



**Howard County
Health Department**

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 9/24/18 **ONSITE SEWAGE DISPOSAL SYSTEM** P 564012

APPROVAL DATE: 10/03/2018 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 12348 Point Ridge Drive

SUBDIVISION: Regan Property LOT: 5 TAX ID: _____

CONTRACTOR: Hatfield's Equipment EMAIL: ken@hatfieldsequipment.com

CONTRACTOR ADDRESS: P.O. Box 519 Annapolis Junction, MD 20701 PHONE: 301-490-4289

PROPERTY OWNER: MB Highland Reserve EMAIL: N/A

OWNER ADDRESS: 1686 E. Gude Drive, Rockville, MD 20850 PHONE: 410-301-762-9511

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Bros or equivalent

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>86</u>	INLET DEPTH: <u>3.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	<u>NONE</u>	

ISSUED BY: Dana Bernard ISSUE DATE: 9/24/18 EXPIRATION DATE: 9/24/19

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E N/A
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

12348 Point Ridge Drive
Regan Property - Lot 5 -
"Highland Reserve"
Radium Agreement
recordation receipt

Clerk of the Circuit Court for
Howard County
Land Records/Licensing

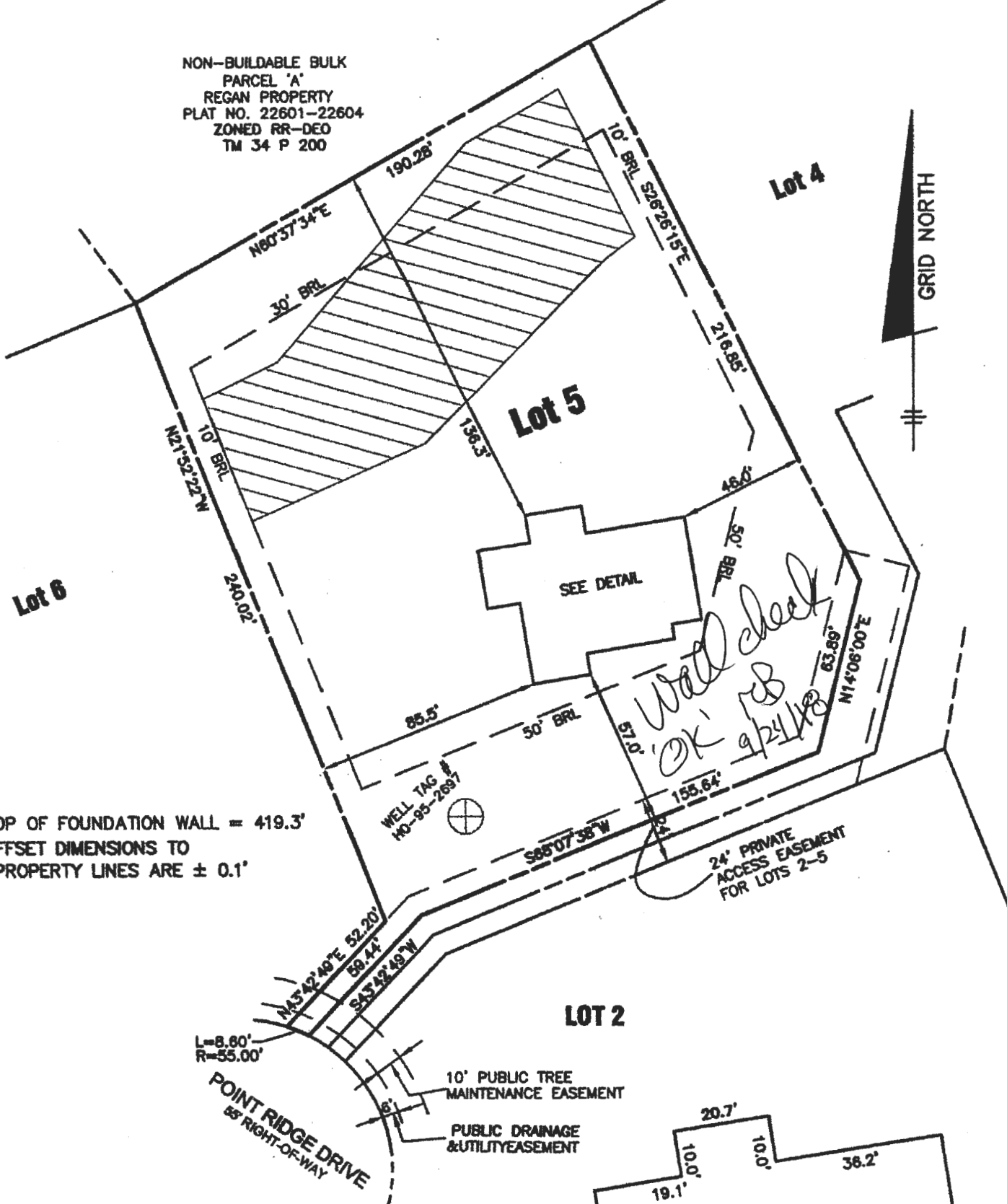
The Thomas Dorsey Building
9250 Bendix Road
Columbia, MD 21045
410-313-5850

LR - Agreement Recording Fee	1x	20.00	20.00
Name: Horacek			
Ref: 34			
LR - Agreement Surcharge	1x	40.00	40.00
SubTotal:			60.00
Total:			60.00
REV-Check-BOA			60.00
Number : 003444			

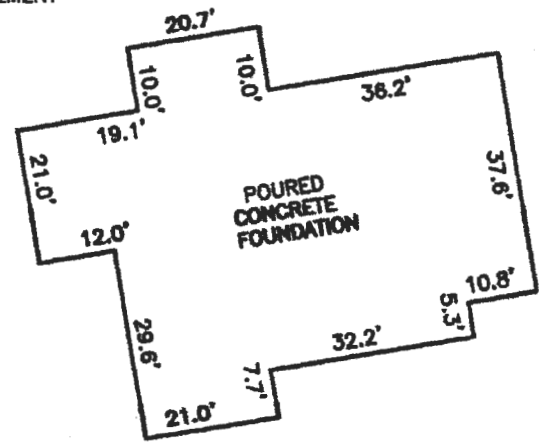
01/10/2019 14:40 CC13-DS
#11508500/1246/109
Thank you for visiting us today~

Temp. -
ICOP
Ready to be
issued.

NON-BUILDABLE BULK
 PARCEL 'A'
 REGAN PROPERTY
 PLAT NO. 22601-22604
 ZONED RR-DEO
 TM 34 P 200



TOP OF FOUNDATION WALL = 419.3'
 OFFSET DIMENSIONS TO
 PROPERTY LINES ARE ± 0.1'



FOUNDATION DETAIL
 SCALE: 1" = 30'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2019 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY SPENCER ENGINEERING, INC. ON 07/30/2018.



Donald Alan Mason

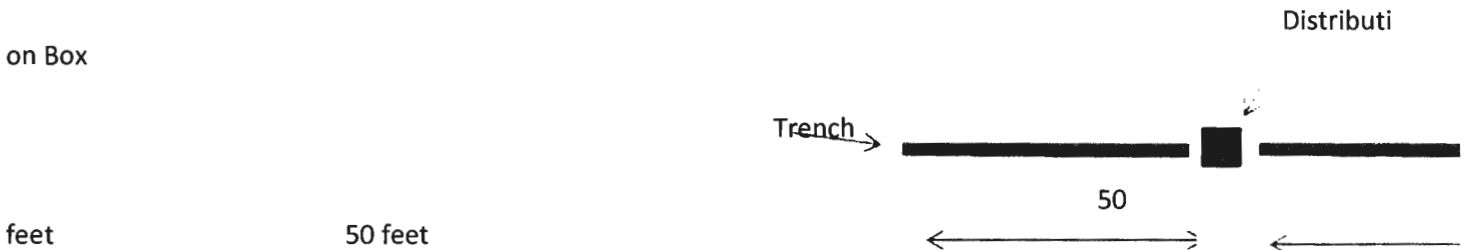
Bernard, Dana

From: Bernard, Dana
Sent: Tuesday, May 22, 2018 2:56 PM
To: John Carney
Subject: Regan Property Lot #5

John , I have a few revisions needed for this lot on the OSDS plan.

1. Please separate the initial system and the first repair into 2 trenches on contour. As shown in the diagram below:

This design will give the best utilization for the area and allow more room for future systems.



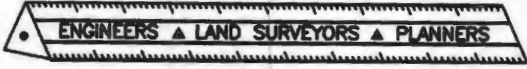
Thank you & Have a*")

..*") ..*")

(..* Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

BENCHMARK



ENGINEERING, INC.

8480 Baltimore National Pike • Suite 315 • Ellicott City, Maryland 21043
410-465-6105 410-465-6644 (Fax)

LETTER OF TRANSMITTAL

DATE <u>5/17/18</u>	PROJECT No. <u>2171</u>
ATTENTION	
RE: <u>REGAN PROPERTY LOT 5</u>	
<u>ONSITE SEWAGE DISPOSAL</u>	
<u>SYSTEM DESIGN PLAN</u>	

TO: HOWARD COUNTY HEALTH DEPT.

WE ARE SENDING YOU Attached Under separate cover via _____ the following items

- Photocopies Prints Originals Samples
 Specifications Invoices Change Order Other _____

COPIES of	No. of SHEETS	DESCRIPTION
<u>3</u>	<u>2</u>	<u>LOT 5 ONSITE SEWAGE DISPOSAL SYSTEM PLAN</u>
<u>1</u>	<u>-</u>	<u>BERKLEY ARCHITECTURALS</u>

THESE ARE TRANSMITTED as checked below

- For Comment For your use For Approval
 For Review As requested Other _____

REMARKS:

COPY TO: _____
RECEIVED BY: [Signature]

SIGNED: [Signature]

If enclosures are not as noted, kindly notify us at once.

Bernard, Dana

From: Bernard, Dana
Sent: Wednesday, June 27, 2018 11:30 AM
To: John Carney
Subject: Reagan Property Lot #5

Good Morning John,

I have approved the OSDS plan for lot #5. However, the well line will have to be sleeved under the driveway during installation .

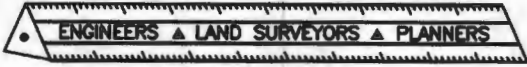
Thank you & Have a*")

,,.,.,,*") ,.,,*")

(.,. (.,. * Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

BENCHMARK



ENGINEERING, INC.

8480 Baltimore National Pike • Suite 315 • Ellicott City, Maryland 21043
410-465-6105 410-465-6644 (Fax)

LETTER OF TRANSMITTAL

DATE 6/12/18	PROJECT No. 2171
ATTENTION DANA BERNARD	
RE: REGAN PROPERTY LOTS	
ONSITE SEWAGE DISPOSAL	
SYSTEM DESIGN PLAN	

TO: HOWARD COUNTY
HEALTH DEPT.

WE ARE SENDING YOU Attached Under separate cover via _____ the following items

- Photocopies Prints Originals Samples
 Specifications Invoices Change Order Other _____

COPIES of	No. of SHEETS	DESCRIPTION
3	2	LOT 5 OSDS Plan
1	3	BERLEY ARCHITECTURALS

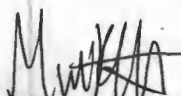
THESE ARE TRANSMITTED as checked below

- For Comment For your use For Approval
 For Review As requested Other _____

REMARKS:

COPY TO: _____

RECEIVED BY: _____

SIGNED: 

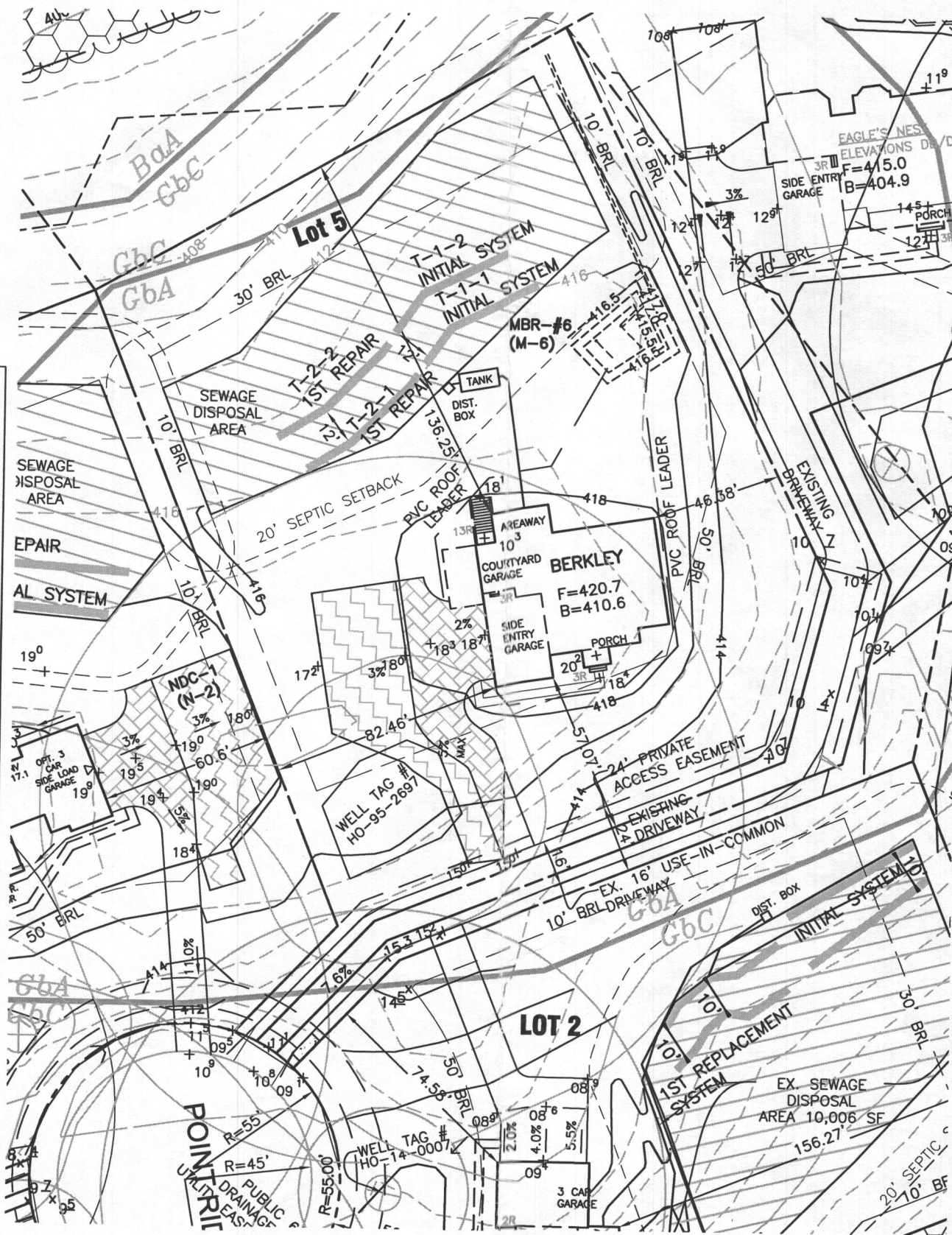
If enclosures are not as noted, kindly notify us at once.

LEGEND

- SOILS CLASSIFICATION *ChB2*
- SOILS DELINEATION
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LIMIT OF WETLANDS
- 25' WETLANDS BUFFER
- CENTERLINE OF STREAM
- STREAM BUFFER
- PROPOSED STRUCTURE
- SEPTIC RESERVE AREA
- SWM DRAINAGE DIVIDE
- LOD/EFFECTIVE AREA

BUILDING PERMIT PLAN NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR REGAN PROPERTY, PLAT Nos. 23063-23074. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN AND MODIFIED FOR THIS SPECIFIC HOUSE.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY BENCHMARK ENGINEERING, INC., ON OR ABOUT JANUARY, 2012.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-2697, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED AND PROVIDED BY ONE MICRO-BIORETENTION FACILITY (MDE M-6), DRY WELL FACILITY (MDE M-5) AND ONE NON-ROOFTOP DISCONNECTION (MDE N-2).
10. MICRO-BIORETENTION SHALL HAVE EITHER A 4" OR 6" ROOF LEADER DEPENDING ON ROOF-TOP AREA.

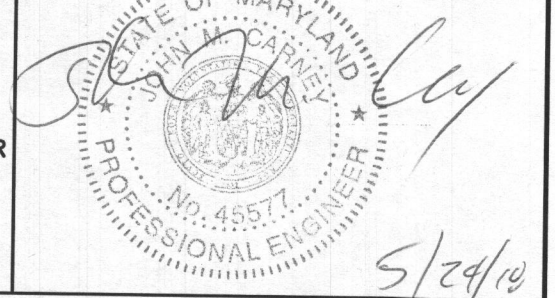


THIS PLAN IS FOR SEPTIC DESIGN ONLY

SEE MANUFACTURERS SPECIFICATIONS FOR DETAILS.
 WWW.MAYERPRECAST.COM
 EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

SIGNATURE AND SEAL ARE FOR SEPTIC PROFILE AND CALCULATIONS ONLY, TANK AND DETAILS WERE NOT DESIGNED OR REVIEWED BY THE ENGINEER:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2018.



OWNER/BUILDER:
 MB HIGHLAND RESERVE, LLC
 1686 EAST GUDE DRIVE
 ROCKVILLE, MD 20850
 301-762-9511

BENCHMARK
 ENGINEERS LAND SURVEYORS PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 (F) 410-465-6644
 WWW.BEI-CMLENGINEERING.COM

PROJECT: **REGAN PROPERTY LOT 5**

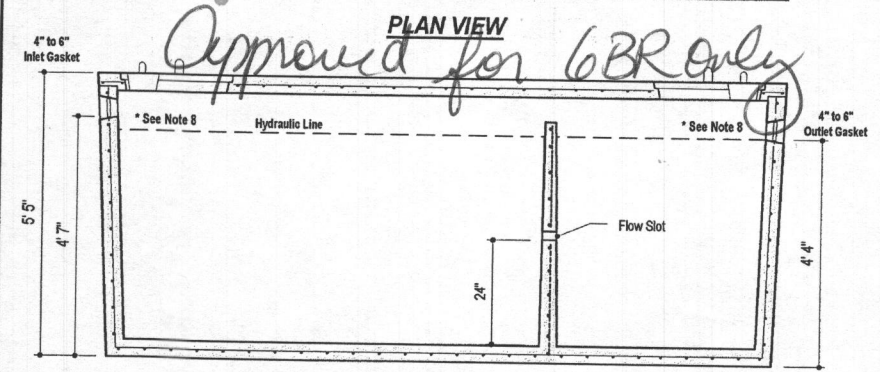
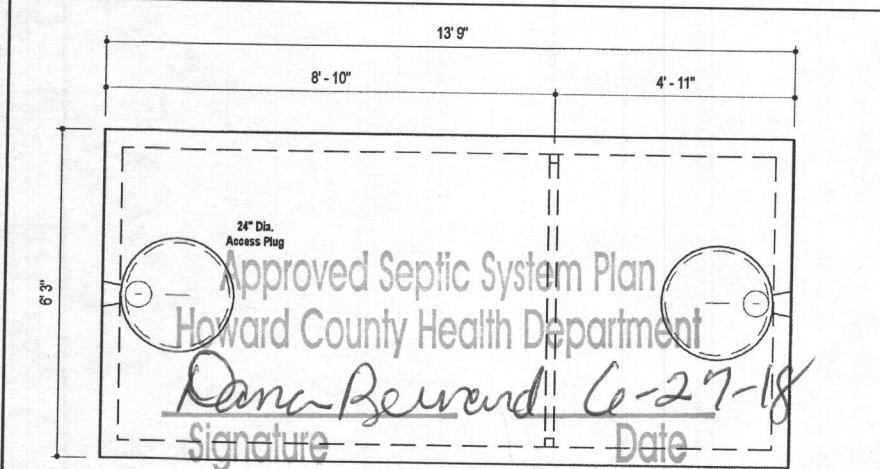
LOCATION: 12348 POINT RIDGE DRIVE
 HIGHLAND, MD 20777
 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200
 5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436

TITLE: **ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN**

HOUSE TYPE: **BERKLEY - ELEVATION A**

DATE: **APRIL, 2018** PROJECT NO. **2171**

SCALE: **AS SHOWN** DRAWING **1** OF **2**



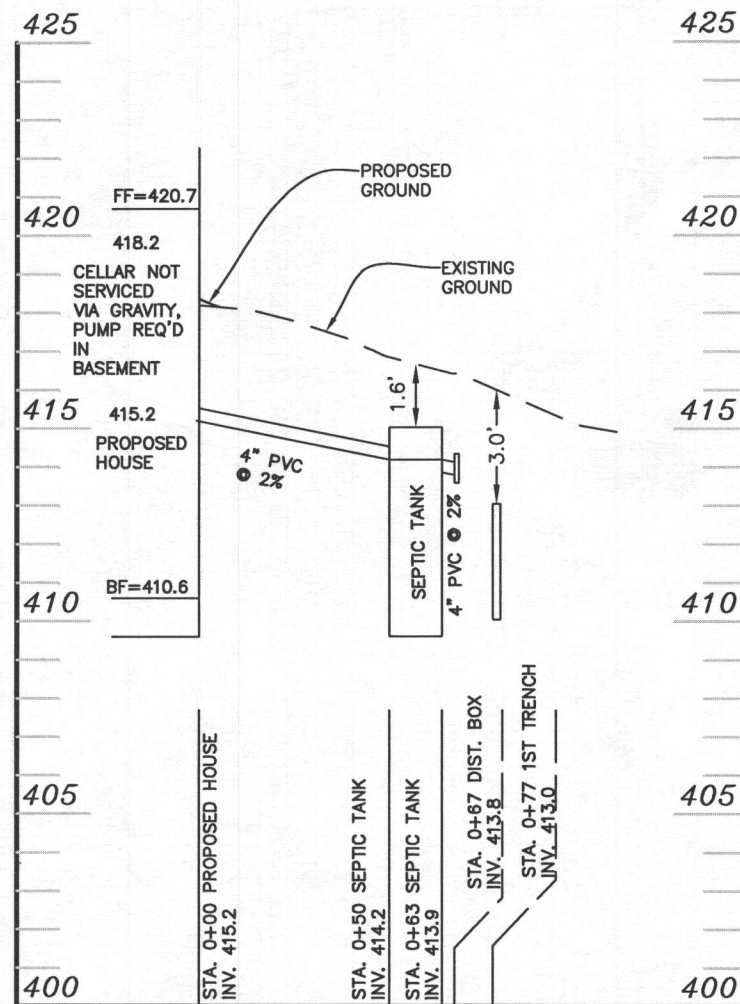
DESIGN DATA & GENERAL NOTES

- [1] Concrete strength $f_c=4,000$ p.s.i. @ 28 days. Density = 150 pcf.
- [2] Cement - Portland Type III per ASTM C 150-92.
- [3] Admixtures & plasticizers per ASTM C 260-96 & C 494-92.
- [4] Reinforcing per ASTM A198. Min. 1-1/2" cover.
- [5] Top slab sealed with butyl rope mastic.
- [6] 4" wall, 4" base, & 6" top thickness.
- [7] Max 3" of cover.
- [8] Depending on use of tank, inlet & outlet baffle may be required by code.

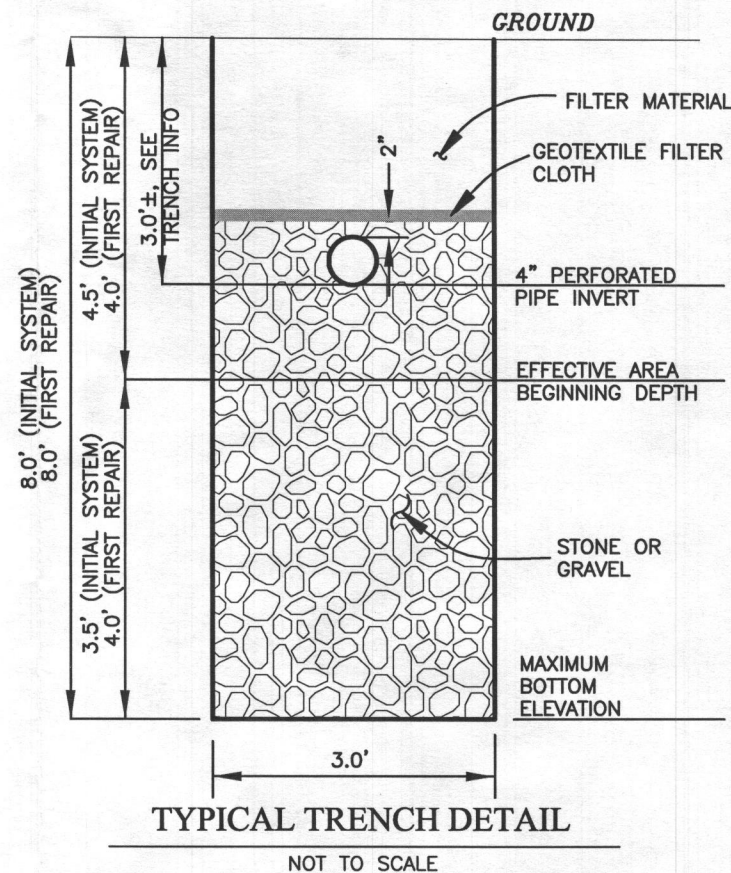
MBI
 Mayer Bros., Inc.
 6264 Race Road
 Elkridge, Maryland 21075
 Tel. 410.796.1434
 Fax. 410.796.1438
 www.mayerbrosprecast.com

2,000 GALLON SEPTIC TANK
2-Compartment
 Stock Item [Approx. 19,900 lbs]
 Dwg. No. 2000-2C No Scale Aug 11, 2008

PLAN VIEW
 1" = 50'



SEWER PROFILE - LOT 5
SCALE: VERTICAL 1"=5', HORIZONTAL 1"=50'



INITIAL SYSTEM - LOT 5		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	3.5	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.38	
Trench width	3	ft
Effective Area Depth	4.5	ft
Trench Spacing	12	ft
Inear Length of trench Required	96	lf

1st REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	4.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.42	
Trench width	3	ft
Effective Area Depth	4	ft
Trench Spacing	11	ft
Inear Length of trench Required	104	lf

TRENCH INFORMATION

TRENCH 1-1	TRENCH 1-2	
INITIAL SYSTEM	INITIAL SYSTEM	
TRENCH LENGTH 48 LF	TRENCH LENGTH 48 LF	
GROUND ELEVATION 416.0	GROUND ELEVATION 415.3	
INVERT ELEVATION 413.0	INVERT ELEVATION 412.3	
MAX. BOTTOM ELEV. 408.0	MAX. BOTTOM ELEV. 407.3	

INV. OUT OF HOUSE	415.2
INV. IN SEPTIC TANK	414.2
INV. OUT SEPTIC TANK	413.9
TOP OF SEPTIC TANK	415.0
GROUND OVER SEPTIC TANK	416.7
INV. INTO DIST. BOX	413.8
INV. OUT OF DIST. BOX	413.7
GROUND AT DIST. BOX	416.4

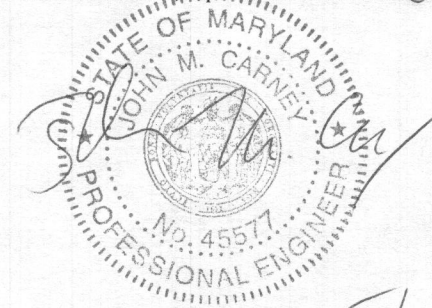
TRENCH 2-1	TRENCH 2-2	
FIRST REPLACEMENT	FIRST REPLACEMENT	
TRENCH LENGTH 52 LF	TRENCH LENGTH 52 LF	
GROUND ELEVATION 416.0	GROUND ELEVATION 415.3	
INVERT ELEVATION 413.0	INVERT ELEVATION 412.3	
MAX. BOTTOM ELEV. 408.0	MAX. BOTTOM ELEV. 407.3	

THIS PLAN IS FOR SEPTIC DESIGN ONLY

SEE MANUFACTURES SPECIFICATIONS FOR DETAILS. EQUIVALENT FROM OTHER MANUFACTURERS CAN BE SUBSTITUTED.

SIGNATURE AND SEAL ARE FOR SEPTIC PROFILE AND CALCULATIONS ONLY, TANK, PUMP, AND DETAILS WERE NOT DESIGNED OR REVIEWED BY THE ENGINEER:

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 45577, Expiration Date: 06-08-2020.

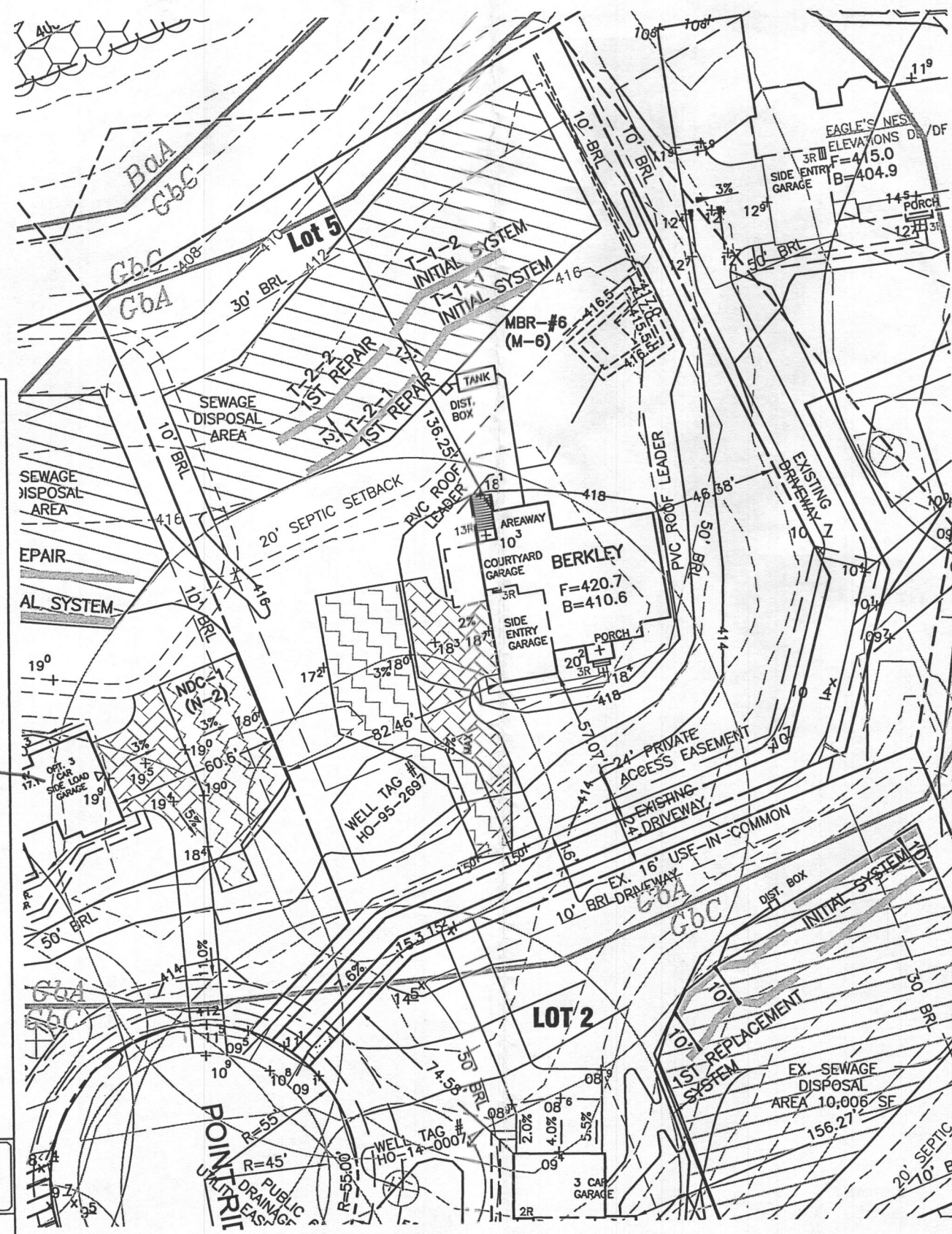


5/24/18

OWNER/BUILDER:	BENCHMARK ENGINEERING, INC. ENGINEERS LAND SURVEYORS PLANNERS 8480 BALTIMORE NATIONAL PIKE SUITE 315 ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CMLENGINEERING.COM	
PROJECT:	REGAN PROPERTY LOT 5	
LOCATION:	12348 POINT RIDGE DRIVE HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436	
TITLE:	ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN	
HOUSE TYPE:	BERKLEY - ELEVATION A	
DATE:	APRIL, 2018	PROJECT NO. 2171
SCALE:	AS SHOWN	DRAWING 2 OF 2

LEGEND

- SOILS CLASSIFICATION **ChB2**
- SOILS DELINEATION
- EXISTING CONTOURS 480
478
- PROPOSED CONTOURS 999
- LIMIT OF WETLANDS
- 25' WETLANDS BUFFER
- CENTERLINE OF STREAM
- STREAM BUFFER
- PROPOSED STRUCTURE
- SEPTIC RESERVE AREA
- SWM DRAINAGE DIVIDE
- LOD/EFFECTIVE AREA



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5/29/18

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301-762-9511

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ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

PROJECT: **REGAN PROPERTY LOT 5**

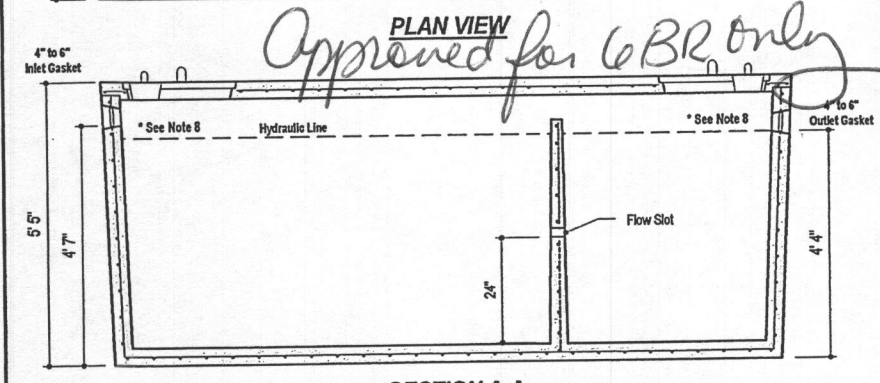
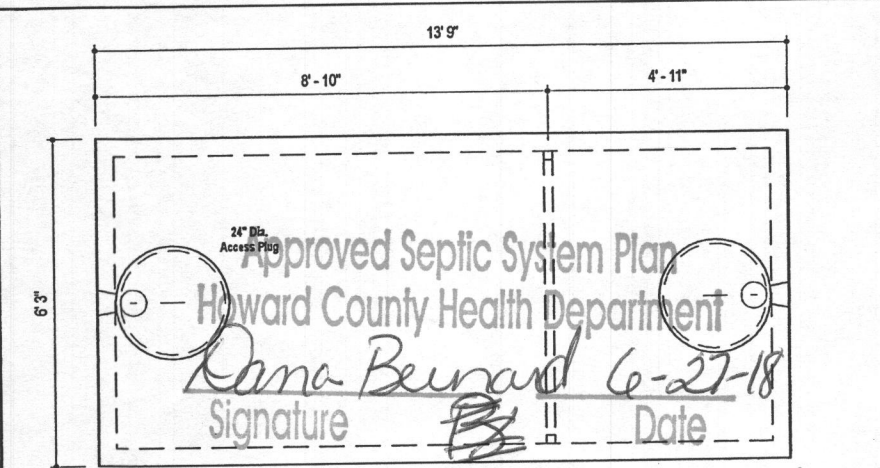
LOCATION: 12348 POINT RIDGE DRIVE
HIGHLAND, MD 20777
TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200
5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436

TITLE: **ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN**

HOUSE TYPE: **BERKLEY - ELEVATION A**

DATE: APRIL, 2018 PROJECT NO. 2171

SCALE: AS SHOWN DRAWING 1 OF 2

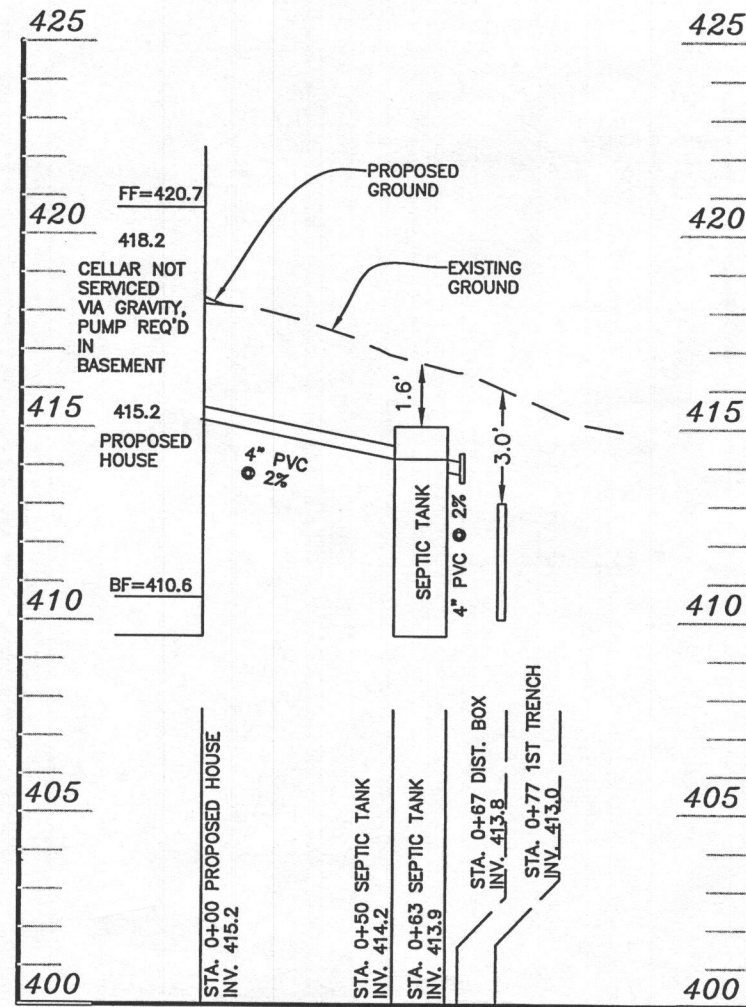


- DESIGN DATA & GENERAL NOTES**
- [1] Concrete strength $f_c=4,000$ p.s.i. @ 28 days. Density = 150 pcf.
 - [2] Cement - Portland Type III per ASTM C 150-92.
 - [3] Admixtures & plasticizers per ASTM C 250-96 & C 494-92.
 - [4] Reinforcing per ASTM A195, Min. 1-1/2" cover.
 - [5] Top slab sealed with butyl rope mastic.
 - [6] 4" wall, 4" base, & 8" top thickness.
 - [7] Max 3" of cover.
 - [8] Depending on use of tank, Inlet & Outlet baffle may be required by code.

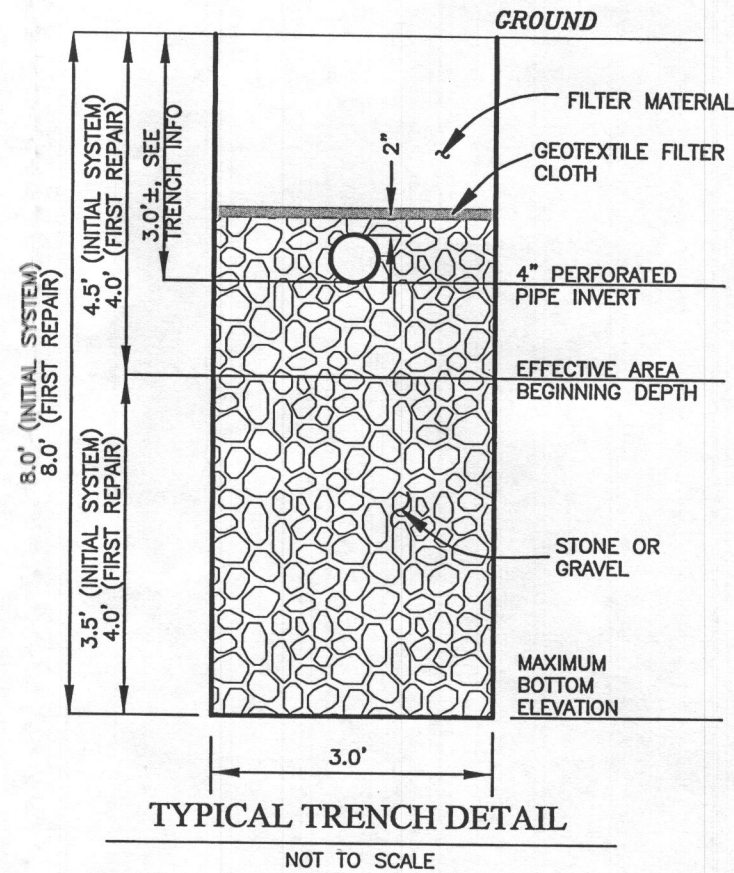
MBI
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2,000 GALLON SEPTIC TANK
2-Compartment
Stock Item [Approx. 19,900 lbs]
Dwg. No. 2000-2C No Scale Aug 11, 2008

PLAN VIEW
1" = 50'



SEWER PROFILE - LOT 5
SCALE: VERTICAL 1"=5', HORIZONTAL 1"=50'



INITIAL SYSTEM - LOT 5		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	3.5	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.38	
Trench width	3	ft
Effective Area Depth	4.5	ft
Trench Spacing	12	ft
linear Length of trench Required	96	lf

1st REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	4.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.42	
Trench width	3	ft
Effective Area Depth	4	ft
Trench Spacing	11	ft
linear Length of trench Required	104	lf

TRENCH INFORMATION

TRENCH 1-1
INITIAL SYSTEM
TRENCH LENGTH 48 LF
GROUND ELEVATION 416.0
INVERT ELEVATION 413.0
MAX. BOTTOM ELEV. 408.0

TRENCH 1-2
INITIAL SYSTEM
TRENCH LENGTH 48 LF
GROUND ELEVATION 415.3
INVERT ELEVATION 412.3
MAX. BOTTOM ELEV. 407.3

INV. OUT OF HOUSE	415.2
INV. IN SEPTIC TANK	414.2
INV. OUT SEPTIC TANK	413.9
TOP OF SEPTIC TANK	415.0
GROUND OVER SEPTIC TANK	416.7
INV. INTO DIST. BOX	413.8
INV. OUT OF DIST. BOX	413.7
GROUND AT DIST. BOX	416.4

TRENCH 2-1
FIRST REPLACEMENT
TRENCH LENGTH 52 LF
GROUND ELEVATION 416.0
INVERT ELEVATION 413.0
MAX. BOTTOM ELEV. 408.0

TRENCH 2-2
FIRST REPLACEMENT
TRENCH LENGTH 52 LF
GROUND ELEVATION 415.3
INVERT ELEVATION 412.3
MAX. BOTTOM ELEV. 407.3

**THIS PLAN IS FOR
SEPTIC DESIGN ONLY**

SEE MANUFACTURERS
SPECIFICATIONS FOR
DETAILS.
EQUIVALENT FROM OTHER
MANUFACTURERS CAN BE
SUBSTITUTED.

SIGNATURE AND SEAL ARE FOR SEPTIC
PROFILE AND CALCULATIONS ONLY, TANK,
PUMP, AND DETAILS WERE NOT DESIGNED
OR REVIEWED BY THE ENGINEER:

Professional Certification, I hereby certify that these documents
were prepared or approved by me, and that I am a duly licensed
professional engineer under the laws of the State of Maryland,
License No. 45577, Expiration Date: 06-08-2020.



5/24/18

OWNER/BUILDER:	BENCHMARK ENGINEERS LAND SURVEYORS PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 315 ELLCOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6644 WWW.BEI-CVLENGINEERING.COM	
PROJECT:	REGAN PROPERTY LOT 5	
LOCATION:	12348 POINT RIDGE DRIVE HIGHLAND, MD 20777 TAX MAP No. 34 - BLOCK No. 24 - PARCEL No. 200 5TH ELECTION DISTRICT, TAX ID NUMBER: 05 597436	
TITLE:	ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN	
HOUSE TYPE:	BERKLEY - ELEVATION A	
DATE:	APRIL, 2018	PROJECT NO. 2171
SCALE:	AS SHOWN	DRAWING 2 OF 2