

## Ron Thompson

---

**From:** Collins, Sarah <SCollins@howardcountymd.gov>  
**Sent:** Friday, April 21, 2017 9:26 AM  
**To:** Ron Thompson  
**Subject:** Woodcamp Farms Lot 25  
**Attachments:** 2017.04.19 Woodcamp Farms lot 25 memo.pdf

LOT 26

Hi Ron,

Here's the memo I sent out regarding the perc cert for lot ~~25~~<sup>26</sup> Woodcamp Farms. Let me know if you have any questions.

Have a good weekend,  
Sarah

LOT 26

Sarah Collins, L.E.H.S.  
Environmental Health Specialist  
Howard County Health Department  
Bureau of Environmental Health  
SCollins@howardcountymd.gov  
410-313-6287

### CONFIDENTIALITY NOTICE

*This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.*

# LETTER OF TRANSMITTAL

AGENCY  CLIENT  FILE  BILLING  CORRESPONDANCE  OTHER

## VanMar Associates, Inc.

Engineers ~ Surveyors ~ Planners  
310 South Main Street, P.O.Box 328, Mt. Airy, MD 21771  
301-829-2890 301-831-5015 301-695-0600  
410-549-2751 (FAX) 301-831-5603

**TO:** : Howard County Health Department  
Bureau of Environmental Health  
8930 Stanford Blvd  
Columbia, Maryland 21045

Attn: Sarah Collins

**DATE:** April 28, 2017

**PROJECT:** Woodcamp Farms, Lot 26  
Percolation Certification Plat

**VMA#** B4-5428

### ENCLOSED:

COPIES	DATE	DESCRIPTION
3	4/21/17	Email from Sarah Collins
3	4.27.16	Percolation Certification Plan Woodcamp Farms, Lot 26

**REMARKS:** Hi Sarah, submitted for your review and approval. Have a great day!

**COPIES TO (ADDRESS):** Viking Custom Homes, 12800 Frederick Road, West Friendship, MD 12794

**SUBMITTED BY** dlv

G:ENGRS..b75434.Ho.Co.H.D Perc Cert Plan submission 4.28.17





**Bureau of Environmental Health**

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

---

**Dr. Maura J. Rossman, M.D., Health Officer**

---

**Memorandum**

TO: Vanmar Associates, Inc.  
Ron Thompson

FROM: Hank Oswald  
Well & Septic Program

RE: Percolation Certification Plan

DATE: May 2, 2017

---

The Health Department has reviewed the percolation cert plan and has the following comments.

1. Change note #7 to include the well tag number
2. Delete note # 11. It does not apply.
3. Delete legend symbols that don't apply to plan (i.e. proposed perc test site).
4. Boundary dimensions and sewage disposal area (SDA) does not match signed preliminary plan (See attachment)

Please make the requested changes to the plan. Should you have any questions, please don't hesitate to ask.

## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Tuesday, May 02, 2017 9:42 AM  
**To:** ron@vanmar.com  
**Subject:** Woodcamp Farms\_Lot 26  
**Attachments:** WS\_Woodcamp.pdf; Memo\_Perc Cert Plan\_5.2017.pdf

Hi Ron:

Attached, please find a copy of the previously approved preliminary plan and memo for Woodcamp Farms, Lot 26. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

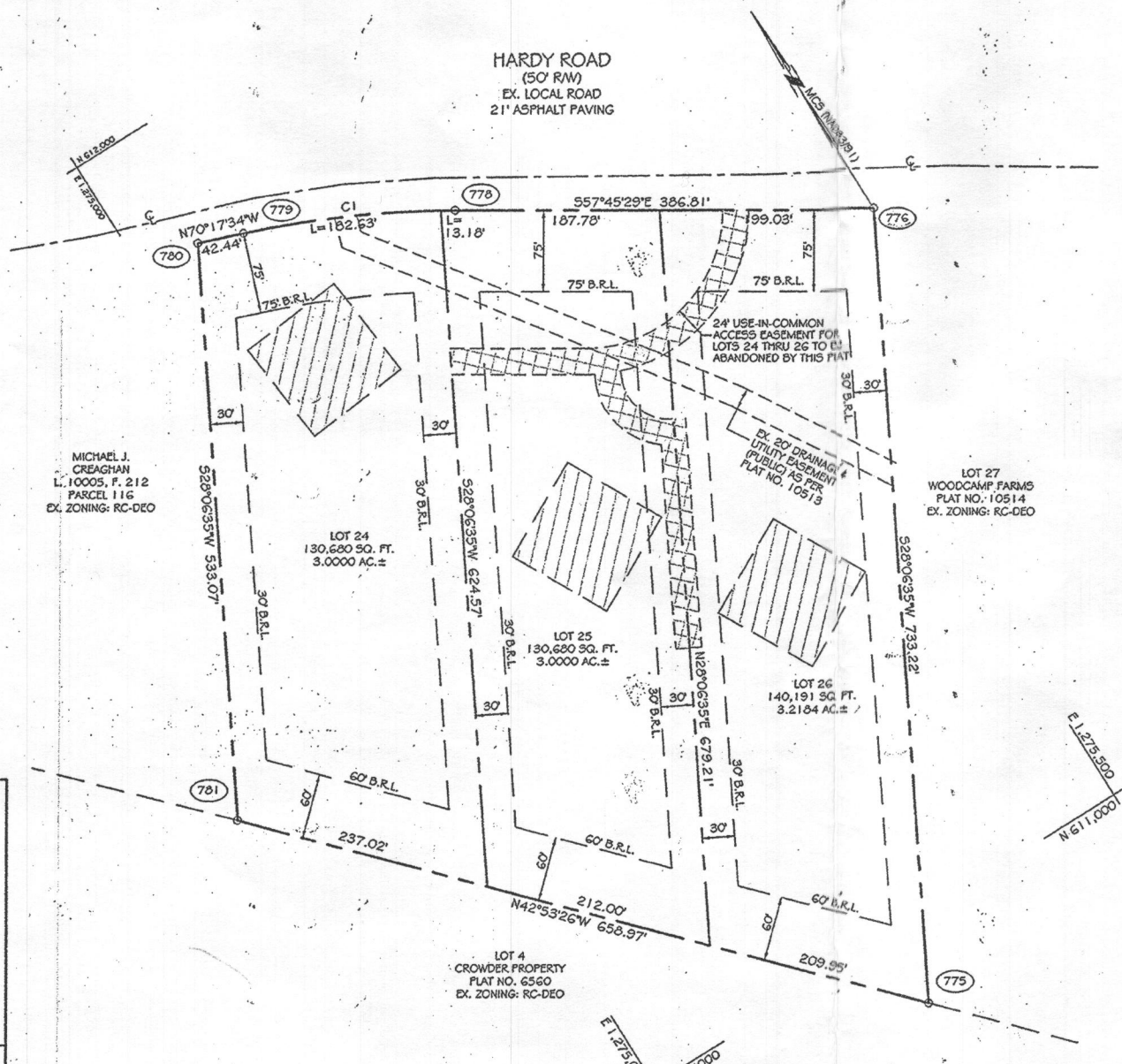
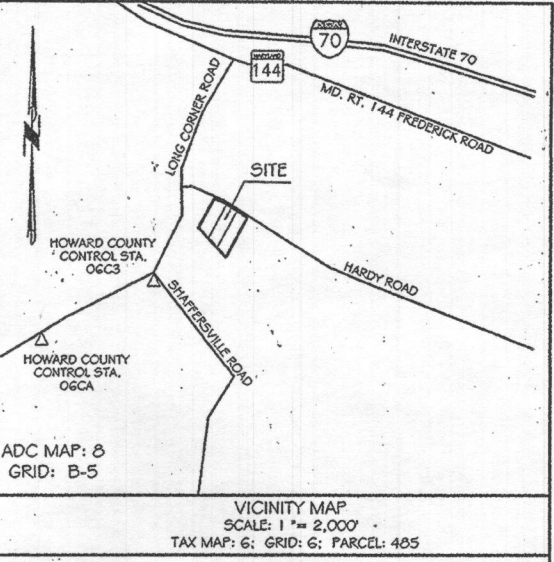
Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

LOT NO.	GROSS AREA	PIFESTEM AREA	REMAINING AREA	100 YEAR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
24	3.0000 AC.±	0.0000 AC.±	3.0000 AC.±	0.0000 AC.±	0.0000 AC.±	3.0000 AC.±
25	3.0000 AC.±	0.0000 AC.±	3.0000 AC.±	0.0000 AC.±	0.0000 AC.±	3.0000 AC.±
26	3.2184 AC.±	0.0000 AC.±	3.2184 AC.±	0.0000 AC.±	0.0000 AC.±	3.2184 AC.±

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT
C1	895.00'	135.81'	12°32'07"	S64°01'33"E	195.42'	98.30'

Point#	Northings	Eastings
774	611081.6822	1275111.0300
775	610927.8612	1275253.9219
776	611574.5913	1275599.3896
778	611780.9530	1275272.2248
779	611866.5404	1275096.5440
780	611880.8518	1275056.5898
781	611410.6593	1274805.4273

OWNERS:  
 RICHARD M. & BARBARA A. HOUGH  
 17655 HARDY ROAD  
 MOUNT AIRY, MD. 21771  
 (301) 829-0904



GENERAL NOTES:

- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT REGULATIONS.
- COORDINATES ARE BASED ON THE MARYLAND COORDINATE SYSTEM (NAD 83/91) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 06C3 AND 06CA.  
 STA. 06C3 N. 610,673.221 E. 1,273,997.317 (sft.)  
 STA. 06CA N. 610,135.486 E. 1,272,833.944 (sft.)
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET (OR 10,000 SQUARE FEET PER LOT FOR SHARED DRAIN FIELDS ASSOCIATED WITH A SHARED SEWAGE DISPOSAL FACILITY) AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE SYSTEM. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL BE NECESSARY.
- B.R.L. - REPRESENTS BUILDING RESTRICTION LINES  
 □ REPRESENTS CONCRETE MONUMENT SET (UNLESS OTHERWISE NOTED)  
 ○ REPRESENTS IRON REBAR SET (UNLESS OTHERWISE NOTED)
- THE SUBJECT PROPERTY IS ZONED "RC-DEO" PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
 1) WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE);  
 2) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.);  
 3) GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;  
 4) STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);  
 5) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN ONE FOOT DEPTH OVER DRIVEWAY SURFACE;  
 6) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAT IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT APRIL, 2014 BY VANMAR ASSOCIATES, INC.
- AREAS AS STATED ON THIS PLAT ARE TO BE TAKEN AS MORE OR LESS, UNLESS OTHERWISE NOTED.
- THIS PLAT IS IN COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THIS LOT MUST COMPLY WITH THE SETBACK AND BUFFER REGULATION IN EFFECT AT THE TIME OF SUBMISSION OF THE BUILDING/GRADING PERMIT.
- THERE ARE NO HISTORIC SITES, CEMETERIES OR ENVIRONMENTAL FEATURES ON THIS PROPERTY TO THE BEST OF THE OWNER'S KNOWLEDGE.
- DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES LOCATED IN, ON OVER AND THROUGH LOTS / PARCELS. ANY CONVEYANCES OF THE AFORESAID LOTS / PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED CONVEYING SAID LOTS / PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEEDS OF EASEMENTS IN THE LAND RECORDS OF HOWARD COUNTY.
- THERE ARE NO STEEP SLOPES, WETLANDS, STREAMS, FLOODPLAINS OR BUFFERS OR FORESTED AREAS ON THIS SITE.
- INDIVIDUAL ENTRANCE SIGHT DISTANCES WITH THE 85th PERCENTILE SPEED STUDY FOR LOTS 24 - 26 WERE APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION.
- THIS PLAT OF REVISION IS EXEMPT FROM COMPLIANCE WITH THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 (b)(1)(v)(1)) BECAUSE THIS IS A PLAT OF REVISION OF EASEMENTS WHICH DOES NOT CREATE ADDITIONAL LOTS.
- THIS PLAT OF REVISION IS SOLELY TO ABANDON THE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 24-26. THE LOT LINES FOR LOTS 24-26 ARE DISTINGUISHED BY A DOTTED LINE.
- THE PROPERTY IS NOT LOCATED IN THE METROPOLITAN DISTRICT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.

THE REQUIREMENTS § 3-108, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1988 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

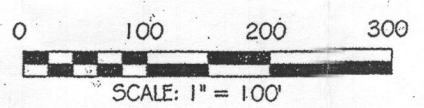
*Thomas L. Frazer* 12/31/15  
 THOMAS L. FRAZER, JR., Prof.L.S. NO. 21097 DATE

*Richard M. Hough* 12-31-15  
 RICHARD M. HOUGH, OWNER DATE

*Barbara A. Hough* 12-31-15  
 BARBARA A. HOUGH, OWNER DATE

a. Total number of lots and/or parcels to be recorded	
• Buildable	3
• Non-Buildable	0
• Open Space	0
• Preservation Parcels	0
b. Total area of lots and/or parcels	
• Buildable	9,2184 Ac.±
• Non-Buildable	0
• Open Space	0
• Preservation Parcels	0
c. Total area of roadway to be recorded including widening strips	
	0.0000 Ac.±
d. Total area of subdivision to be recorded	
	9.2184 Ac.±

Signed 1/29/16



APPROVED  
 HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Chad E. Johnson* 2-23-16  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Weston J. Decker* 2-25-16  
 DIRECTOR DATE

OWNER'S CERTIFICATE

WE, RICHARD M. HOUGH AND BARBARA A. HOUGH, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS:

- THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHTS-OF-WAY AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON;
- THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS AND OPEN SPACE WHERE APPLICABLE, AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOODPLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE;
- THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND
- THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHTS-OF-WAYS.

WITNESS MY/OUR HANDS THIS 31st DAY OF December, 2015

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT; THAT IT IS A RESUBDIVISION OF PART OF THE LANDS CONVEYED BY RICHARD M. HOUGH AND BARBARA A. HOUGH, HIS WIFE, WAYNE C. HOUGH AND BARBARA A. HOUGH, HIS WIFE, WILLIAM DALE HOUGH AND LINDA G. HOUGH, HIS WIFE UNTO RICHARD M. HOUGH AND BARBARA A. HOUGH, HIS WIFE BY DEED DATED OCTOBER 16, 1978 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 908 FOLIO 275; AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAND SURVEYING ACT OF MARYLAND, LICENSE NO. 21097, EXPIRATION DATE JULY 1, 2018. MY OFFICE IS LOCATED AT 17 FRAZIER LANE, MOUNT AIRY, MD. 21771. MY PHONE NUMBER IS 301-829-0904.

THOMAS L. FRAZER, JR.  
 SURVEYOR

RECORDED AS PLAT NO. 23676 ON 2/25/16 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

PLAT OF REVISION  
 LOTS 24 THRU 26  
 WOODCAMP FARMS  
 (A REVISION OF PLAT NO. 10513)

PREVIOUS FILE NOS. SP-89-62, WP-89-148, F-86-67, F-79-106, P-92-14, F-92-128

TAX MAP: 6 ELECTION DISTRICT: No. 4 SCALE: 1" = 100'  
 GRID NO: 6 HOWARD COUNTY, MARYLAND DATE: NOVEMBER, 2015  
 PARCEL NO: 485 EX. ZONING: R SHEET 1 OF 1

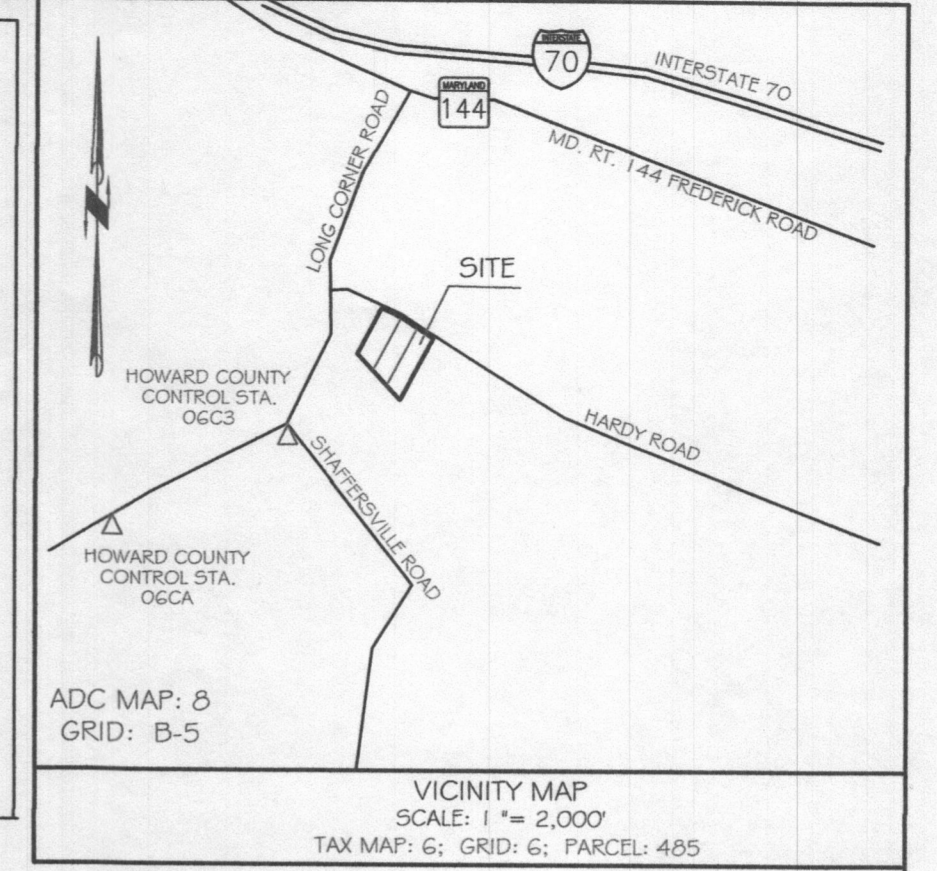
VANMAR ASSOCIATES, INC.



THIS AREA DESIGNATES A 10,000 SQUARE FOOT PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.

PROPOSED PERCOLATION TEST SITE: ⊕  
(PASSED) PERCOLATION TEST SITE: ⊙  
(FAILED) PERCOLATION TEST SITE: ⊕  
EX. WELL/PROP. WELL SITE: ●

25% OR GREATER SLOPES (THERE ARE NO 25% SLOPES ON THE SUBJECT PROPERTY)



- GENERAL NOTES:**
- OWNER: RICHARD M. & BARBARA A. HOUGH  
DEED REFERENCE: LIBER 908 AT FOLIO 275  
DATE: OCTOBER 16, 1978  
GRANTOR: RICHARD M. & BARBARA A. HOUGH
  - TAX MAP: G GRID: 06 PARCEL: 485
  - NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 2 MILES ±
  - TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
  - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS SHOWN BELOW. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.  
STA. 06C3 N. 610,673.221 E. 1,273,997.317(9FT.)  
STA. 06CA N. 610,135.486 E. 1,272,833.944(9FT.)
  - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
  - THE EXISTING WELL SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
  - SOIL TYPE: GLENELG LOAM (GGB) HOWARD COUNTY SOILS MAP 7
  - ZONING DISTRICT: RC-DEO
  - ALL WELLS TO BE DRILLED PRIOR TO FINAL PLAT SIGNATURE. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO THE FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS-UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.
  - THE LOT SHOWN HEREON COMPLYS WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
  - ANY CHANGES TO A PRIVATE SEPTIC AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

**PROFESSIONAL CERTIFICATION**

I hereby certify all wells shown have been field located and there are no other wells or septic systems within 100 feet of the property boundary unless otherwise shown hereon.

*Ronald E. Thompson* 4/28/2017  
For VanMar Associates, Inc. Date  
Ronald E. Thompson, PE

OWNERS:  
RICHARD M. & BARBARA A. HOUGH  
17655 HARDY ROAD  
MOUNT AIRY, MD. 21771  
(301) 829-0904

DEVELOPER:  
VIKING CUSTOM HOMES  
12800 FREDERICK ROAD  
WEST FRIENDSHIP, MD. 21794  
410-489-6728

**PROFESSIONAL CERTIFICATION**

I hereby certify that this document was prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 21266, Expiration Date 09/18/17, in accordance with COMAR 09.13.06.12.

*Ronald E. Thompson* 4/28/2017  
For VanMar Associates, Inc. Date  
Ronald E. Thompson, PE

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

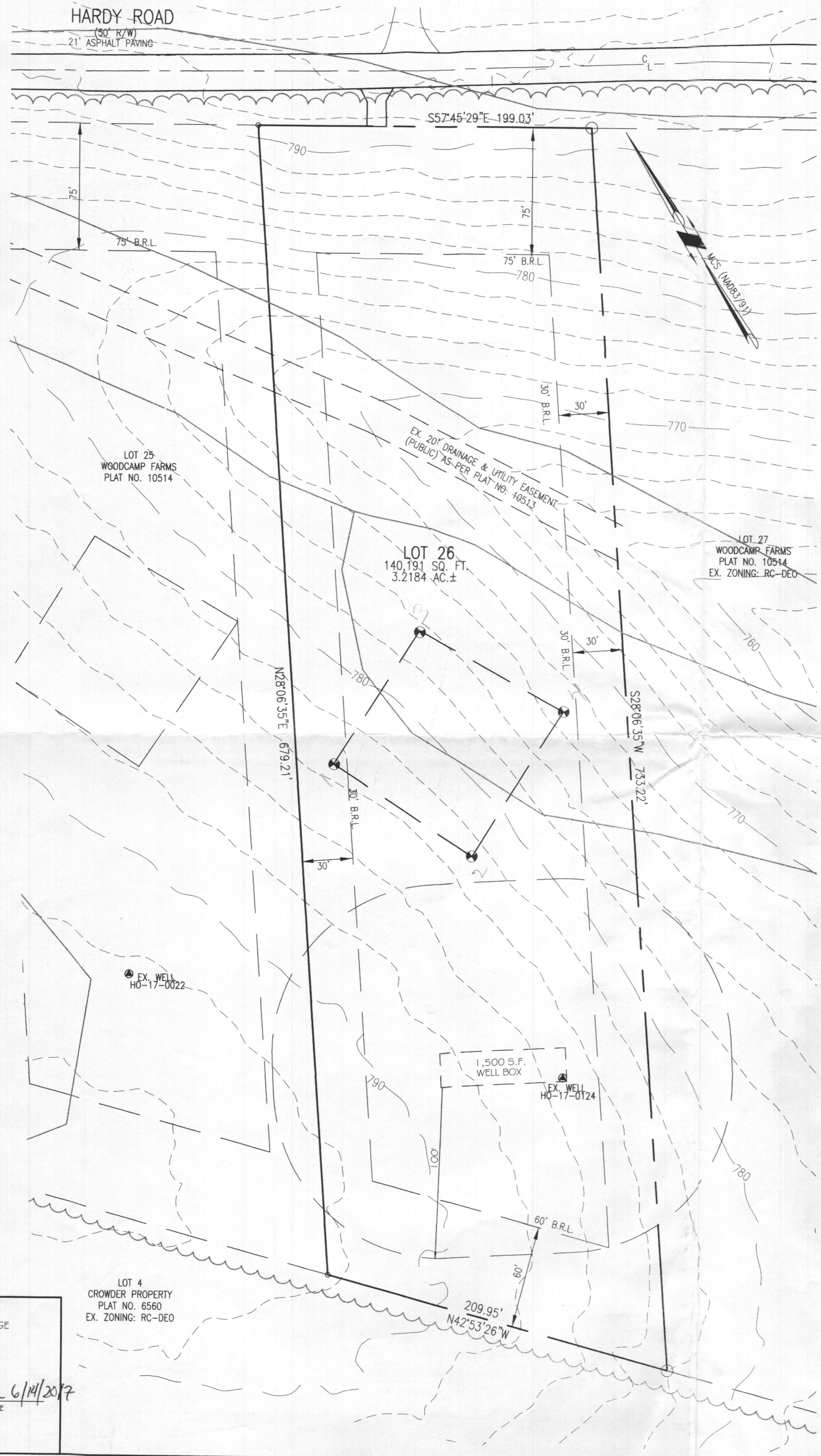
LOT 4  
CROWDER PROPERTY  
PLAT NO. 6560  
EX. ZONING: RC-DEO

DATE	REVISIONS

**PERCOLATION CERTIFICATION PLAN**  
**LOT 26**  
**WOODCAMP FARMS**  
**PLAT NO. 23676**

TAX MAP: G	ELECTION DISTRICT: No. 4	SCALE: 1" = 50'
GRID NO: 6	HOWARD COUNTY, MARYLAND	DATE: APRIL, 2017
P/O PARCEL NO: 485	EX. ZONING: R	SHEET 1 OF 1

**VANMAR ASSOCIATES, INC.**  
**Engineers Surveyors Planners**  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2751  
Fax (301) 831-5603 ©Copyright, Latest Date Shown

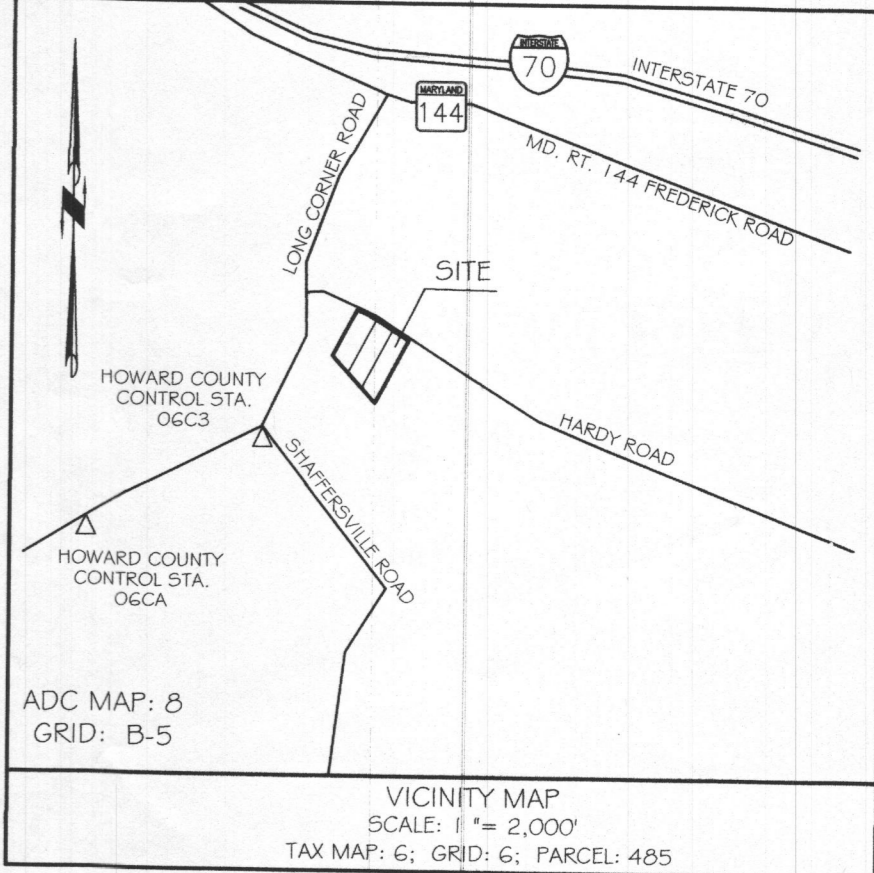


THIS AREA DESIGNATES A 10,000 SQUARE FOOT PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.

(PASSED) PERCOLATION TEST SITE:

EX. WELL SITE:

25% OR GREATER SLOPES (THERE ARE NO 25% SLOPES ON THE SUBJECT PROPERTY)



- GENERAL NOTES:
- OWNER: RICHARD M. & BARBARA A. HOUGH  
DEED REFERENCE: LIBER 908 AT FOLIO 275  
DATE: OCTOBER 16, 1978  
GRANTOR: RICHARD M. & BARBARA A. HOUGH
  - TAX MAP: 6 GRID: 06 PARCEL: 485
  - NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 2 MILES ±
  - TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD88.
  - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS SHOWN BELOW.  
DISTANCES SHOWN HEREON ARE GROUND DISTANCES.  
STA. OGCS N. 610,673.22 E. 1,273,997.317(SFT.)  
STA. OGCA N. 610,135.486 E. 1,272,833.944(SFT.)
  - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
  - THE EXISTING WELL (HO-17-0124) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
  - SOIL TYPE: GLENELG LOAM (GGB) HOWARD COUNTY SOILS MAP 7
  - ZONING DISTRICT: RC-DEO
  - THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
  - ANY CHANGES TO A PRIVATE SEPTIC AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

PROFESSIONAL CERTIFICATION

I hereby certify all wells shown have been field located and there are no other wells or septic systems within 100 feet of the property boundary unless otherwise shown hereon.

For VanMar Associates, Inc.  
Ronald E. Thompson, PE

6/5/2017  
Date

OWNERS:  
RICHARD M. & BARBARA A. HOUGH  
17655 HARDY ROAD  
MOUNT AIRY, MD. 21771  
(301) 829-0904

DEVELOPER:  
VIKING CUSTOM HOMES  
12800 FREDERICK ROAD  
WEST FRIENDSHIP, MD. 21794  
410-489-6728

PROFESSIONAL CERTIFICATION

I hereby certify that this document was prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 21266, Expiration Date 09/18/17, in accordance with COMAR 09.13.06.12.

For VanMar Associates, Inc.  
Ronald E. Thompson, PE

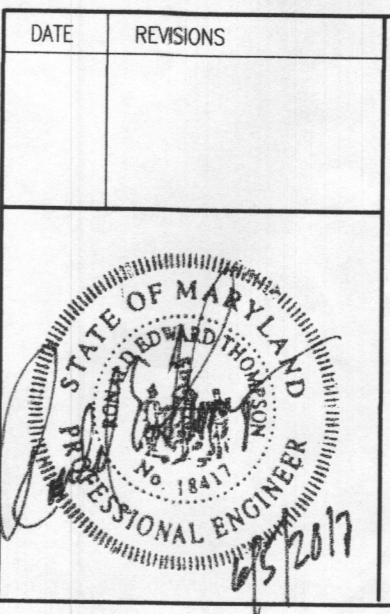
6/5/2017  
Date

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER DATE: 6/14/2017

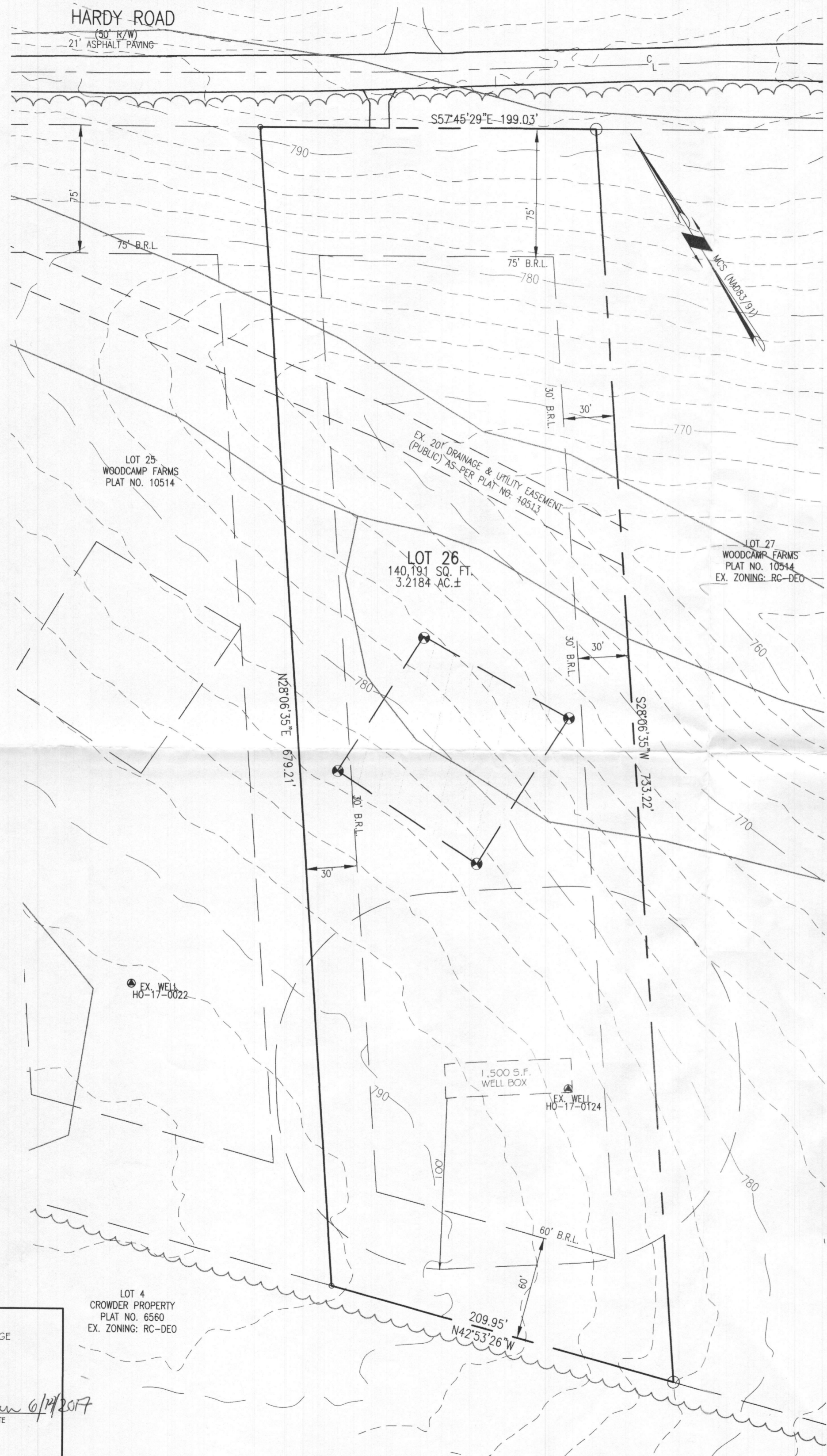
u.o.



PERCOLATION CERTIFICATION PLAN  
LOT 26  
WOODCAMP FARMS  
PLAT NO. 23676

TAX MAP: 6 GRID NO: 6 P/O PARCEL NO: 485	ELECTION DISTRICT: No. 4 HOWARD COUNTY, MARYLAND EX. ZONING: R	SCALE: 1" = 50' DATE: APRIL, 2017 SHEET 1 OF 1
--	--	--

VANMAR ASSOCIATES, INC.  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2751  
Fax (301) 831-5603 ©Copyright, Latest Date Shown

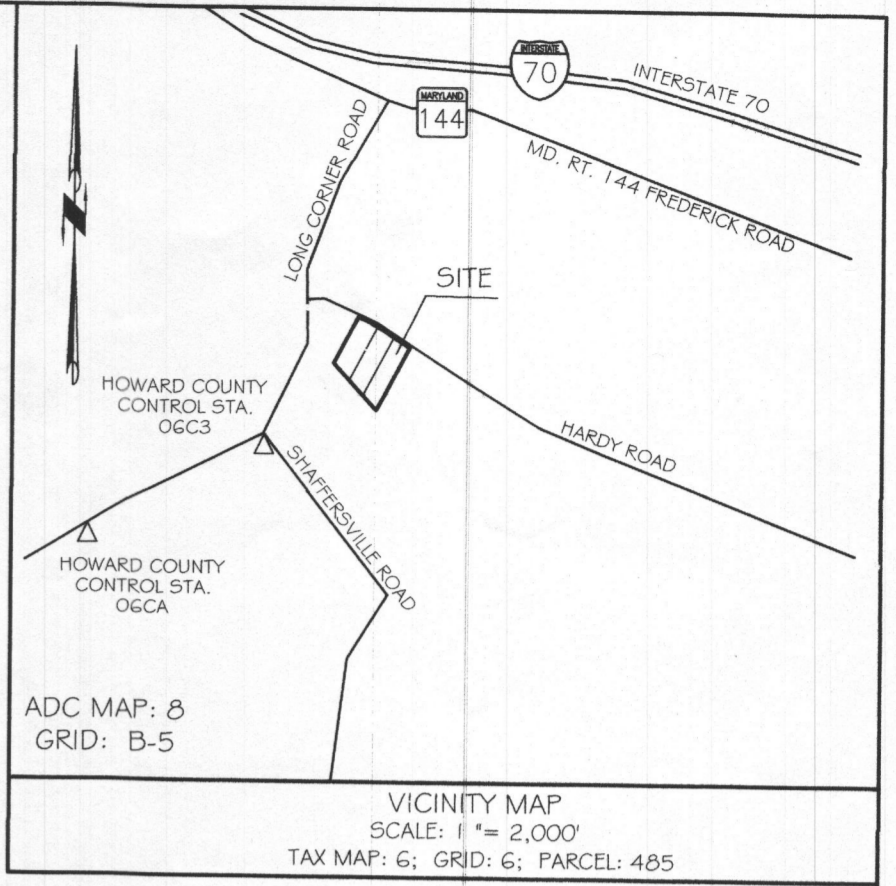


THIS AREA DESIGNATES A 10,000 SQUARE FOOT PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.

(PASSED) PERCOLATION TEST SITE:

EX. WELL SITE:

25% OR GREATER SLOPES (THERE ARE NO 25% SLOPES ON THE SUBJECT PROPERTY)



- GENERAL NOTES:
- OWNER: RICHARD M. & BARBARA A. HOUGH  
DEED REFERENCE: LIBER 908 AT FOLIO 275  
DATE: OCTOBER 16, 1978  
GRANTOR: RICHARD M. & BARBARA A. HOUGH
  - TAX MAP: 6 GRID: 06 PARCEL: 485
  - NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 2 MILES ±
  - TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD88.
  - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS SHOWN BELOW. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.  
STA. 06C3 N. 610,673.221 E. 1,273,997.317(SFT.)  
STA. 06CA N. 610,135.486 E. 1,272,833.944(SFT.)
  - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
  - THE EXISTING WELL (HO-17-0124) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
  - SOIL TYPE: GLENELG LOAM (GGB) HOWARD COUNTY SOILS MAP 7
  - ZONING DISTRICT: RC-DEO
  - THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
  - ANY CHANGES TO A PRIVATE SEPTIC AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

PROFESSIONAL CERTIFICATION

I hereby certify all wells shown have been field located and there are no other wells or septic systems within 100 feet of the property boundary unless otherwise shown hereon.

For VanMar Associates, Inc.  
Ronald E. Thompson, PE

6/5/2017  
Date

OWNERS:  
RICHARD M. & BARBARA A. HOUGH  
17655 HARDY ROAD  
MOUNT AIRY, MD. 21771  
(301) 829 - 0904

DEVELOPER:  
VIKING CUSTOM HOMES  
12800 FREDERICK ROAD  
WEST FRIENDSHIP, MD. 21794  
410-489-6728

PROFESSIONAL CERTIFICATION

I hereby certify that this document was prepared by me or under my responsible charge, and that I am a duly licensed Professional Land Surveyor under the laws of the State of Maryland, License No. 21266, Expiration Date 09/18/17, in accordance with COMAR 09.13.06.12.

For VanMar Associates, Inc.  
Ronald E. Thompson, PE

6/5/2017  
Date

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER DATE 6/14/2017

H.C. 92

LOT 4  
CROWDER PROPERTY  
PLAT NO. 6560  
EX. ZONING: RC-DEO

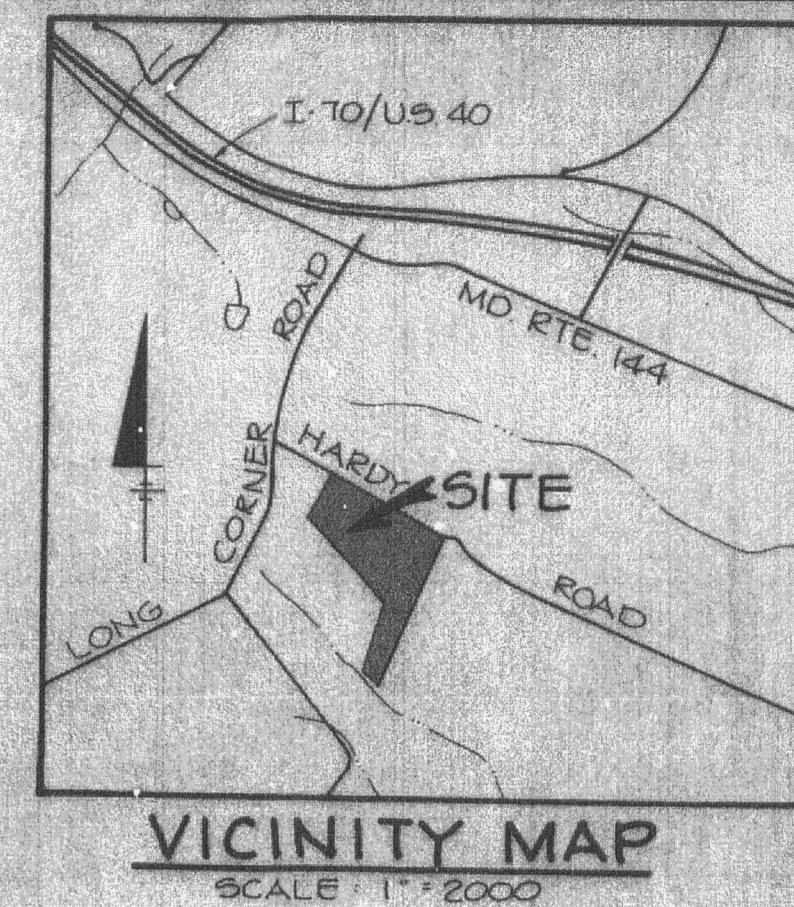
DATE	REVISIONS

PERCOLATION CERTIFICATION PLAN  
LOT 26  
WOODCAMP FARMS  
PLAT NO. 23676

TAX MAP: 6 ELECTION DISTRICT: No. 4 SCALE: 1" = 50'  
GRID NO: 6 HOWARD COUNTY, MARYLAND DATE: APRIL, 2017  
P/O PARCEL NO: 485 EX. ZONING: R SHEET 1 OF 1

VANMAR ASSOCIATES, INC.  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2711  
Fax (301) 831-5603 ©Copyright, Latest Date Shown

COORDINATE LIST		
NO.	NORTH	EAST
83	549211.34	763514.14
88	549662.01	763502.18
89	550350.76	763933.47
113	551132.30	762637.17
114	551117.99	762677.13
116	551032.40	762852.81
117	548895.41	763185.50
118	549028.82	763039.05
119	549769.73	763214.98
120	550662.10	762336.01



MINIMUM LOT SIZE CHART						
LOT NO.	GROSS AREA	PIPESTEAM AREA	REMAINING AREA	100 YR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
24	3.0 Ac ±	—	—	—	—	3.0 Ac ±
25	3.0 Ac ±	—	—	—	—	3.0 Ac ±
26	3.2 Ac ±	—	—	—	—	3.2 Ac ±
27	21.42 Ac ±	—	—	0.95 Ac ±	—	21.09 Ac ±

**GENERAL NOTES**

- THIS AREA INDICATES APPROVED PERC AREAS AND DESIGNATES A PRIVATE SEWER EASEMENT OF 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR NEARBY SURFACE WATERS. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWER EASEMENT. RECONSTRUCTION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
- INDICATES SLOPES 15% - 25%.
- EXISTING ZONING - R.
- GROSS AREA - 30.62 Ac.
- AREA OF PROPOSED LOTS - 30.62 Ac.
- AREA OF PROPOSED ROADS - 0.00 Ac.
- WATER AND SEWER SHALL BE PRIVATE.
- B.R.L. - BUILDING RESTRICTION LINE.
- LIMITS OF 100 YR FLOODPLAIN ARE TAKEN FROM PLAT NO. 6705, F86-67.
- INDICATES FIELD LOCATED PERC HOLES.
- INDICATES 100 YR FLOODPLAIN.
- PRIVATE WATER AND SEWER SYSTEMS WILL BE PROVIDED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- NUMBER OF BUILDABLE LOTS - 4.
- AREA OF FLOODPLAIN - 0.95 Ac ±.
- NET AREA OF SITE - 30.92 Ac ±.
- TOPOGRAPHY SHOWN HEREON BASED ON HOWARD COUNTY 200 SCALE TOPO.
- SKETCH PLAN 9-85-02 APPROVED 2/22/89.
- WAIVER PETITION WP-89-148 WAS APPROVED ON 1/6/92 GRANTING A WAIVER TO SECTION 10, 13 (b)(7)(ii) AND 16, 13 (b)(9) FOR MAKING ROAD IMPROVEMENTS TO HARDY ROAD.

**PERC SCHEDULE**

LOT NO.	PERC TIME	INLET	BOTTOM MAX.	APPLICATION NO.	REMARKS
24	12 MIN.	4.5'	6.5'	49373	SHALLOW SYSTEM
25	9 MIN.	4.5'	6.5'	49374	SHALLOW SYSTEM
26	2 MIN.	4.5'	6.5'	49375	SHALLOW SYSTEM
28				49372	EXISTING SYSTEM SEE A34032 CURRENT LOT 1

APPROVED FOR PRIVATE WATER AND PRIVATE SEWER SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*Joselyn Boyd*  
COUNTY HEALTH DEPARTMENT # DATE 4-20-92

NO.	DATE	REVISION

**TSA GROUP INC.**  
planning • architecture • engineering  
8480 Baltimore National Pike • Ellicott City, Maryland 21043 • (301) 465-6105

SIGNED *Richard Hough* FILE COPY

<b>OWNER</b> RICHARD HOUGH 17655 HARDY ROAD MT. AIRY, MARYLAND 21171	<b>PROJECT</b> WOODCAMP FARMS LOTS 24 THRU 27 A RESUBDIVISION OF LOT 17
<b>DEVELOPER</b> RICHARD HOUGH 17655 HARDY ROAD MT. AIRY, MARYLAND 21171	<b>LOCATION</b> TAX MAP NO. 6, PARCEL NO. 485 4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
<b>TITLE</b> PRELIMINARY PLAN S89-02 WP-89-148 F86-67 F79-106	
<b>DATE</b> FEB 6, 1992 MARCH 29, 1992	<b>PROJECT NO.</b> 0146
<b>DES.</b> R.M.F. <b>DRN.</b> D.V.P.	<b>SCALE:</b> 1" = 100' <b>DRAWING</b> 1 OF 1