



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/24/17

Permit No: B17003852

Building Address: 17731 Hardy Rd
 City: Mt Airy State: MD Zip Code: 21771
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Woodcamp Farms
 Section: _____ Area: _____ Lot: 26
 Tax Map: 6 Parcel: 485 Grid: 6
 Zoning: R Map Coordinates: _____ Lot Size: 3.2184 ac

Existing Use: Vacant Land
 Proposed Use: SFD

Estimated Construction Cost: \$ 300,000
 Description of Work: 4 Bedroom 2 1/2 Bath 2 story
unfinished basement

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Thomas Locke + Amber Ryan
 Address: 17731 Hardy Rd
 City: Mt Airy State: MD Zip Code: 21771
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Thomas Locke + Amber Ryan
 Address: 215 W. Manor Ct
 City: Mt Airy State: MD Zip Code: 21771
 Phone: _____ Fax: _____
 Email: amberwaves@gmail.com

Contractor Company: Viking Dev. Corp.
 Contact Person: Cary Cumberland
 Address: 815 Windrunner Dr
 City: Sykesville State: MD Zip Code: 21784
 License No.: 1185
 Phone: 410-977-2188 Fax: _____
 Email: cary@vikingcustomhomes.com

Engineer/Architect Company: Appliedworks
 Responsible Design Prof.: _____
 Address: 392 West Patrick Street
 City: Frederick State: MD Zip Code: _____
 Phone: 301-495-9121 Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>36</u>	<u>53</u>
	2 nd floor: <u>28</u>	<u>53</u>
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>21100380</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Cary Cumberland
 Applicant's Signature
 Email Address: Cary@vikingcustomhomes.com
 Title/Company: President/Viking Dev. Corp

Cary Cumberland
 Print Name
10-24-17
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10/31/17</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>70</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>123101</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



VANMAR
ASSOCIATES, INC.

Engineers • Surveyors • Planners

310 South Main Street, P.O. Box 328, Mount Airy, Maryland 21771

(301) 829-2890

(301) 831-5015

(410) 549-2751

(301) 695-0600

Fax (301) 831-5603

July 3, 2017

Kent Sheubrooks, Division Chief
Division of Land Development
Howard County Department of Planning and Zoning
3430 Courthouse Drive
Ellicott City, Maryland 21043

Re: Wetland Certification
Woodcamp Farms, Lot 26
Tax Map 6, Grid 6, Parcel 485

Dear Kent,

On or about May 29, 2017 a wetlands investigation was performed on the subject property owned by Richard M. & Barbara A Hough. The existing lot is 3.22 acres in size.

The lot is 100% forested with no wetland species found within 100' of the lot boundaries. No surface water was observed. There is a 20' drainage swale through the northern portion of the lot, which collects drainage from the surrounding lands. No surface water nor wetland plant species were observed in the swale.

It is concluded that no wetlands exist on the property or within 100' of any property line.

Sincerely yours,
VanMar Associates, Inc.

David A. Adams, RLA





VANMAR
ASSOCIATES, INC.

Engineers • Surveyors • Planners

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(410) 549-2751
Fax (301) 831-5603

July 7, 2017

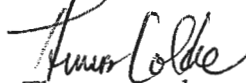
Kent Sheubrooks, Division Chief
Division of Land Development
Howard County Department of Planning and Zoning
3430 Courthouse Drive
Ellicott City, Maryland 21043

Re: Owner's Authorization
Woodcamp Farms, Lot 26
Tax Map 6, Grid 6, Parcel 485

Dear Mr Sheubrooks,

VanMar Associates, Inc is authorized to prepare plans and exhibits for the development of the above referenced property, including application for Alternative Compliance for approval of the removal of specimen trees.

Sincerely yours,


Thomas Locke



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

DILP 2018 MAY 8 PM2:27

Date Received: _____

Permit No.: BK 001570

Building Address: 17731 Hardin Rd
 City: MT Airy State: MD Zip Code: 21771
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Woodcamp Farm
 Section: _____ Area: _____ Lot: 26
 Tax Map: 4 Parcel: 485 Grid: 6
 Zoning: _____ Map Coordinates: _____ Lot Size: 3.21846

Existing Use: SFD
 Proposed Use: SFD w/ propane tank
 Estimated Construction Cost: \$ 8000
 Description of Work:
install 1000 gallon in-ground propane tank

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: Quincy
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Arthur Ryan Thomas Locke
 Address: 215 W. Manor Ct
 City: MT Airy State: MD Zip Code: 21771
 Phone: 301-206-1919 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Micelle Clancy
 Address: PO Box 310
 City: Perry Hall State: MD Zip Code: 21118
 Phone: 410-610-7511 Fax: _____
 Email: Micelle.Clancy@AppliedandApproved.com

Contractor Company: TECU Air
 Contact Person: Dennis Faga
 Address: 1540 A-D Center Center Dr
 City: Baltimore State: MD Zip Code: 21227
 License No.: B1215
 Phone: 410-984-8831 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: Contractor
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Micelle Clancy
 Applicant's Signature
Micelle.Clancy@AppliedandApproved.com
 Email Address

Micelle Clancy
 Print Name
5/7/18
 Date

HARDY ROAD

(50' R/W)
21' ASPHALT PAVING

S57°45'29"E - 199.03'

LOT 25
WOODCAMP FARMS
PLAT NO. 23676
JOHN PIORKOWSKI & REBECCA CARBIS
ZONING: RC-DEO

LOT 27
WOODCAMP FARMS
PLAT NO. 23676
RICHARD & BARBARA HOUGH
ZONING: RC-DEO

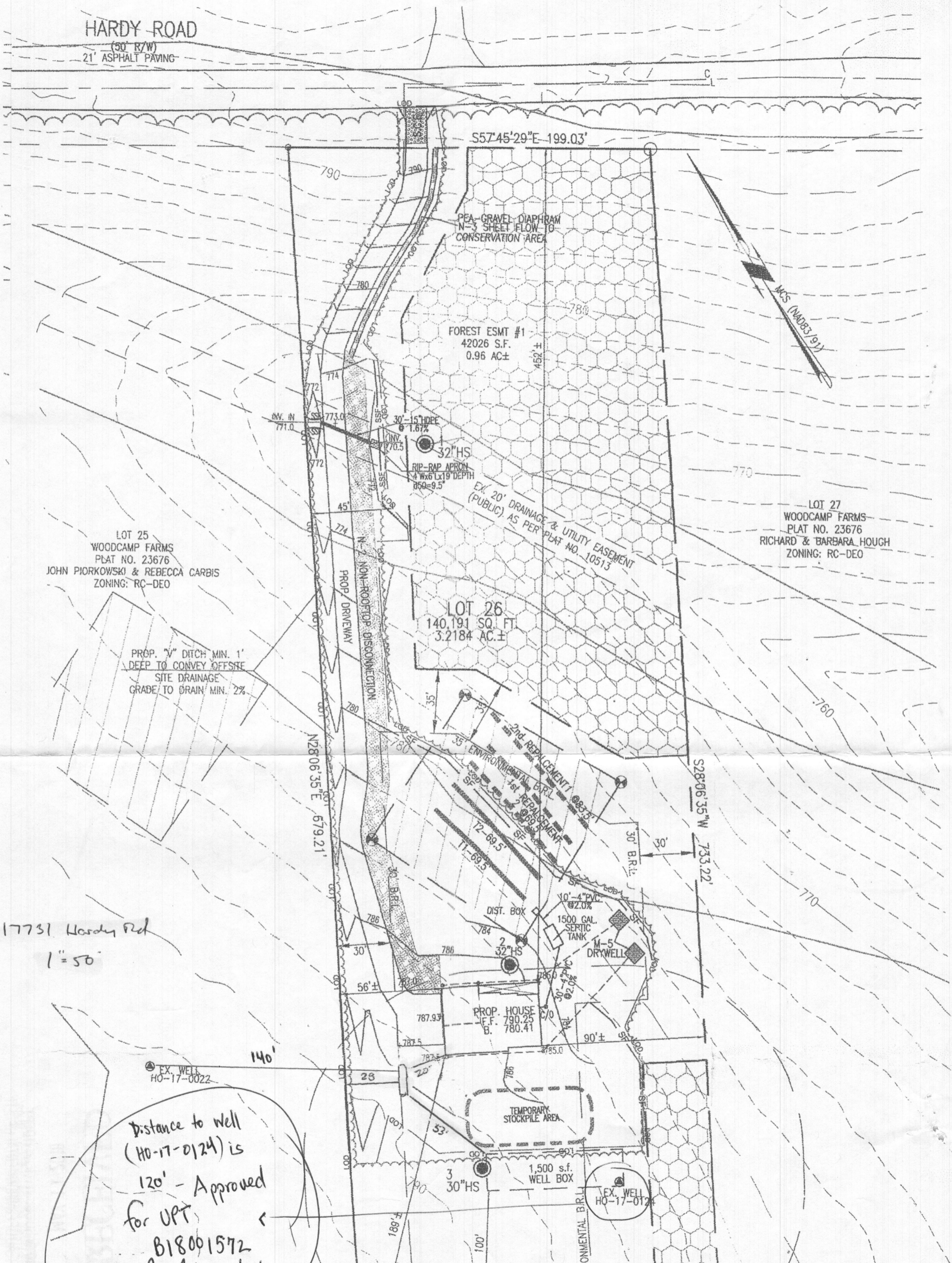
LOT 26
140,191 SQ. FT.
3.2184 AC.±

PROP. "V" DITCH MIN. 1'
DEEP TO CONVEY OFFSITE
SITE DRAINAGE
GRADE TO DRAIN MIN. 2%

17731 Hardy Rd

1" = 50'

Distance to well
(HO-17-0124) is
120' - Approved
for UPT
B18001572





caddworks inc.
 RESIDENTIAL DESIGN
 332 WEST PATRICK STREET / FREDERICK, MD / 21701
 (M) 301.695.9721 (E) DESIGN@CADDWORKS.NET
 (F) 301.695.4868 (W) WWW.CADDWORKS.NET

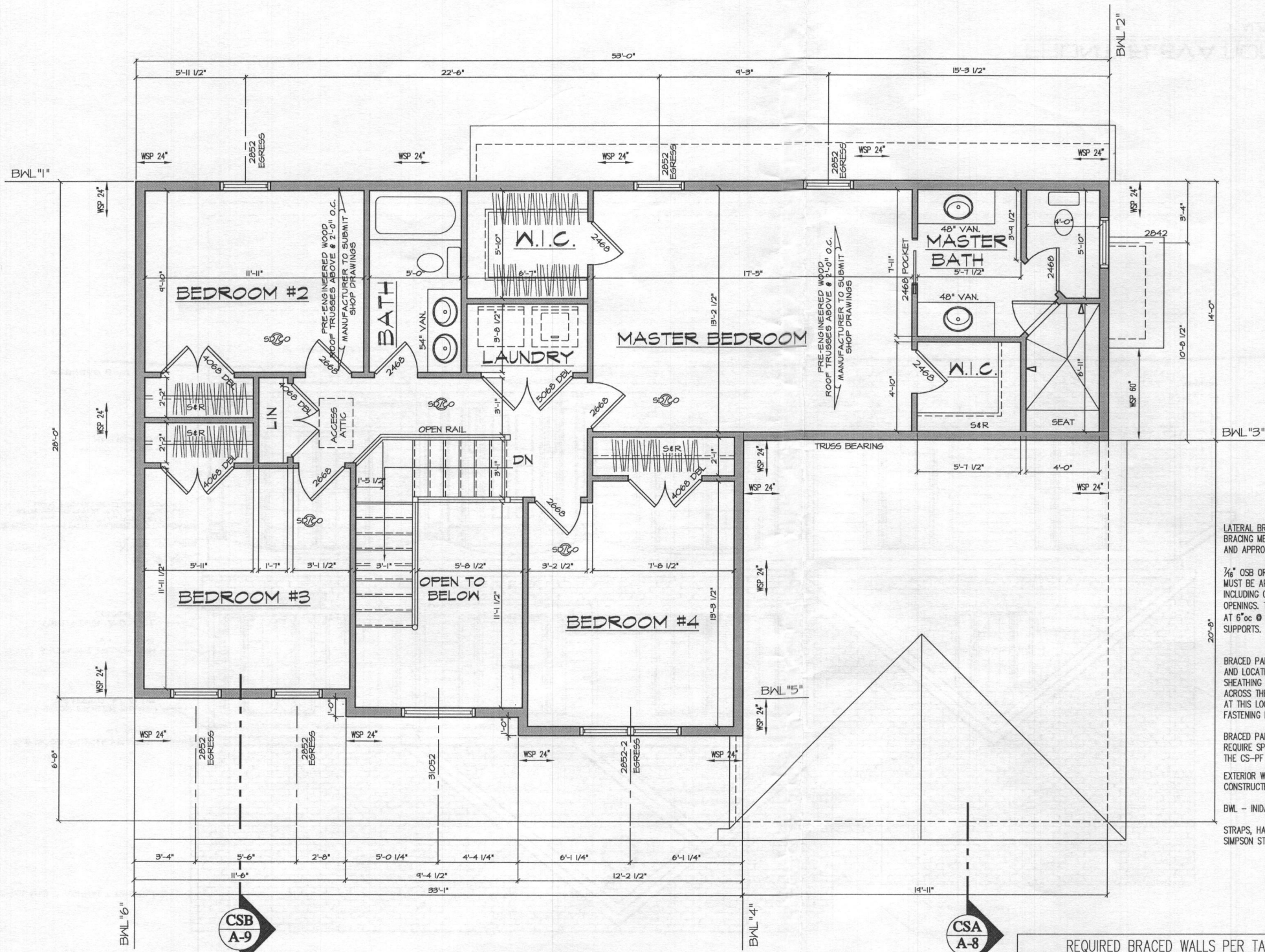
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SUBMITTALS	
ISSUE DATE	REMARKS
8-11-16	PRELIMINARY PLANS
8-22-16	FOUNDATION PLAN
8-28-16	PERMIT SET PLANS

FRONT ELEVATION

VIKING CUSTOM HOMES
 THE MALLORY RESIDENCE

FRONT ELEVATION
 SCALE: 1/4"=1'-0"



LATERAL BRACING NOTES:
BRACING MEETS THE REQUIREMENTS OF 2009 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES

$\frac{3}{8}$ " OSB OR $\frac{1}{2}$ " PLYWOOD WOOD STRUCTURAL PANELS (WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

BRACED PANELS "WSP # " INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE, THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE HOME, HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

BRACED PANEL "PF # " INDICATED A PORTAL FRAME & REQUIRE SPECIAL ATTACHMENT OF THE HEADER. SEE THE CS-PF PORTAL FRAME DETAIL.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL - INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG-TIE OR EQUAL.

REQUIRED BRACED WALLS PER TABLE R602.10.1.2(1)						
BRACED WALL LINE (BWL)	ACTUAL	TABLE	STORY	METHOD	TABLE REQUIRED	PROVIDED
1	28'-0"	30'	2 of 2	CS-WSP	4.5'	10.0'
2	50'-0"	50'	2 of 2	CS-WSP	7.0'	7.0'
3	14'-0"	20'	2 of 2	CS-WSP	3.0'	4.0'
4	20'-0"	20'	2 of 2	CS-WSP	3.0'	6.0'
5	20'-0"	20'	2 of 2	CS-WSP	3.0'	8.0'
6	33'-1"	40'	2 of 2	CS-WSP	5.5'	6.0'

SECOND FLOOR PLAN
1106 SQ. FT 2ND FLOOR SCALE: 1/4"=1'-0"
126 SQ. FT 2ND FLOOR OPEN AREA

(SEE BRACE WALL DETAILS SHEET A-10)

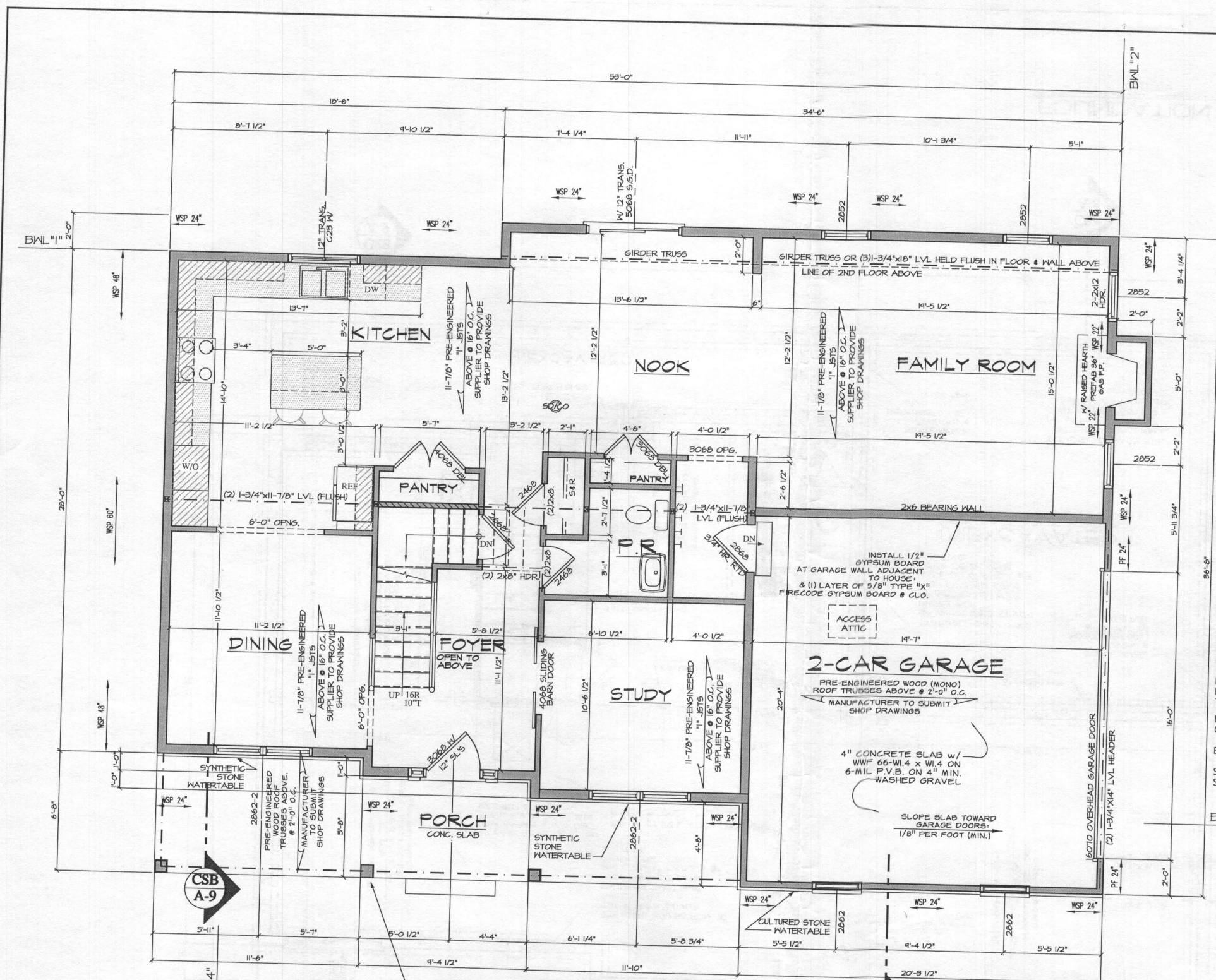
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(F) 301.695.4668 (W) WWW.CADDWORKS.NET

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SUBMITTALS	
DATE	REMARKS
8-14-16	PRELIMINARY PLANS
8-29-16	FOUNDATION PLAN
9-29-16	PERMIT SET PLANS

SECOND FLOOR PLAN

VIKING CUSTOM HOMES
THE MALLORY RESIDENCE



LATERAL BRACING NOTES:
 BRACING MEETS THE REQUIREMENTS OF 2009 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES

7/8" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & 12"oc AT ALL INTERMEDIATE SUPPORTS.

BRACED PANELS "WSP # " INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE, THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE HOME, HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

BRACED PANEL "PF # " INDICATED A PORTAL FRAME & REQUIRE SPECIAL ATTACHMENT OF THE HEADER. SEE THE CS-PF PORTAL FRAME DETAIL.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL - INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG-TIE OR EQUAL.

REQUIRED BRACED WALLS PER TABLE R602.10.1.2(1)

BRACED WALL LINE (BWL)	BWL SPACING ACTUAL	BWL SPACING TABLE	STORY	METHOD	TABLE REQUIRED	PROVIDED
1	30'-8"	40'	1 of 2	CS-WSP	10.5'	12.0'
2	50'-0"	50'	1 of 2	CS-WSP	13.0'	15.67'
3	30'-8"	40'	1 of 2	CS-WSP	10.5'	14.0'
4	50'-0"	50'	1 of 2	CS-WSP	13.0'	13.0'

FIRST FLOOR PLAN
 1316 SQ. FT 1ST FLOOR SCALE: 1/4"=1'-0"

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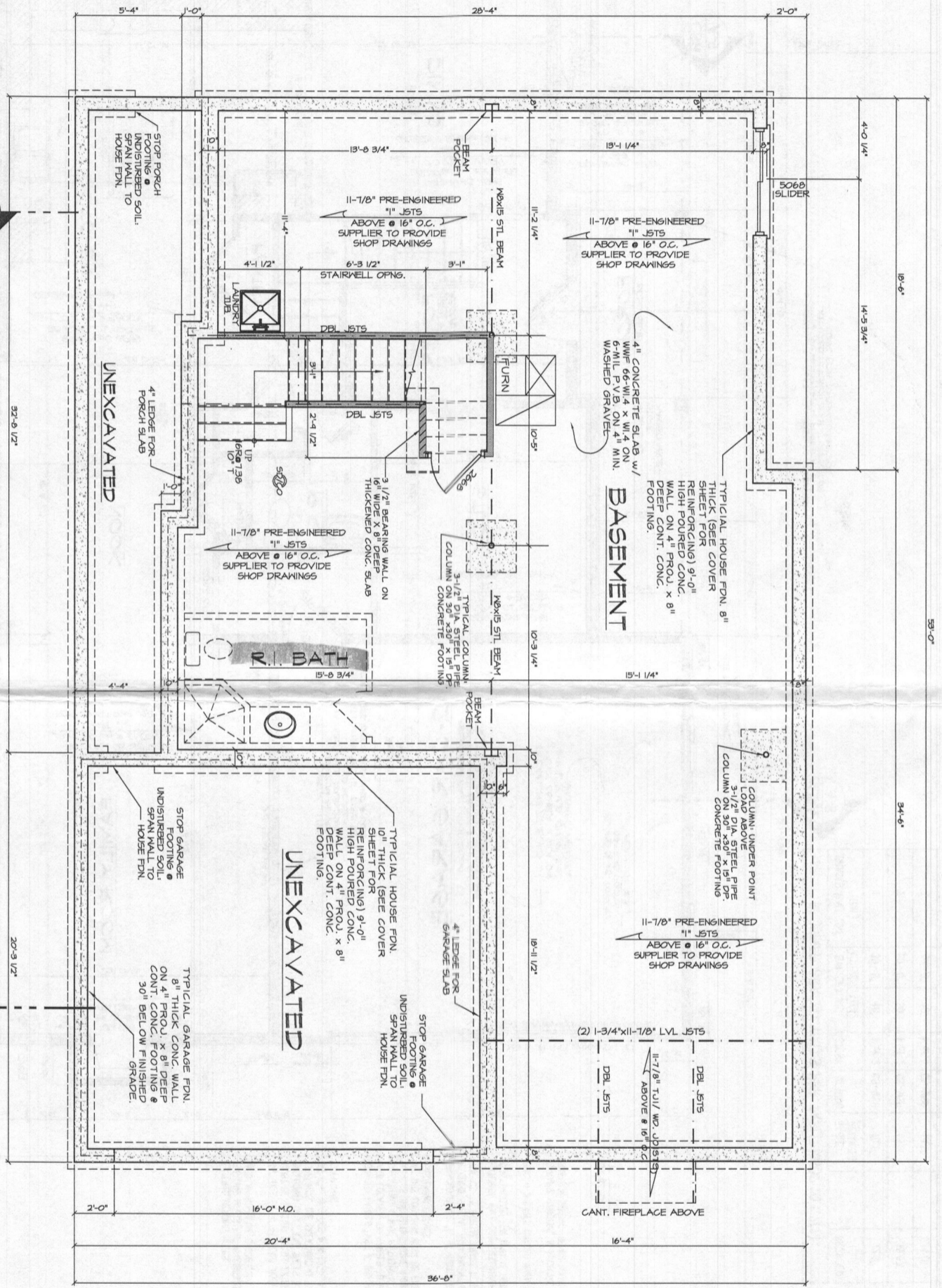
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SUBMITTALS

ISSUE	DATE	BY	REMARKS
P-15-16		DKR	PRELIMINARY PLANS
P-25-16		DKR	FOUNDATION PLAN
P-35-16		DKR	PERMIT SET PLANS

FIRST FLOOR PLAN

VIKING CUSTOM HOMES
THE MALLORY RESIDENCE



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

VIKING CUSTOM HOMES
THE MALLORY RESIDENCE

FOUNDATION PLAN

SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
5-15-16	DHR	PRELIMINARY PLANS
5-25-16	DHR	FOUNDATION PLAN
5-31-16	DHR	PERMIT SET PLANS



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SHEET NO.
A-1

PROJ. NO.: B2141

4 BR
B17003852

HEALTH DEPT

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOWSLING, AND SOIL AMENDMENTS

Definition: The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose: To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies: Where vegetative stabilization is to be established.

Criteria: A. Soil Preparation

- 1. Temporary Stabilization
2. Permanent Stabilization
a. Soil test is required for any earth disturbance of 5 acres or more.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition: The application of seed and mulch to establish vegetative cover.

Purpose: To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies: To the surface of all grading, contours, slopes, and any disturbed area not under active grading.

Criteria: A. Seeding

- 1. Specifications
2. Application
a. Dry Seeding: This includes use of conventional dry or broadcast seeding.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future L.O.D. and protected areas marked clearly in the field.
2. Prior to the start of earth disturbance.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days.

HARDY ROAD

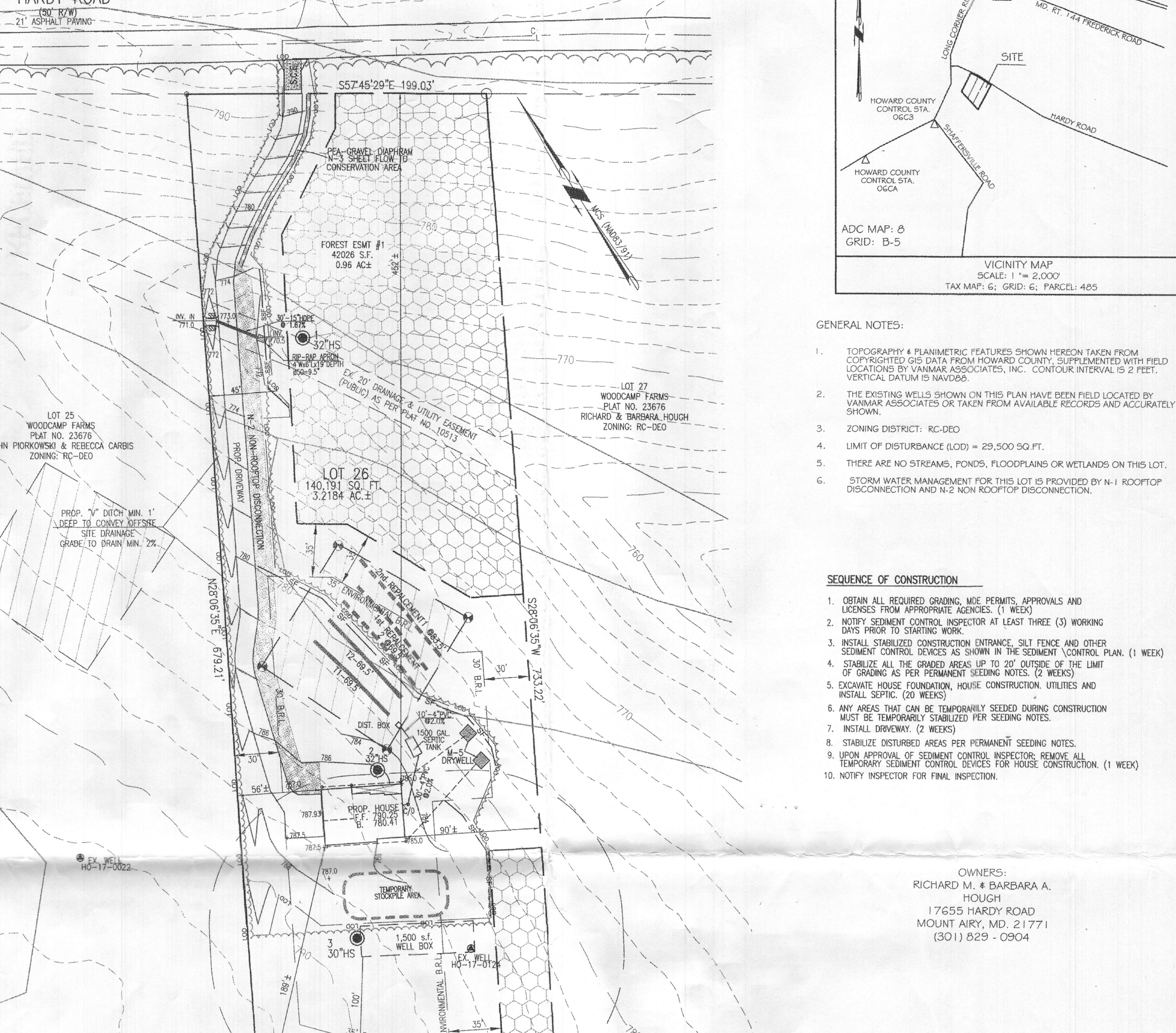


Table with 4 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depth, Fertilizer Rate, Lime Rate. Includes rows for Annual Ryegrass and Fescue Mixture.

Table with 4 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depth, Fertilizer Rate, Lime Rate. Includes rows for Kentucky Bluegrass and Fescue Mixture.

Table with 4 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depth, Fertilizer Rate, Lime Rate. Includes rows for Kentucky Bluegrass and Fescue Mixture.

Table with 4 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depth, Fertilizer Rate, Lime Rate. Includes rows for Kentucky Bluegrass and Fescue Mixture.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Definition: To stabilize disturbed soils with permanent vegetation.

Purpose: To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies: Exposed soils where ground cover is needed for 6 months or more.

Criteria: A. Seed Mixtures

1. General Use

a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone.

b. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.

c. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic planting may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.

d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.

e. Turfgrass Mixtures

a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.

b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.

i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore.

ii. Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management.

iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade.

iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass.

v. For establishment in high quality, intensive managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1x to 3 pounds per 1000 square feet.

Notes: Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultural Recommendations for Maryland".

1. Ideal Times of Seeding for Turf Grass Mixtures: Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)

2. Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 6b)

3. Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

Definition: A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies: Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria: 1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.

2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1.

3. Runoff from the stockpile area must drain to a suitable sediment control practice.

4. Access the stockpile area from the upgrade side.

5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary wall or diversion fence.

6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.

7. Stockpiles must be established in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with appropriate material.

9. The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization.

10. Side slopes must be maintained at no steeper than a 2:1 vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 4:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

11. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

12. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

13. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

14. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

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31. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

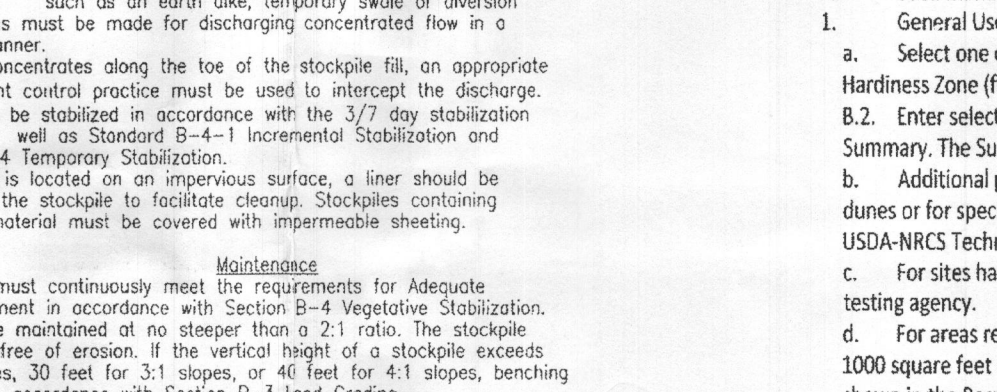
32. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

33. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

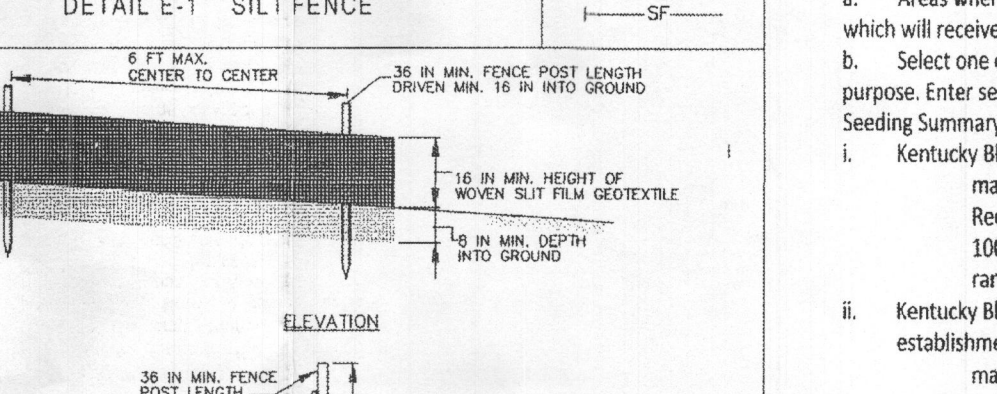
34. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

35. The stockpile area must be stabilized in accordance with Section B-3 Land Grading.

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE



DETAIL E-1 SILT FENCE



CONSTRUCTION SPECIFICATIONS

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SOIL. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOTS). USE MINIMUM WIDTH OF 10 FEET. PLACE SIZE TO FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER INTO THE DIVERSION TRENCH TO BE LOCATED TOWARD THE SIDE UNDER THE ENTRANCE.

WELL CERTIFICATION

I HEREBY CERTIFY THAT THE EXISTING WELL TAG NO. HO-17-0124 HAS BEEN FIELD LOCATED AND ACCURATELY SHOWN HEREON.

RONALD E. THOMPSON, P.E.

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18411, Expiration Date: 8-18-17.

DATE: 6/7/2017

SCALE: 1" = 20.00'

DEVELOPER'S CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Carly Cambelland 6/7/17 DEVELOPER DATE

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND THE 2011 MARYLAND STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

Ronald E. Thompson, P.E. 6/7/2017 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Howard Soil Conservation District 6/18/17 DATE

PLOT PLAN AND SEDIMENT CONTROL PLAN

LOT 26 WOODCAMP FARMS (A REVISION OF PLAT NO. 10513)

TAX MAP: G ELECTION DISTRICT: No. 4 SCALE: 1" = 50'

GRID NO: 6 HOWARD COUNTY, MARYLAND DATE: APRIL 2017

P/O PARCEL NO: 485 EX. ZONING: R SHEET 1 OF 1

VANMAR ASSOCIATES, INC. Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771 (301) 829-2890 (301) 831-5015 (410) 549-2751 Fax (301) 831-5603 ©Copyright, Latest Date Shown