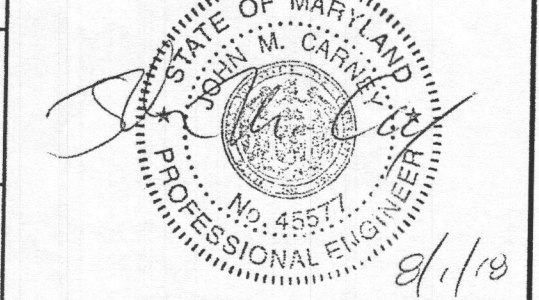
BUILDER:
 NV HOMES, INC.
 9720 PATUXENT WOODS DR.
 SUITE 100
 COLUMBIA, MD 21046
 410-379-5956

OWNER:
 HIGHLAND DEVELOPMENT CORP
 P.O. BOX 228
 CLARKSVILLE, MARYLAND 21029
 410-365-0414

SEE MANUFACTURERS SPECIFICATIONS FOR DETAILS. WWW.MAYERPRECAST.COM EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

SIGNATURE AND SEAL ARE FOR SEPTIC PROFILE AND CALCULATIONS ONLY, TANK AND DETAILS WERE NOT DESIGNED OR REVIEWED BY THE ENGINEER:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577. Expiration Date: 06-08-2020.



BENCHMARK ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 (F) 410-465-6644
 WWW.BEI-CMLENGINEERING.COM

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TITLE:	ONSITE SEPTIC DESIGN SYSTEM PLAN		
HOUSE TYPE:	REGENTS PARK II - ELEVATION E		
DATE:	JULY, 2018	PROJECT NO.	2627
SCALE:	AS SHOWN	DRAWING	2 OF 2

THIS PLAN IS FOR SEPTIC DESIGN ONLY

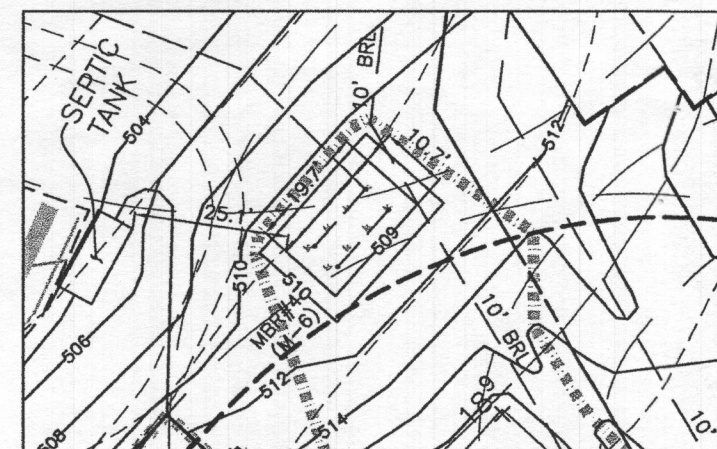
LEGEND

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- EXISTING WELL
- EXISTING WELL BOX
- EXISTING SEWAGE DISPOSAL AREA
- EXISTING PRIVATE PIPE LINE EASEMENT AREA
- SWM DRAINAGE AREA



BUILDING PERMIT PLAN NOTES:

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Approved Septic System Plan
 Howard County Health Department
 Signature *Burard 10/18*
 B1800349 Doc



PLAN VIEW
 1" = 50'

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BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS

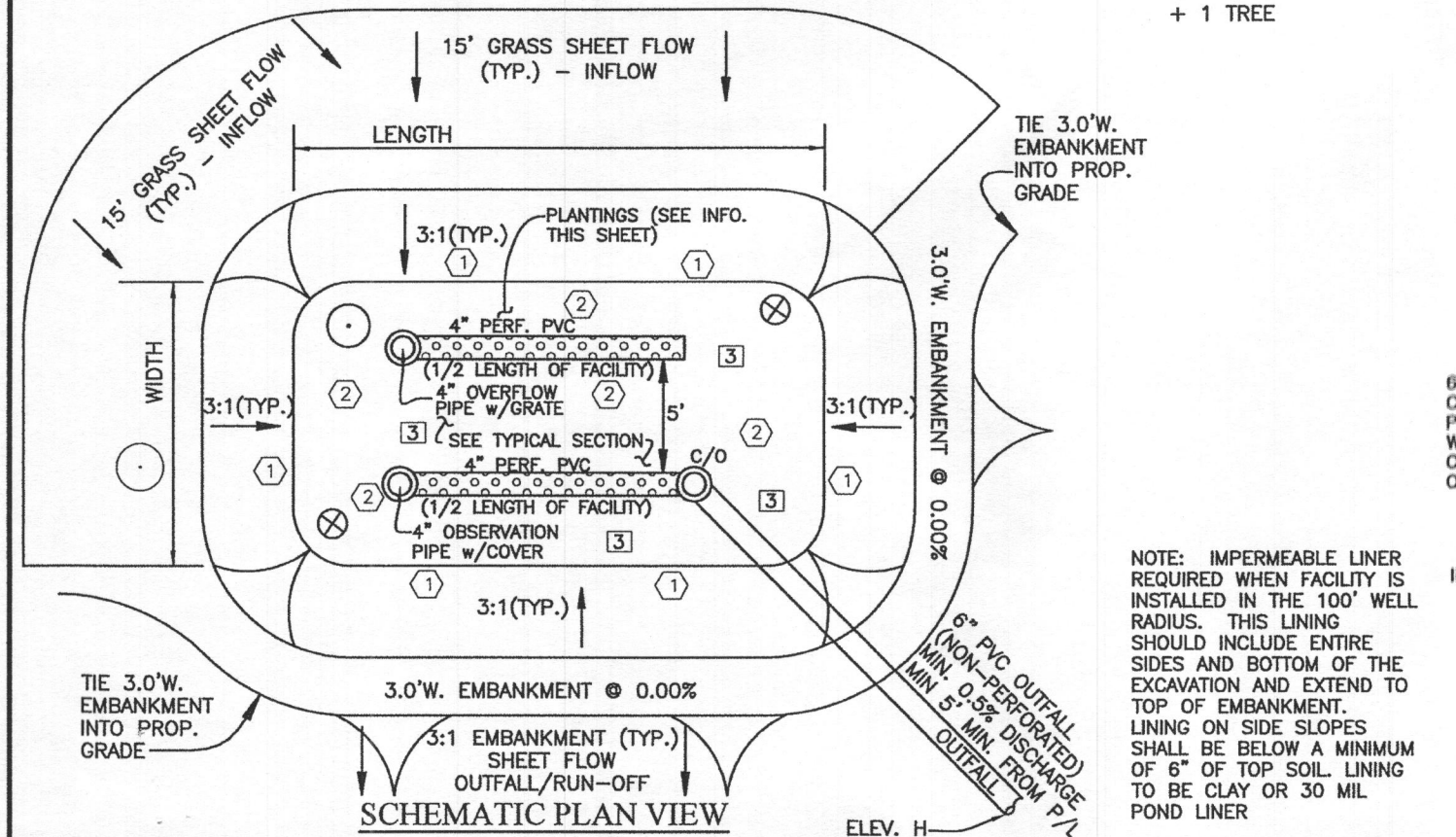
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TITLE:		BUILDING PERMIT PLAN	
HOUSE TYPE:		REGENTS PARK II - ELEVATION E	
DATE:	JULY, 2018	PROJECT NO.	2627
SCALE:	AS SHOWN	DRAWING	1 OF 3

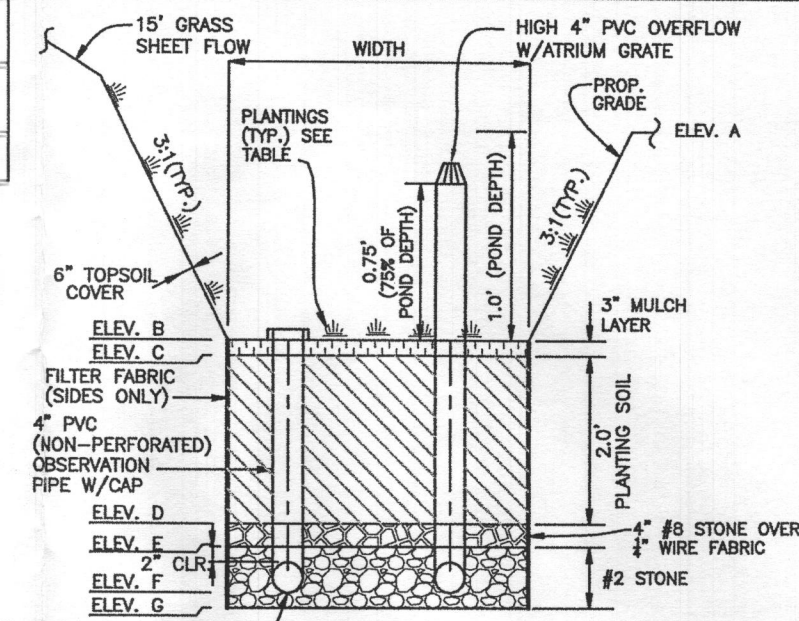
ON-LOT BIORETENTION DIMENSIONS

FACILITY	ON-LOT BIORETENTION DIMENSIONS								LENGTH	WIDTH	FILTER (A)	PLANTINGS			LINER
	A	B	C	D	E	F	G	H				1	2	3	
MBR-4	510.00	509.00	508.75	506.75	506.25	505.75	504.35	493.40	19.7	10.7	211	47	47	23	NO

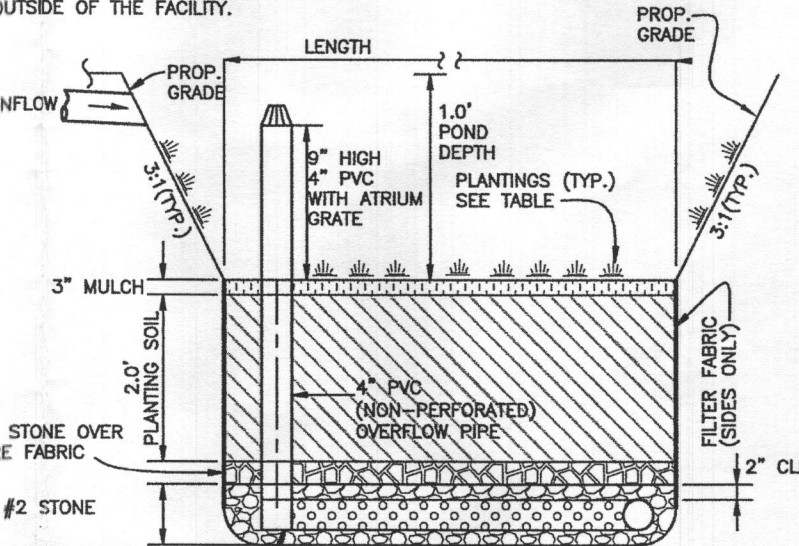
ADDITIONAL
2 SHRUBS
+ 1 TREE



NOTE: IMPERMEABLE LINER REQUIRED WHEN FACILITY IS INSTALLED IN THE 100' WELL RADIUS. THIS LINING SHOULD INCLUDE ENTIRE SIDES AND BOTTOM OF THE EXCAVATION AND EXTEND TO TOP OF EMBANKMENT. LINING ON SIDE SLOPES SHALL BE BELOW A MINIMUM OF 6\"/>



TYPICAL PROFILE



TYPICAL SECTION
MICRO-BIORETENTION DETAILS
NOT TO SCALE

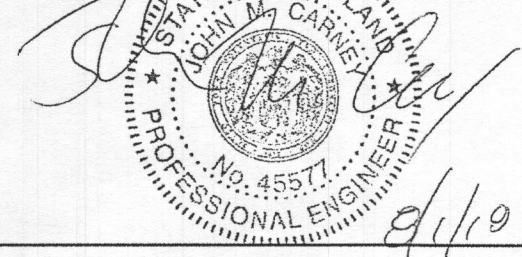
OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

FOR THE OPERATION AND MAINTENANCE OBLIGATIONS AND SCHEDULE, REFER TO THE DECLARATION OF COVENANTS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY MARYLAND FOR THIS LOT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

FOR THE OPERATION AND MAINTENANCE OBLIGATIONS AND SCHEDULE, REFER TO THE DECLARATION OF COVENANTS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY MARYLAND FOR THIS LOT.

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BENCHMARK

ENGINEERS • LAND SURVEYORS • PLANNERS

ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE • SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 • (F) 410-465-6644

WWW.BEI-CVLENGINEERING.COM

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 59	0.375" TO 0.750"
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 0.0% O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

MICROBIORETENTION PLANTING SCHEDULE

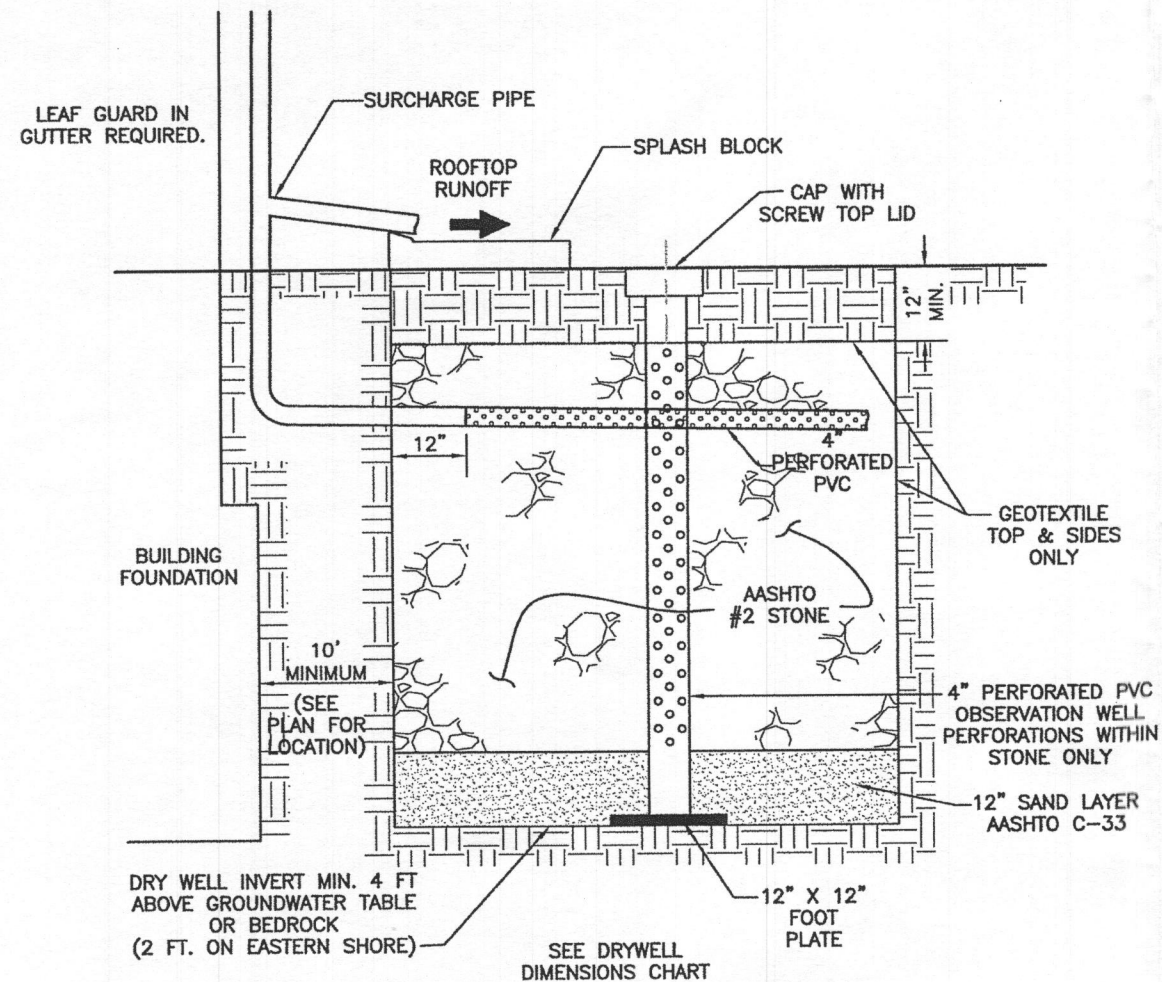
(PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)

- 1 IRIS FULVA (COPPER IRIS)
- 2 LOBELIA CARDINALIS (CARDINAL FLOWER)
- 3 RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER)
- 4 CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
- 5 ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

MICROBIORETENTION PLANTING DATA

- PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
- PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
- AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

PROJECT:	BRIGHTON MILL II LOT 4	
LOCATION:	TAX MAP: 34, GRID: 2, PARCEL: 16 ZONED: RR-DEO 13615 CURTIS VISTA WAY CLARKSVILLE, MD 21029 FIFTH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID #05-600585	
TITLE:	BUILDING PERMIT PLAN	
HOUSE TYPE:	REGENTS PARK II - ELEVATION E	
DATE:	JULY, 2018	PROJECT NO. 2627
SCALE:	AS SHOWN	DRAWING 2 OF 3



DRY WELL DETAIL
NOT TO SCALE

Drywell Designation	Length (ft)	Width (ft)	Depth (ft)	Grade	Top of Stone	Bottom of Stone
DW-1	6.33	6.33	5.00	510.0	509.0	504.0
DW-2	6.75	6.75	5.00	509.0	508.0	503.0

OWNER/DEVELOPER:
HIGHLAND DEVELOPMENT CORP
P.O. BOX 228
CLARKSVILLE, MARYLAND 21029
410-365-0414

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
ELLCOTT CITY, MARYLAND 21043
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DATE:	JULY, 2018	PROJECT NO.	2627
SCALE:	AS SHOWN	DRAWING	3 OF 3

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2018.

[Signature]
JOHN M. GARNER, D.E.
PROFESSIONAL ENGINEER
No. 45577

[Initials]