



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2/14/18

Permit No.: B18000475

Building Address: 13805 Mill Creek Court
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Mill Creek
Section: _____ Area: _____ Lot: 23
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
Proposed Use: Single family home (Model Home)
Estimated Construction Cost: \$ 300,000

Description of Work: New 2 story "Stratford Hall" with 2 car side garage, 2 car side attached garage, Suite, full front porch, Rear covered porch and finished basement (Rec Room, Bathroom, wet bar)
Occupant or Tenant: _____

Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: NVR Inc
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
Contact Person: Clat. Cagle
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: CCagle@NVRInc.com

Engineer/Architect Company: _____
Responsible Design Professional: _____
Address: _____
City: _____ State: FEB 14 2018 Zip Code: _____
Phone: _____ Fax: _____
Email: _____
LICENSES & PERMITS DIVISION

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
Applicant's Signature
Jim@DecaturbuildingServices.com
Email Address
AGENT NV Homes
Title/Company

Jim Kerwin
Print Name
2/14/2018
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>4-13-18</u>	<u>DBenaugh</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>177013</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2018 MAY 11 PM 2:26

Date Received: _____

Permit No.: B18021573

Building Address: 13305 Mill Creek Ct
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: Crawford Subdiv
Section: _____ Area: _____ Lot: 23
Tax Map: 34 Parcel: 52 Grid: 19
Zoning: _____ Map Coordinates: _____ Lot Size: 6000sqft

Existing Use: SE
Proposed Use: SE w/ propose TANK
Estimated Construction Cost: \$ 3000
Description of Work:
Install 1000 gal in-ground propose TANK

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: ESC Mill Creek Inc
Address: 1335 Laurel Rd apt 210
City: Mt Airy State: VA Zip Code: 22101
Phone: 703-776-2412 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Michelle Clancy
Address: PO Box 710
City: Perry Hall State: MD Zip Code: 21228
Phone: 410-612-7511 Fax: _____
Email: Michelle.Clancy@appliedandapproved.com

Contractor Company: TECH AIR
Contact Person: Deanna Faye
Address: 1560 A-D Calm Creek Dr
City: Bethesda State: MD Zip Code: 21227
License No.: 81215
Phone: 410-944-5181 Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: Contractor
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Electric:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____ Print Name: Michelle Clancy
Email Address: Michelle.Clancy@appliedandapproved.com Date: 5/7/18
Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/16/18</u>	<u>[Signature]</u>

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>6667</u>

Bernard, Dana

From: Bernard, Dana
Sent: Monday, March 26, 2018 11:36 AM
To: Kristy Pierce (kpierce@glwpa.com)
Subject: 13805 Mill Creek Lot #23

Good Morning Kristy,

Before the building permit can be approved for 13805 Mill Creek Lot #23, We need to have the water vault abandoned and the existing well abandoned. All existing buildings must be removed before the issuance of the building permit.

Thank you & Have a*""

,.,',.,.*""),.,.*""

(.,.' (.,.' * Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

Bernard, Dana

From: Bernard, Dana
Sent: Monday, March 26, 2018 11:18 AM
To: 'Kristy Pierce'
Subject: RE: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

Yes. I understand, however this percolation certification was approved for LPD and BAT system through MDE. If you would like to make any changes we can readdress the LPD and BAT system approval and not have them required. This readdress must be overturned by MDE and not the county.

Thanks
Dana Bernard

From: Kristy Pierce [mailto:kpierce@glwpa.com]
Sent: Thursday, March 22, 2018 3:15 PM
To: Bernard, Dana; Bricker, Robert
Subject: Re: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

The SDA for Lot 13 is down-gradient of any wells, being about 190 feet from the closest well box (Lot 12) with at least 30 feet of elevation difference. In the email from Robert Brickers he says:
The following items are certain: BAT units will be required when the septic system is being installed up-gradient of a well, and a MDE variance for that spatial relationship will still be required.

Since the SDA for Lot 13 is not up-gradient of a well why does it need a variance from MDE's current regulations regarding BAT systems?

Thanks,

Kristy Pierce

On Thu, Mar 22, 2018 at 11:17 AM, Bernard, Dana <dbernard@howardcountymd.gov> wrote:

Hello Kristy,

I read Robert's email and he is correct your plan can be readdressed. However, your variance request was submitted to MDE for approval and if you would like us to readdress the wells and septic areas on the Gaither's Chance project we can resubmit it to MDE for you.

Thanks

Dana

From: Kristy Pierce [mailto:kpierce@glwpa.com]
Sent: Tuesday, March 20, 2018 12:12 PM
To: Bernard, Dana

Subject: Fwd: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

Hi Dana,

In regard to the email you sent me about Lot 13 at Gaithers Chance, please See Robert Brickers email below. I highlighted the part about Lot 13 in yellow.

Thanks,

Kristy Pierce

----- Forwarded message -----

From: **Mike Tran** <mtran@glwpa.com>

Date: Tue, Nov 15, 2016 at 4:14 PM

Subject: Fwd: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

To: "Marc R. Quint" <mquint@mitchellbest.com>, Rob Mitchell <robmitchell@mitchellbest.com>, Marty Mitchell <mmitchell@mitchellbest.com>, Ralph Mobley <rmobley@mitchellbest.com>, Daniel Ellis <dellis@mitchellbest.com>

Cc: Dan Sweeney <dsweeney@glwpa.com>, Kristy Pierce <kpierce@glwpa.com>, Carl Gutschick <cgutschick@glwpa.com>

----- Forwarded message -----

From: **Bricker, Robert** <RBricker@howardcountymd.gov>

Date: Tue, Nov 15, 2016 at 1:32 PM

Subject: RE: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

To: Mike Tran <mtran@glwpa.com>

Cc: "Williams, Jeffrey" <jewilliams@howardcountymd.gov>

Mike, The Health Department is waiting release of a guidance document by MDE prior to announcing any changes in our requirements. The following items are certain: BAT units will be required when the septic system is being installed up-gradient of a well, and a MDE variance for that spatial relationship will still be required. We will still require BAT units when the sewage disposal area is large enough to accommodate only two drainfields (an initial drainfield and one replacement drainfield) for the planned residence. There are any number of situations that pretreatment such as a BAT unit may be required due to the character of the planned discharge. BAT units may be required when the Approving Authority determines the requirement enhances public health. Installation plans will still be required, especially where pump tanks and/or low-pressure distribution (LPD) are required. In terms of what this means for the Gaither's Chance

subdivision: the lots that have upgradient septic systems (1, 2, 3, 4, 6, 7, and 8) will each have a BAT unit and (LPD); the requirement for BAT units may be re-evaluated for lots 5, 9, 10, 11, 12, 13, 14, 15, 16, 17, and (if not yet installed) 18. Robert Bricker, REHS/RS, L.E.H.S.

From: Mike Tran [mailto:mtran@glwpa.com]

Sent: Monday, November 14, 2016 6:29 PM

To: Bricker, Robert

Subject: Fwd: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times Are there any changes to BAT system requirements in Howard County? ----- Forwarded message -----

From: **Marc Quint** <mquint@mitchellbest.com>

Date: Mon, Nov 14, 2016 at 4:37 PM

Subject: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times

To: Mike Tran <mtran@glwpa.com>

Cc: Marty Mitchell <mitchell@mitchellbest.com>, Rob Mitchell <robmitchell@mitchellbest.com>, Ralph Mobley <rmobley@mitchellbest.com>, Daniel Ellis <dellis@mitchellbest.com>

Mike: Have you or anyone else at GLW heard anything on this as far as Howard County, and what they are planning? Let us know. Thanks, Marc **From:** Marty Mitchell

Sent: Monday, November 14, 2016 1:03 PM

To: Marc Quint <mquint@mitchellbest.com>; Rob Mitchell <robmitchell@mitchellbest.com>; Daniel Ellis <dellis@mitchellbest.com>; Ralph Mobley <rmobley@mitchellbest.com>

Subject: FW: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times The regulation eliminating the BAT systems was approved, but it still allows a local jurisdiction to require the BAT system. Thank you, **Marty Mitchell** CEO Mitchell & Best Homes 1686 East Gude Drive Rockville, MD 20850 O: 301.762.9511 ext. 304 C:



301.370.5304 Mitchell & Best | [Twitter](#) | [Facebook](#) | [YouTube](#)

Annette Rosenblum [mailto:arosenblum@marylandbuilders.org]

Sent: Monday, November 14, 2016 12:54 PM

Subject: Final Effective Nov. 24 Removal of Requirement for Nitrogen BAT Systems Outside Critical Area & Proposed 2017 MDE Permit Turnaround Times Environmental Committee: The following November 14, 2016 MD Register items are attached: - Adopted effective Nov. 24, 2016 MDE Regulation that removes the requirement that Best Available Technology for Removal of Nitrogen (BAT) systems be installed outside the Critical Area for all new construction. One change adds language that clarifies that local jurisdictions can require BAT outside Critical Area in order to protect public health or waters of the State. - Proposed 2017 MDE Permit Application Turnaround Times are available for comment until December 11 to Andrew Gosden at andrew.gosden@maryland.gov. For comparison, also attached is the 2016 Proposal. Annette *Annette Rosenblum*

Director, Regulatory Affairs Maryland Building Industry Association 11825 W. Market Place Fulton, MD 20759
Phone: 301-776-6211 Cell: 240-678-8100

E-mail: arosenblum@marylandbuilders.org



Advocate I Educate I Network I Build Tour and Networking Event at Two Rivers Clubhouse - Nov. 15 Hosted by the Professional Women in Building Council. [Register here.](#) MBIA Awards of Excellence - Nov. 16 Featuring the Leadership Awards & the Land Development Council Awards of Excellence. [Register here.](#) Anne Arundel Chapter Holiday Party

- Dec. 8 Celebrate the Season and Help the AACO PAC. Register here. Check out NAHB's Member Advantage Program at www.nahb.org/ma

Bernard, Dana

From: Bernard, Dana
Sent: Monday, March 05, 2018 12:46 PM
To: jim@decaturbuildingservices.com
Cc: 'ccagle@nvrinc.com'
Subject: Buliding Permit B1800475

Jim and Clint,

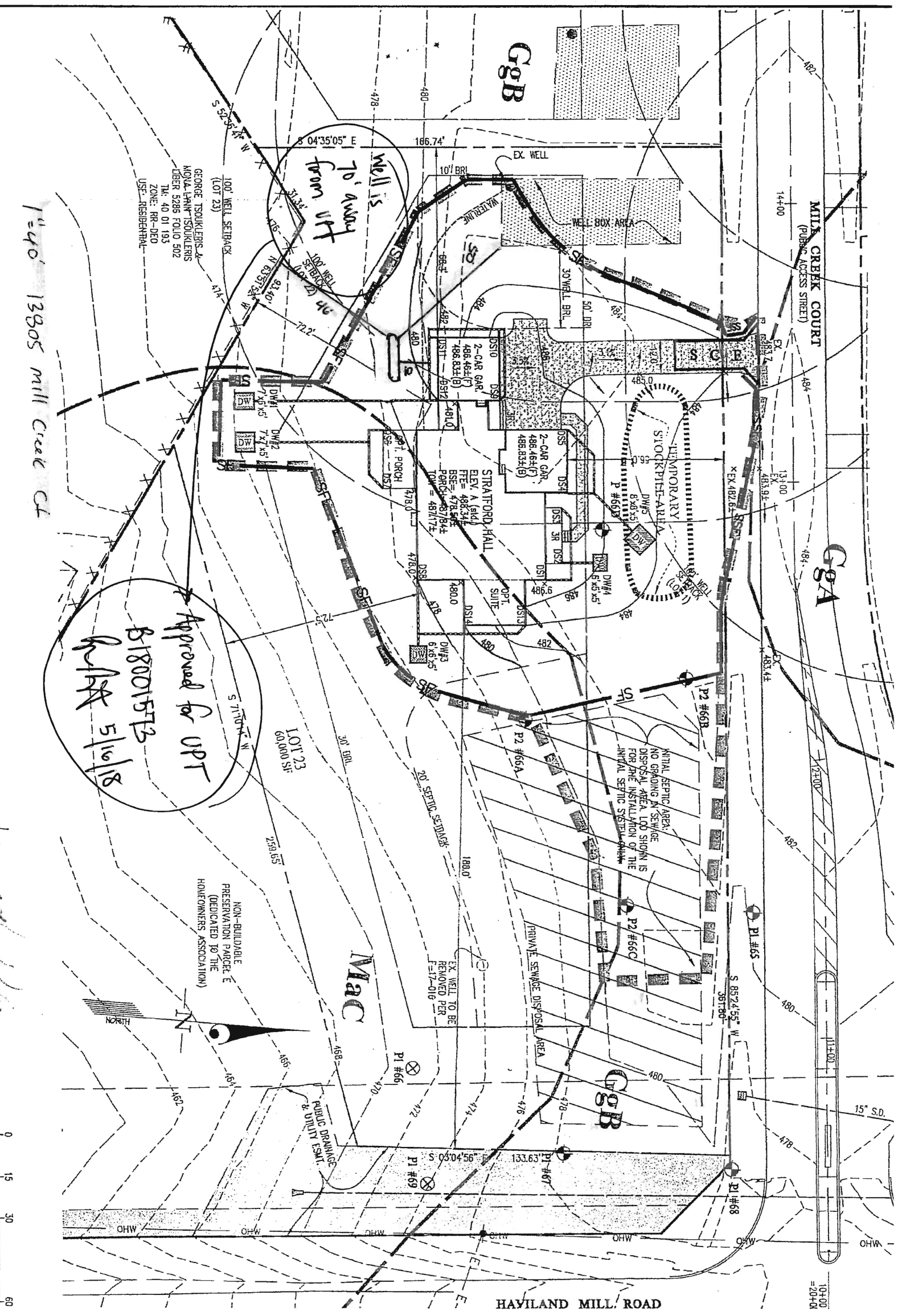
In order to process your building permit, I will need a OSDS plan from your engineer. Please forward to our office to complete your review.

Thank you & Have a*""

,,,' ,,*""), ,,*""

(,,' (,,' * Wonderful Day !

Dana Bernard, R.E.H.S./L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



1"=40' 13805 Mill Creek Ct

Well is from UPT

Approved for UPT
B1800157B
R/1/18

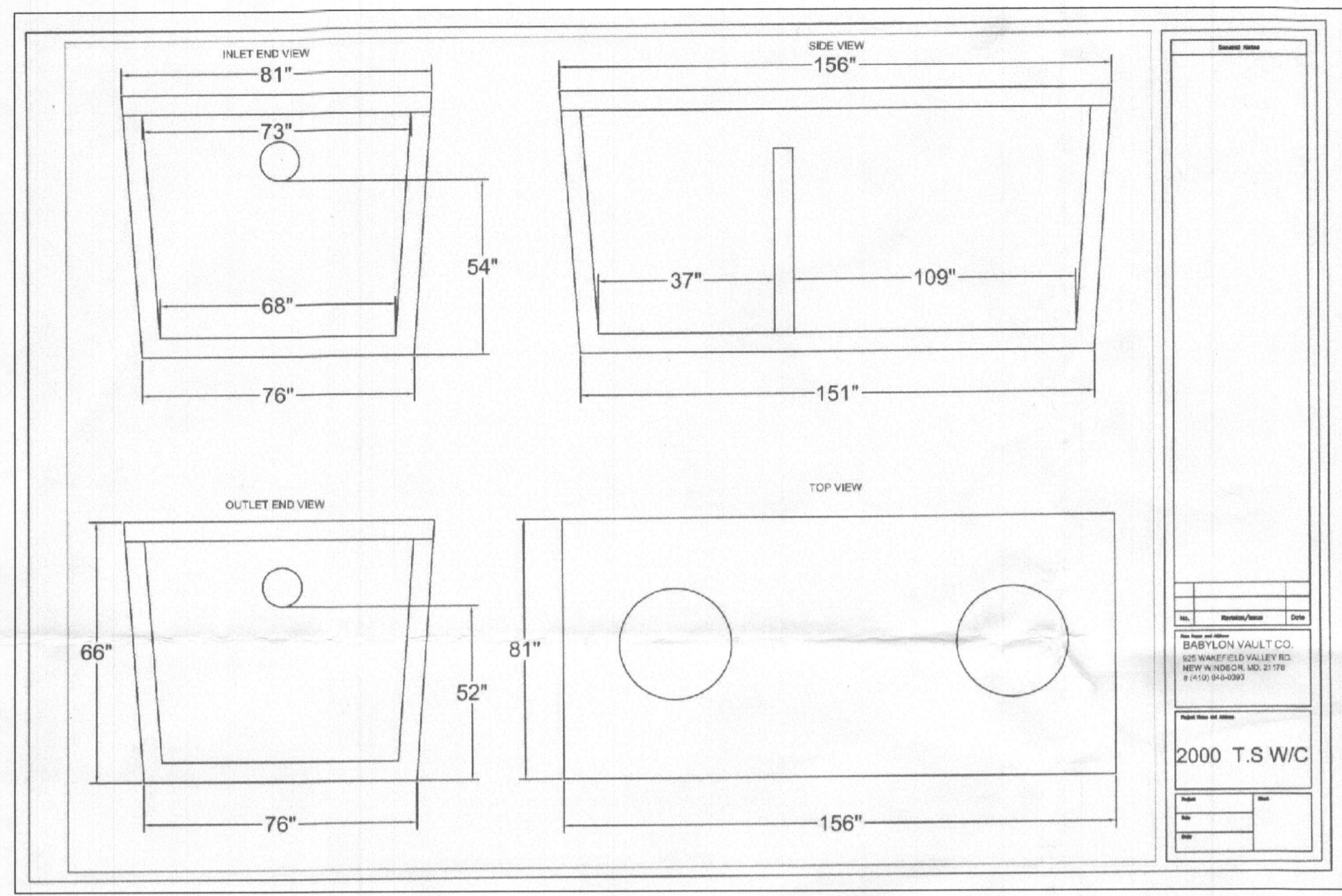
NON-BUILDABLE PRESERVATION PARCEL (DEDICATED TO THE HOMEOWNERS ASSOCIATION)

INITIAL SEPTIC AREA. NO GRADING OR SERVICE DISPOSAL AREA. LOT SHOWN IS FOR THE INSTALLATION OF THE INITIAL SEPTIC SYSTEM.

HAYLAND MILL ROAD

0 15 30 60

104+00
=20+0R



- NOTES:**
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - THE WELL (TAG #17-0120) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 - ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

LEGEND

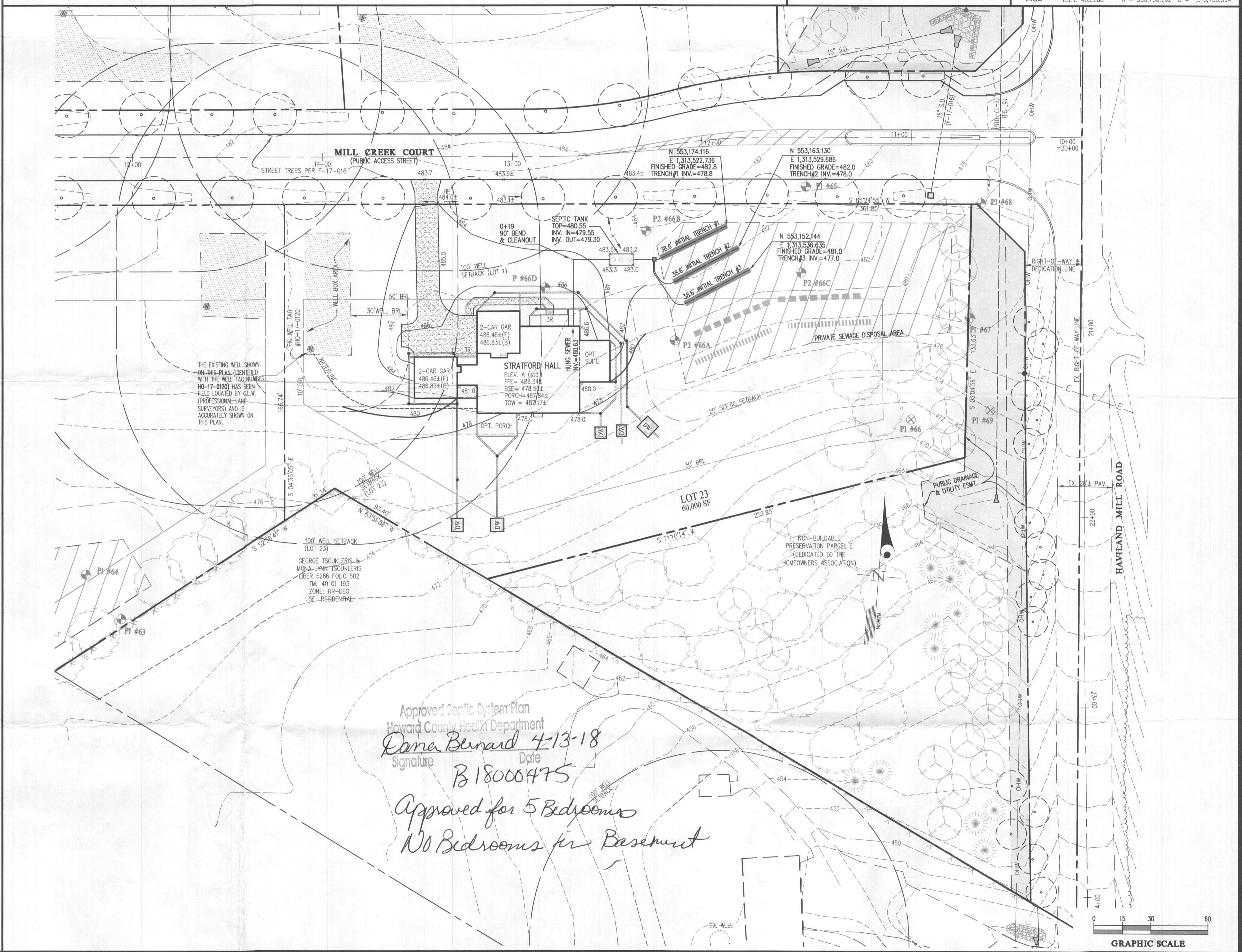
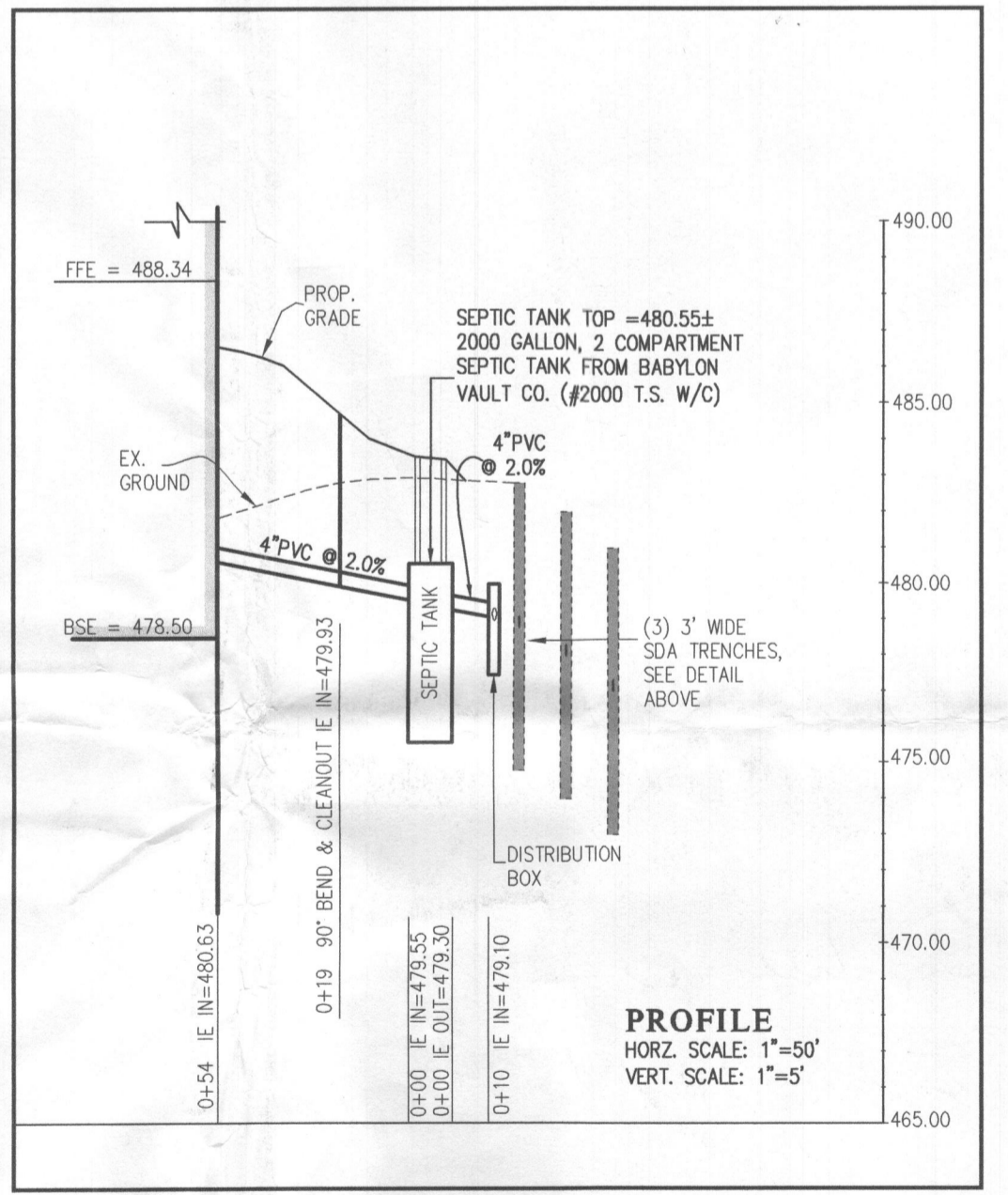
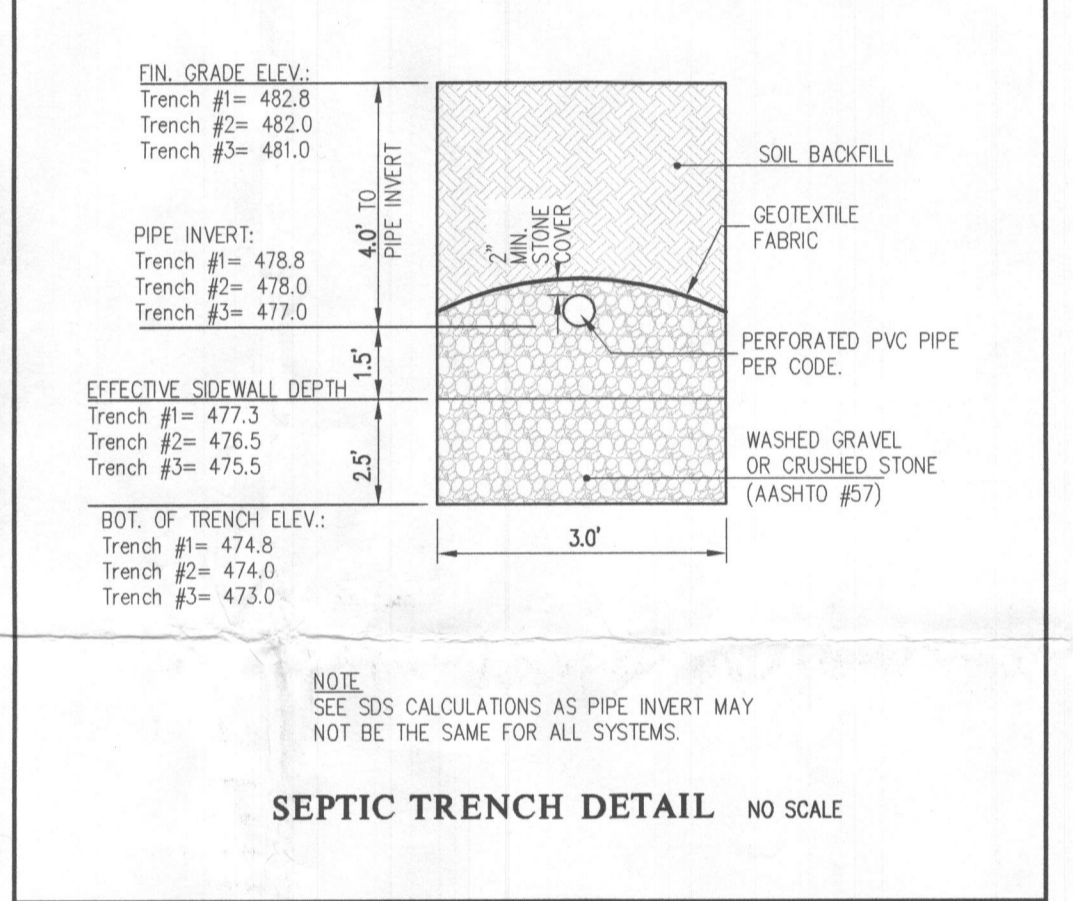
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FFE FIRST FLOOR ELEVATION
- TOW TOP OF FOUNDATION WALL
- BSE BASEMENT SLAB ELEVATION
- PRIVATE SEWAGE DISPOSAL AREA
- INITIAL SYSTEM 3' WIDE TRENCH
- 1st REPLACEMENT SYSTEM TRENCH
- 2nd REPLACEMENT SYSTEM TRENCH
- P # PERCOLATION TEST HOLES (PASSED)
- PH PERCOLATION TEST HOLES (FAILED)
- EXISTING WELL LOCATION

VICINITY MAP
SCALE: 1" = 2,000'

BENCHMARKS
34GC ELEV. 482.873 N = 554,882,960 E = 1,314,248,668
34GD ELEV. 465.288 N = 553,733,762 E = 1,313,736,594

Crawford Subdivision - Lot 23

System Input Information	Initial System	Replacem't System No.1	Replacem't System No.2
Application Rate	1.2	1.2	1.2
Effective area beginning depth	5.5	4.0	4.0
Effective area maximum bottom depth	8.0	8.0	8.0
Number of Bedrooms	5	5	5
Design flow at 150 gal./day/bedroom	750	750	750
Absorption Trench Calculations			
Drainfield area required (Design flow/application rate)	625 s.f.	625 s.f.	625 s.f.
Effluent pipe depth to invert (cannot exceed 4'. If < 2', then field run top at 1-ft interval is required).	4.0	4.0	4.0
Effective sidewall depth "D" (depth between the effective beginning depth or pipe depth (which ever is deeper) and maximum trench bottom).	2.5	4.0	4.0
Trench Width "W" (2 or 3 feet)	3.0	3.0	3.0
Sidewall Reduction Percent = (W+2)/(W+1+2D)	55.56%	41.67%	41.67%
Linear feet of trench required = (drainfield area x sidewall reduction)/W	115.7	86.8	86.8
Trench Layout Information			
Number of trenches to use	3	2	2
Min. length (linear feet)	38.6	43.5	43.5
Total (linear feet)	115.8	87.0	87.0
Minium Trench Spacing : For trenches with no sidewall credit the spacing is 6' for a 2' wide trench and 9' for a 3' wide trench (measured edge to edge). All trenches utilizing sidewall reduction credit must be spaced a min. of 10' for effective sidewall not over 3.5'. If > 3.5', then spacing formula is 2D+W up to a maximum of 18'.	10.0	11.0	11.0
Approx. width of absorption Area	29 ft.		
Approx. drainfield Area (sq. feet)	1,119		



Approved Septic System Plan
Howard County Health Department
Dana Bernard 4-13-18
Signature Date
B18000475
Approved for 5 Bedrooms
No Bedrooms for Basement

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
MB GAITHER'S CHANCE, LLC
1686 E. GLUDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: 301-762-9511
ATTN: MARC QUINT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2018
2/26/18

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
CRAWFORD SUBDIVISION
LOT 23 (13805 MILL CREEK COURT)
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	RR-DEO	17071
DATE	TAX MAP - GRID	SHEET
FEB. 2018	34&39-19&6	1 OF 1

SEDIMENT CONTROL NOTES

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS... CONSTRUCTION INSPECTION DIVISION (CID) 410-313-1055 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD...

- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS OF THE SURFACE OF ALL PERMETER CONTROLS, DIKES, SWALES, DITCHES, PERMETER SLOPES, AND ALL 1/2 SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL...

- 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec. B-4-2) PERMANENT SEEDING (Sec. B-4-3)...

- 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED UNDER THE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

- 6. SITE ANALYSIS: TOTAL AREA OF SITE: 1,377.44 AC. AREA DISTURBED: 0.66 AC. AREA TO BE ROOFED OR PAVED: 0.14 AC. AREA TO BE VEGETATIVELY STABILIZED: 0.52 AC.

Table with 4 columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Annual Ryegrass and Pearl Millet.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- 1. SEED MIXTURES: a. GENERAL USE: ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

- 2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

- 3. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONE: 5B, 6A) CENTRAL MD: MARCH 15 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 6B) SOUTHERN MD: EARLIER, MARCH 1 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 7A, 7B)

Table with 4 columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Kentucky Bluegrass and Perennial Ryegrass.

- 1. GENERAL SPECIFICATIONS: a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

- 2. SOD INSTALLATION: a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- 1. SEED MIXTURES: a. GENERAL USE: ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

- 2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

- 3. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONE: 5B, 6A) CENTRAL MD: MARCH 15 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 6B) SOUTHERN MD: EARLIER, MARCH 1 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 7A, 7B)

Table with 4 columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Kentucky Bluegrass and Perennial Ryegrass.

- 1. GENERAL SPECIFICATIONS: a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

- 2. SOD INSTALLATION: a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- 1. SEED MIXTURES: a. GENERAL USE: ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...

- 2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

- 3. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONE: 5B, 6A) CENTRAL MD: MARCH 15 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 6B) SOUTHERN MD: EARLIER, MARCH 1 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONE: 7A, 7B)

Table with 4 columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Kentucky Bluegrass and Perennial Ryegrass.

- 1. GENERAL SPECIFICATIONS: a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

- 2. SOD INSTALLATION: a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

- 1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION...

- 2. TILLAGE: TILL TO ROCKEN SURFACE AND BRING CLOSE TO THE SURFACE BEGIN PLACING ON WINDWARD SIDE OF SITE, CHISEL-TYPE PLOWS SPACED ABOUT 12 FEET APART...

- 3. CONSTRUCTION SPECIFICATIONS: 1. USE WOOD POSTS 1 1/2" x 1 1/2" x 8' OR 2" x 4" (NON-TOXIC) SPACED OUT OF STAKE SPACING 4' TO 6'...

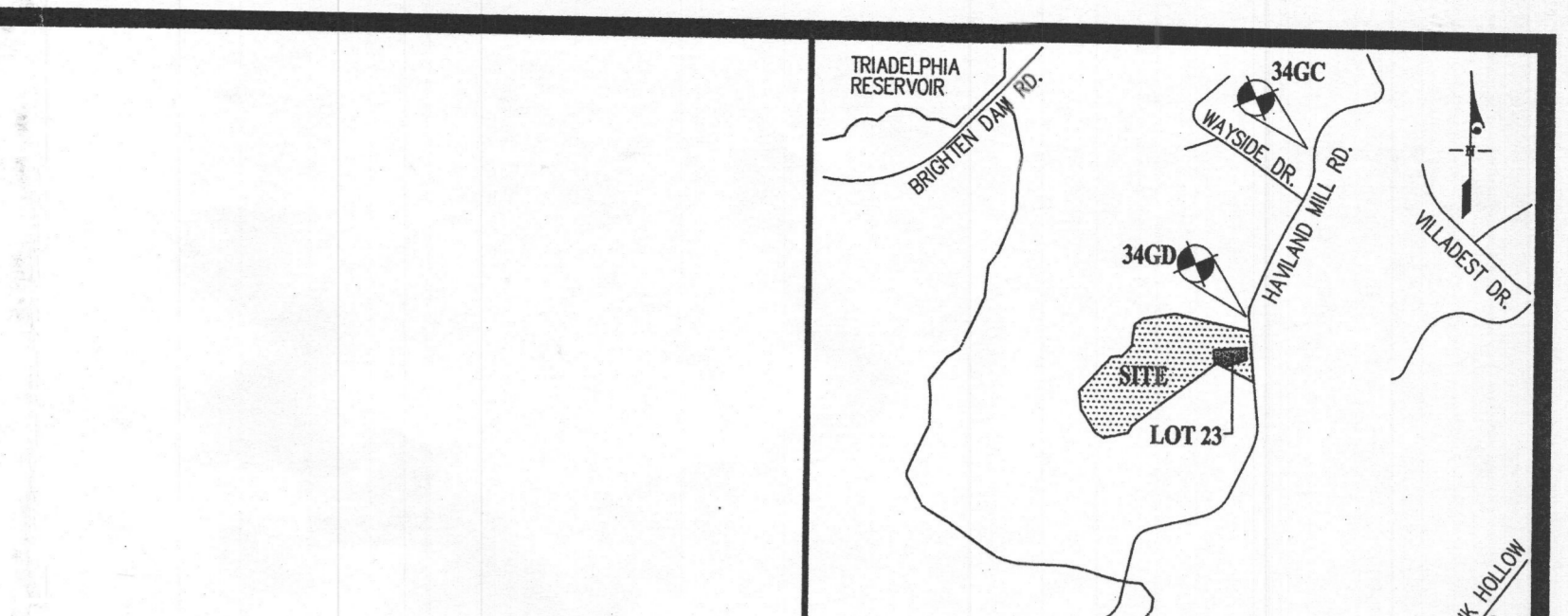
- 4. SEQUENCE OF CONSTRUCTION: 1. APPLY FOR A GRADING PERMIT AND A BUILDING PERMIT.

- 5. STORMWATER MANAGEMENT IS PER F-17-016. ALL ROOF AREA FOR THE HOUSE ON THIS LOT SHALL BE ROUTED TO A DRYWELL. SIZE AND LOCATION OF DRYWELL(S) PER THIS PLAN, FOR DETAILS OF DRYWELL SEE F-17-016.

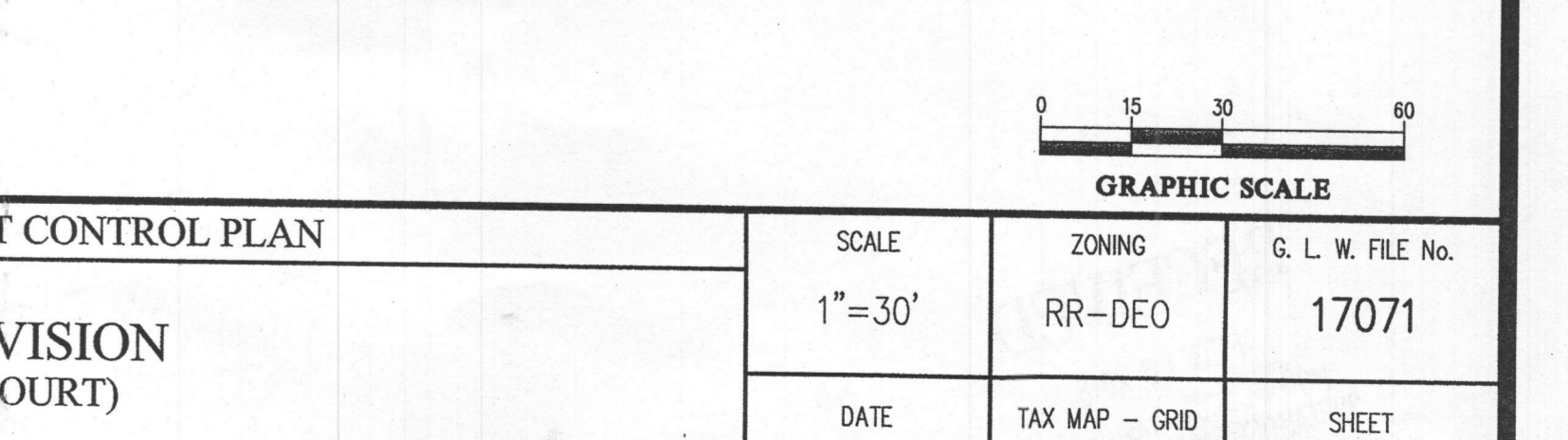
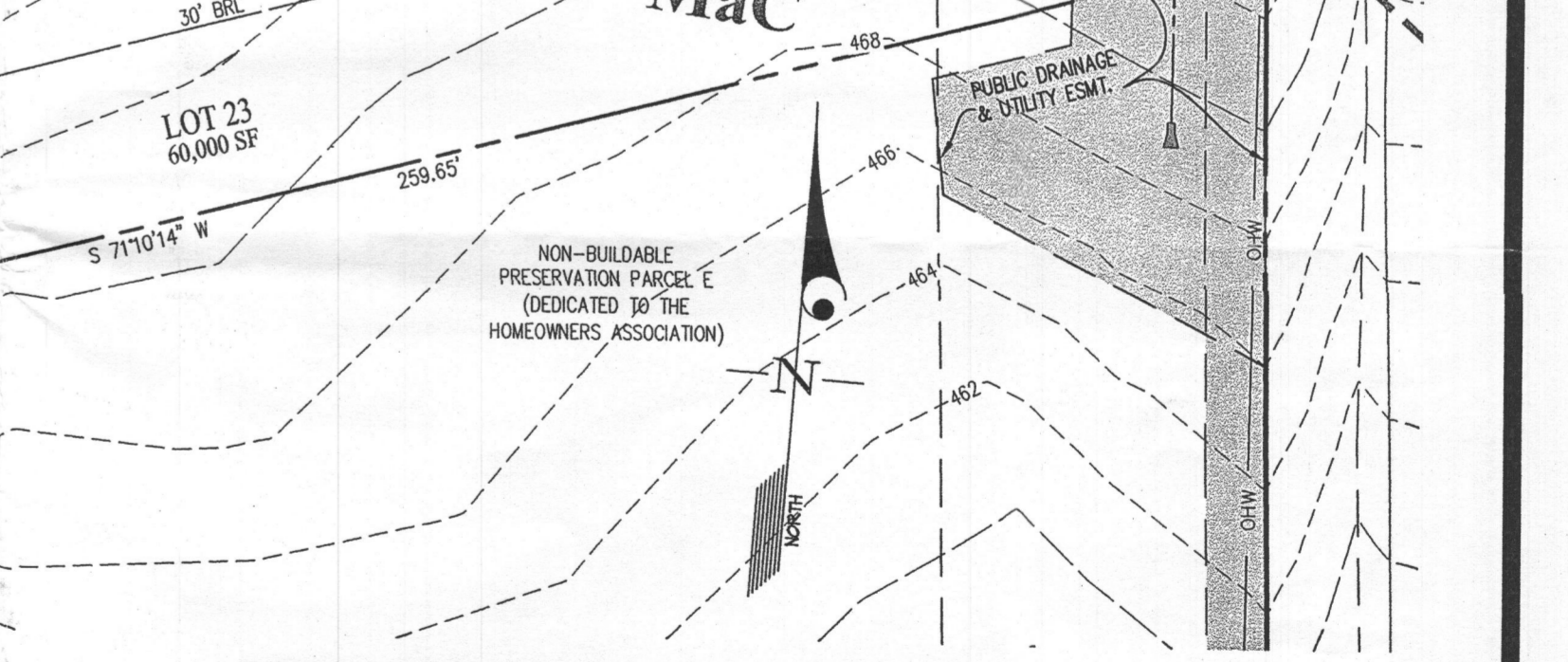
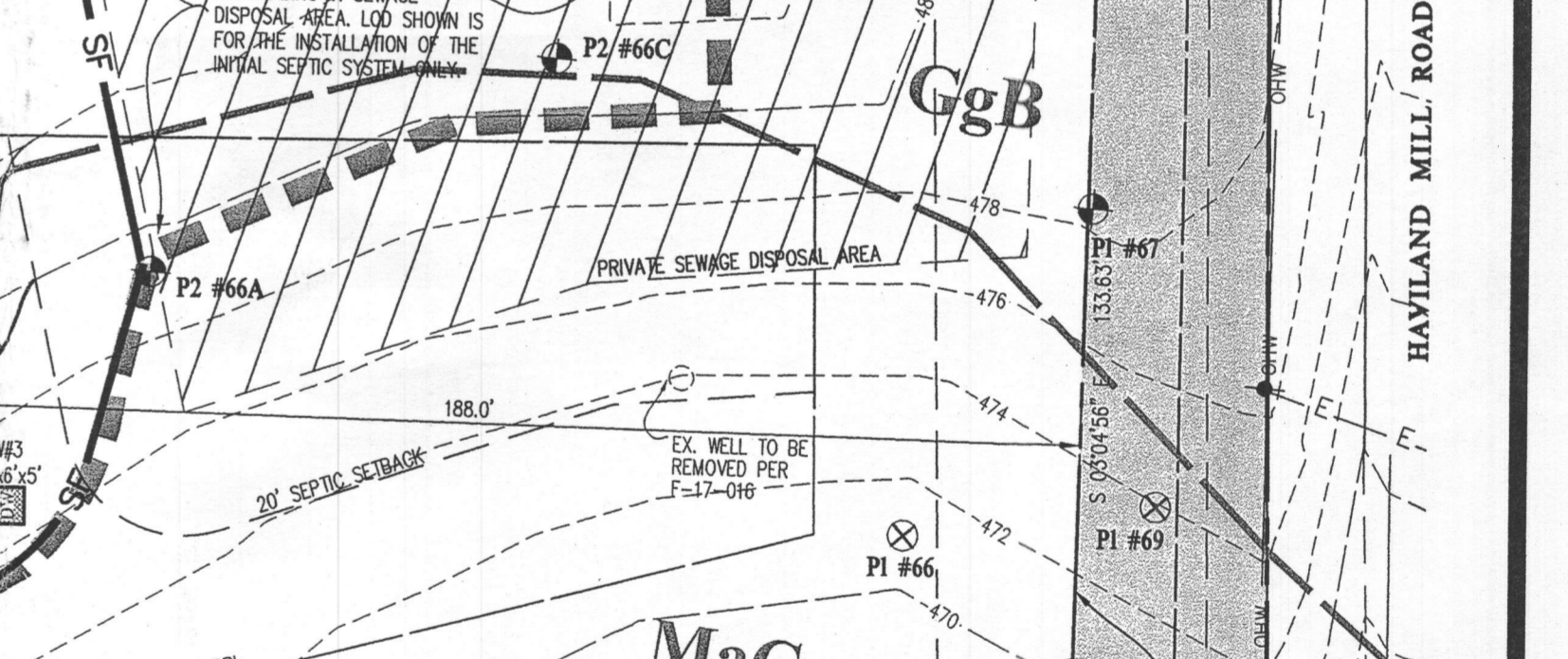
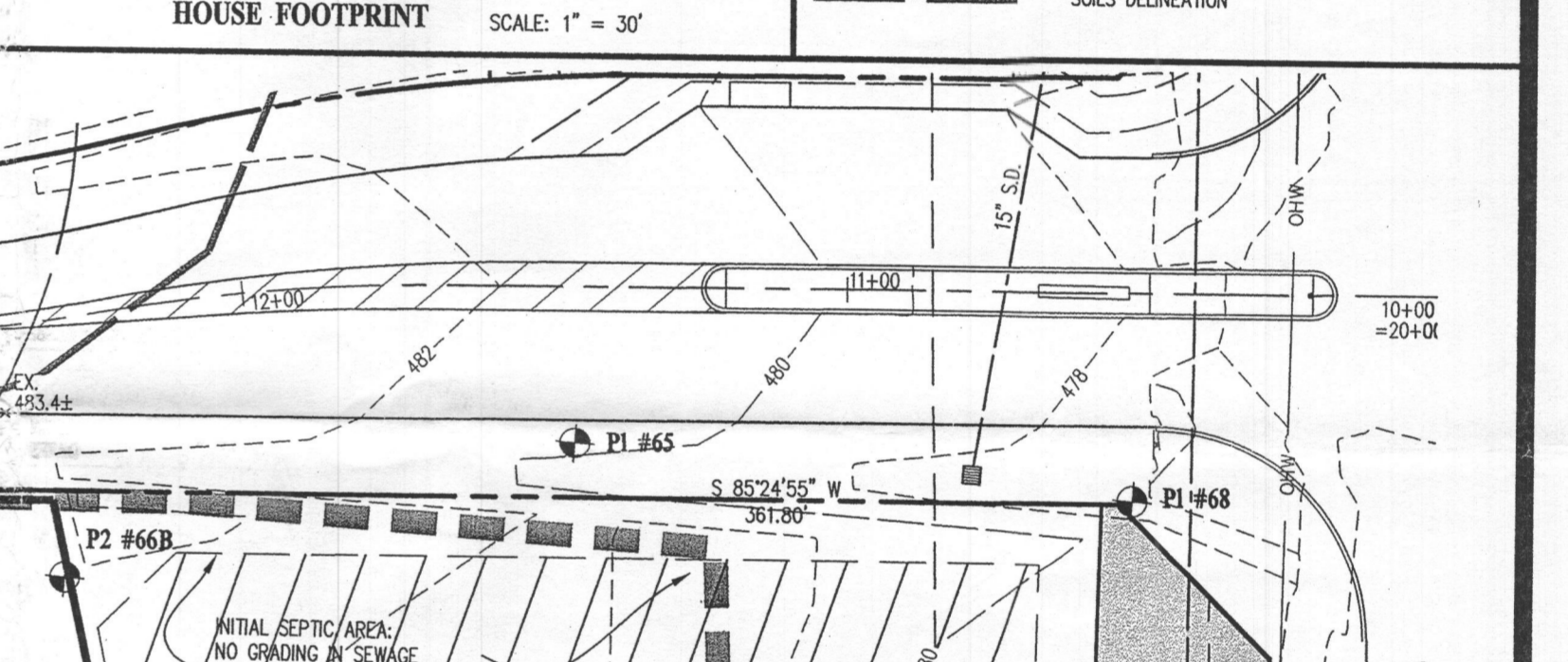
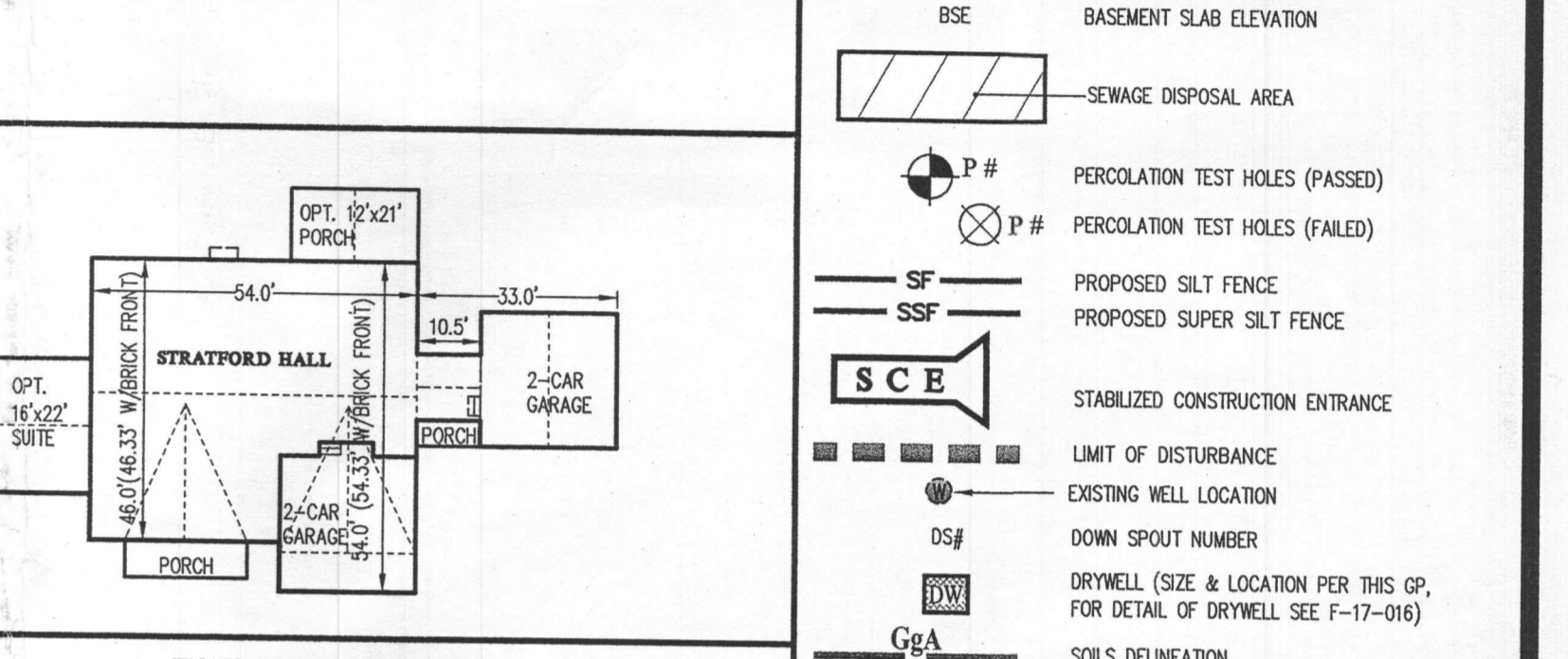
- 6. STORMWATER MANAGEMENT IS PER F-17-016. ALL ROOF AREA FOR THE HOUSE ON THIS LOT SHALL BE ROUTED TO A DRYWELL. SIZE AND LOCATION OF DRYWELL(S) PER THIS PLAN, FOR DETAILS OF DRYWELL SEE F-17-016.

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

TEMPORARY STABILIZATION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...



VICINITY MAP SCALE: 1" = 200'. BENCHMARKS: 346C ELEV. 482.873 N = 554,882,960 E = 1,314,248,668. 346D ELEV. 465.288 N = 553,733,762 E = 1,313,736,594.



GRAPHIC SCALE: 0 15 30 60. SCALE: 1"=30'. ZONING: RR-DEO. G. L. W. FILE NO.: 17071. SHEET: 1 OF 1.

13805 Mill Creek Court

LOT 23

HEALTH DEPT

STRATFORD HALL

HEALTH DEPT



NVR, Inc.
 Architectural Services
 Architects
 5285 Westview Drive, Suite 100
 Frederick, MD 21703

	FULL BASEMENT													CRAWL SPACE													STANDARD DETAILS
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE S.C., S.A., S.A.B.	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE S.C., S.A., S.A.B.					
SPEC SHEET	55-1											55-1													AD-1		
GENERAL NOTES	2											2													AD-1b		
SCHEDULES	3											3													FD-1		
ELEVATIONS		4,5	6	7	8	4	10,11,11.2,12,12.2	13					4,5	6	7	8	4	10,11,11.2,12,12.2	13					FD-2			
FOUNDATIONS	14	14	15.1	15.1	15.2	15.2			14	14	16	17	17	18.1	18.1	18.2	18.2			17	17	19	FD-2b				
FOUNDATION GRADE BEAMS	20										20,21	20										20,21	FD-3				
FOUNDATION HOLD DOWNS	22,23,24,25											22,23,24,25											GB-1				
PLUMBING	26											26											JT-1				
BASEMENT FLOOR PLAN	27,28																						JT-3				
FIRST FLOOR PLAN	29	29	30.1	30.1	30.2	30.2		31.1	31.1	31.2	29	29	30.1	30.1	30.2	30.2			31.1	31.1	31.2		JT-3b				
SECOND FLOOR PLAN	32,1,33	32.1	33	32.1	33	33					32,1,33	32.1	33	32.1	33	33							RF-1				
BUILDING SECTIONS THROUGH FOYER	34	34	35	35	35	35					34	34	35	35	35	35							RF-1b				
BUILDING SECTIONS THROUGH GARAGE	36	36	37.1	37.1	37.1	37.1		36	37.2	37.2	36	36	37.1	37.1	37.1	37.1			36	37.2	37.2		ET-1				
STAIR SECTIONS	38,39,40										38,39,40												ET-1b				
KITCHENS - LAUNDRY	41,42,43										41,42,43												ET-1c				
BATH - ELEVATIONS	44										44												ET-1e				
BASEMENT ELECTRICAL	45,46,1,46.2																						ET-1f				
FIRST FLOOR ELECTRICAL	47	47	48	48	48	48	49.1	49.1	49.2	47	47	48	48	48	48	48		49.1	49.1	49.2			ET-2				
SECOND FLOOR ELECTRICAL	50	50	51	51	51	51				50	50	51	51	51	51	51							ET-2b				
FIRST FLOOR FRAMING	52						52	53.2	53.2,53.3	52									52	53.2	53.3		WD-1				
SECOND FLOOR FRAMING	54									54													WD-2				
ROOF FRAMING		55	56	57	58	59	60	60	60		55	56	57	58	59			60	60	60			WD-3				
TRUSS BRACING	61,62									61,62													DR-1				
WALL BRACING - 90 MPH	63,65									63,65													DR-2				
WALL BRACING - 100 MPH	64,66									64,66													DR-3				
HVAC LAYOUT - BASEMENT FOUNDATION - 5XN	67																						FP-1				
HVAC LAYOUT - BASEMENT FOUNDATION - 5XN	68																						IT-1				
HVAC LAYOUT - CRAWL FOUNDATION - 5XN										69													IT-1b				
HVAC LAYOUT - CRAWL FOUNDATION - 5X5										70													IT-1c				
HVAC LAYOUT - FIRST FLOOR	71																						IT-2				
HVAC LAYOUT - FIRST FLOOR										72													ST-1				
HVAC LAYOUT - SECOND FLOOR - 5XN	73									73													ST-2				
HVAC LAYOUT - SECOND FLOOR - 5X5	74									74													HS-1				
																							KT-1				
																							SP-1				
																							SP-2				
																							SP-3				
																							SEP-1				
																							SEP-2				
																							SEP-3				
																							SEP-4				
																							F-1				
																							FC-1				
																							FC-2				
																							FC-4				
																							HB-1				
																							HB-2				
																							DM-2				

FOOTPRINT

BASE HOUSE:	
WIDTH:	54'-0"
DEPTH:	54'-4"
MAXIMUM:	
WIDTH:	103'-0"
DEPTH:	66'-4"

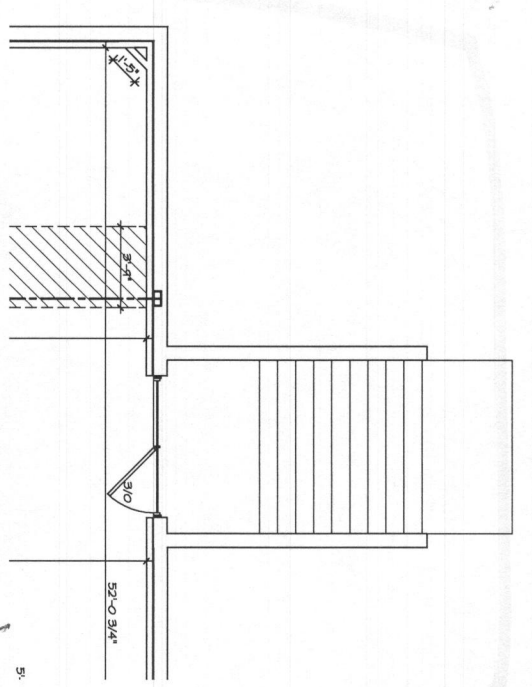
BASE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	257 SF
2ND FLOOR (BASE SF)	2133 SF
	4290 SF
FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	257 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	34 SF
1ST FLOOR ONE CAR GARAGE (DEDUCT SF)	6 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
TWO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	448 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1457 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
FINISHED BASEMENT TWO CAR SIDE ATTACHED GARAGE (DEDUCT SF)	7 SF
FINISHED BASEMENT ONE CAR GARAGE (DEDUCT SF)	6 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT (BASE SF)	2181 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
UNFINISHED BASEMENT ELEV. 'B' OR 'L' (ADD. SF)	40 SF
UNFINISHED BASEMENT ONE CAR SIDE ATTACHED GARAGE (DEDUCT SF)	6 SF

SET - VERSION

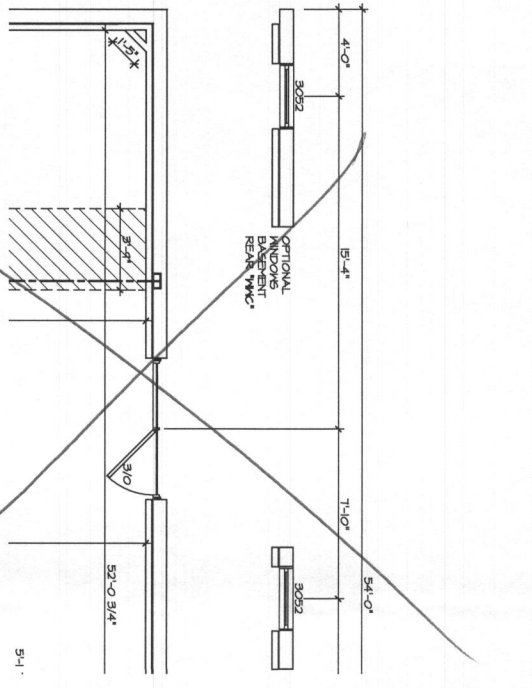
11900 - 01

CS-1

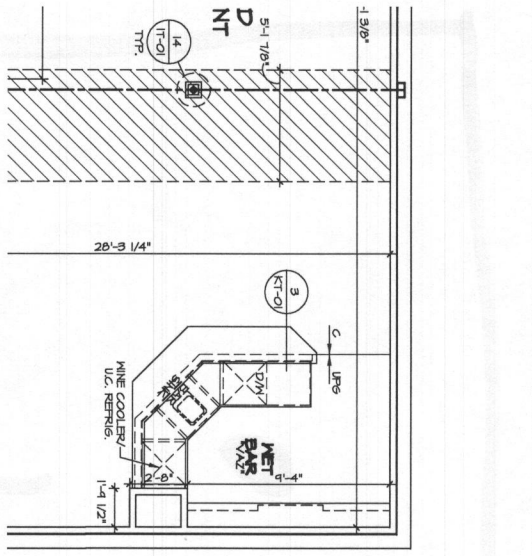
C:\NVR\Solva\STRATFORD HALL_11900_01_2\Sheets\Vector Set\CS-1 COVER SHEET.dwg 07/15/18 - 10:40 am



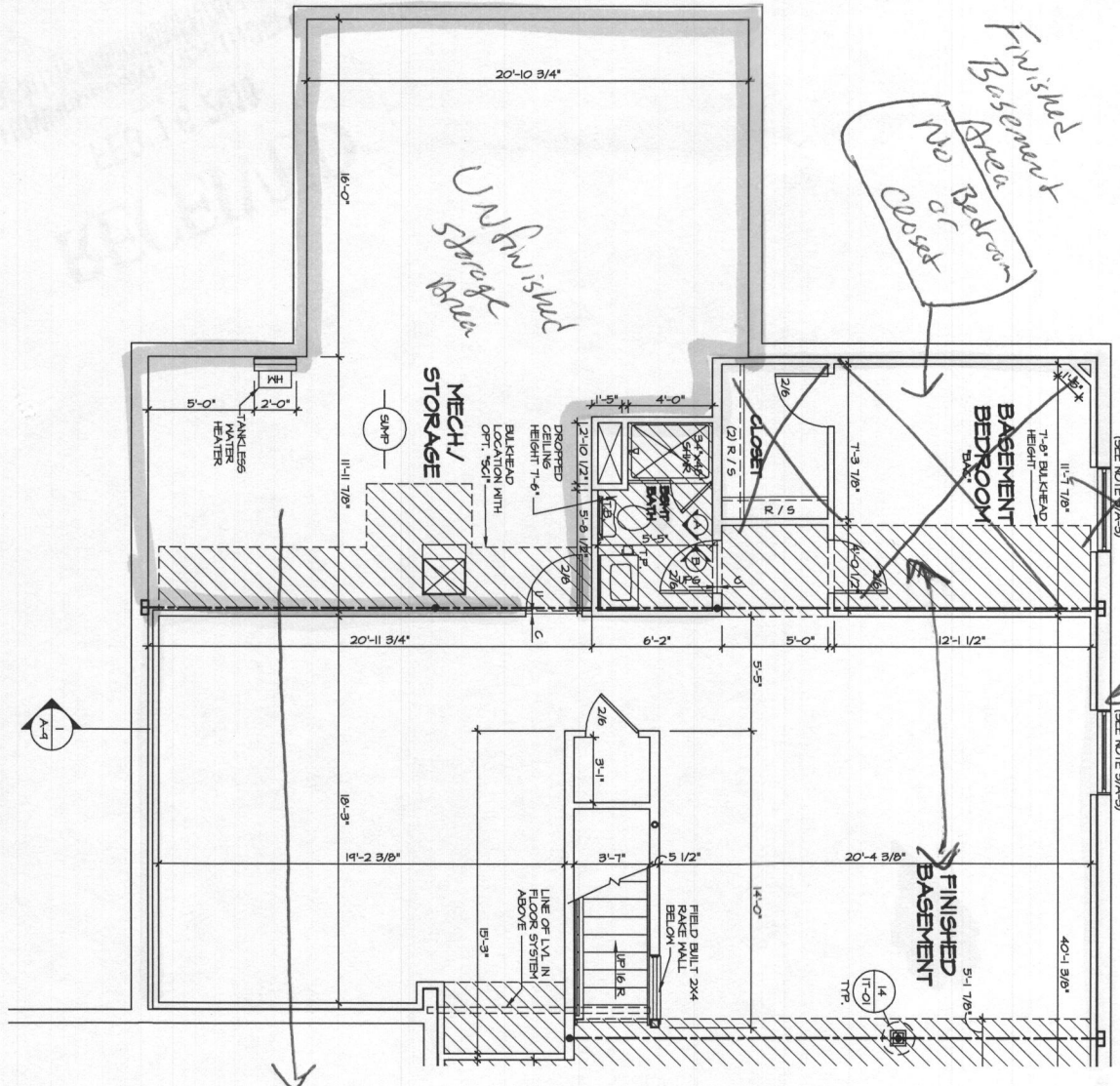
3 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



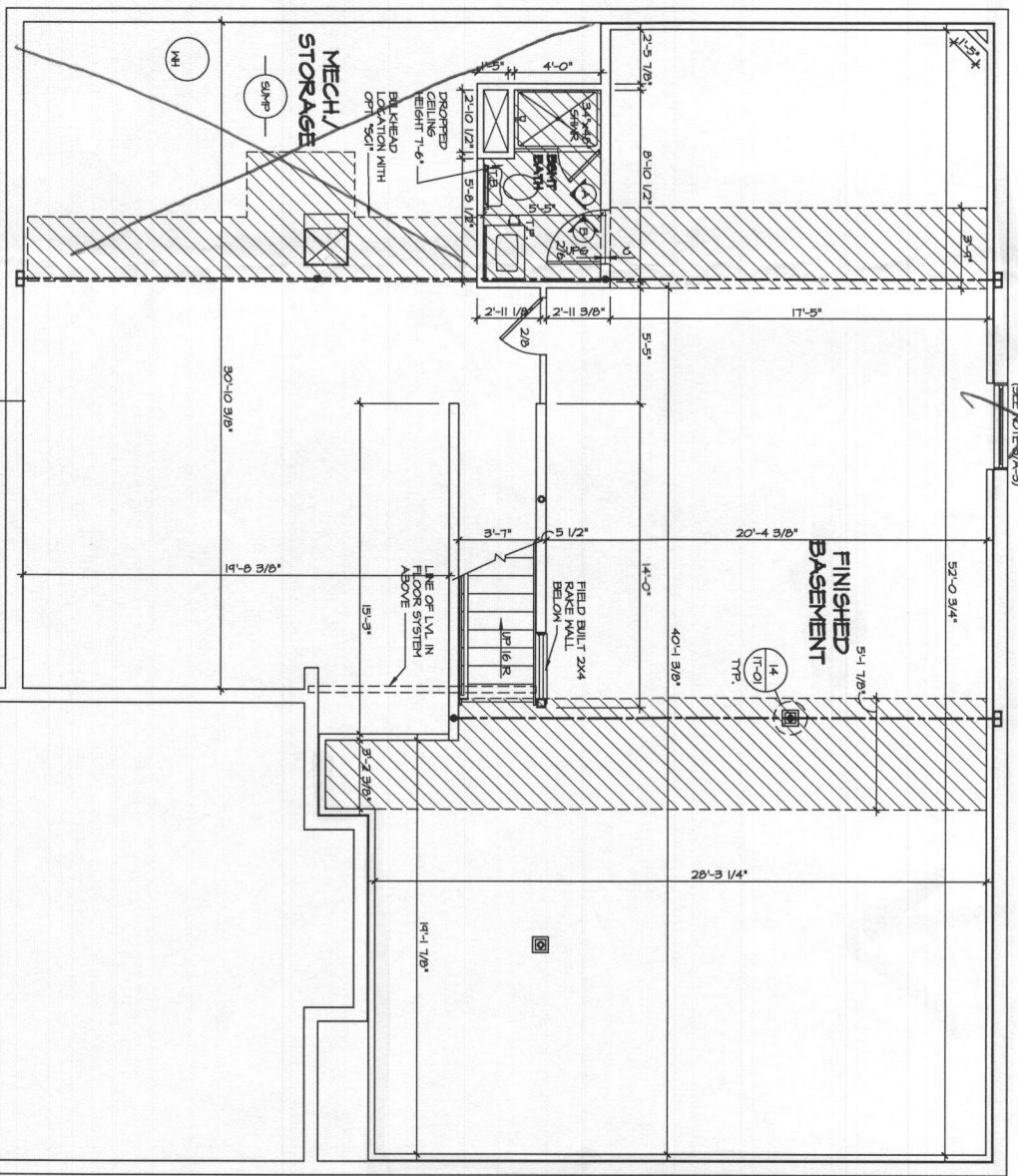
4 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



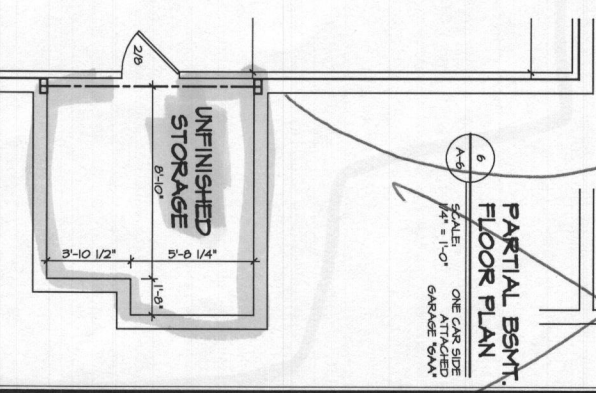
5 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 PARTIAL BSMT FLOOR PLAN
SCALE: 1/4" = 1'-0"

7 PARTIAL BSMT FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. GENERAL NOTES (N-1)
 2. GENERAL NOTES (N-2)
 3. LVL WALLING SCHEDULE (N-1) FOR FINISHING CONNECTIONS
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

LEGEND

▬	BEARING WALL
▬	NON-BEARING WALL
⊗	NOTICES BEARING FROM FINISHING CONNECTIONS
⊗	JACKS
⊗	BEAM/HEADER
⊗	PAD FOOTINGS
⊗	STEEL COLUMN
⊗	PORTAL FRAME
⊗	JOIST/TRUSS
⊗	LVL
⊗	ENGINEERING PAGE NUMBER

SEE TO DETAILS FOR FINISHING CONNECTIONS

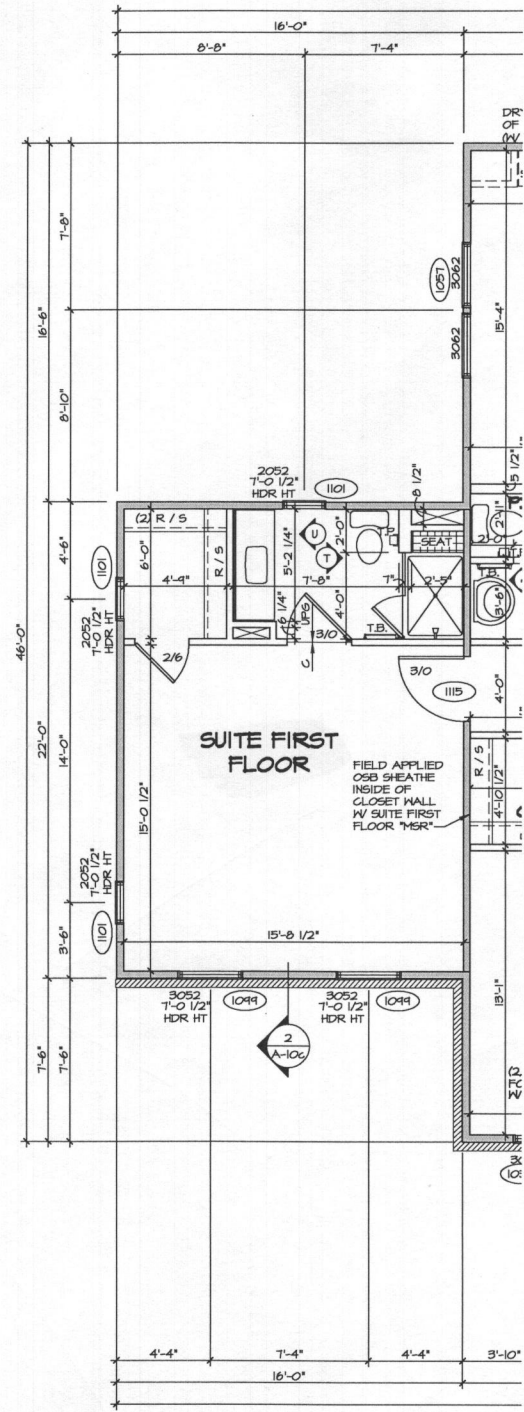
REV. NO.	DATE	REMARKS
10	11/11/17	BRN - TANKLESS WATER HEATER PROJECT DMR 1414
2	01/24/17	TM - STANDARD DETAILS 9.0
3	5/17/17	M56 - REVISED SUMP LOCATION (PAR M52156)
4	5/28/17	ATK - ADDED EGRESS WINDOW W/ OPT. BSMT. BORN. PER PAR # 46000
5	5/28/17	ATK - HIDDEN BASEMENT BULKHEAD AT STAIR FOR HVAC (PAR ID 45917)
6	6/12/17	ATK - HIDDEN BASEMENT BULKHEAD AT STAIR FOR HVAC (PAR ID 46414)
7	6/26/17	M56 - ADDED RAKE WALL NOTE AT BOTTOM OF STAIRS (PAR M46586)
8	7/20/17	LAB - CHANGED ROOM NAME 'CLOS' TO 'CLOSET' - ROUGH AUDIT
9	7/24/17	LAB - REVISED CRAWL SPACE UNDER 'MSR' TO BE BASEMENT AREA (PROJ. #22417)

NVR, Inc., owner, expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the expressed written consent of NVR, Inc.

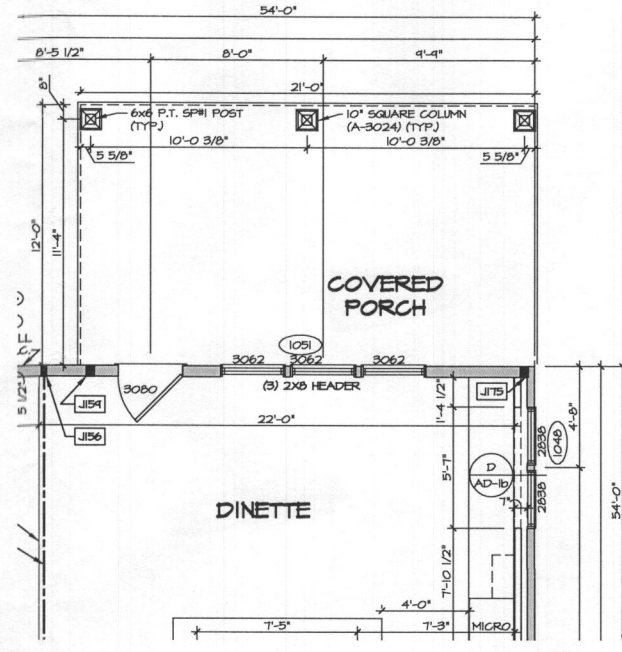
NVR

NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

SHEET NO. A-6	MODEL STRATFORD HALL	SET NO. 11900
DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS	VERSION 01	DRAWN BY BIM
OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT	DATE: 3/7/2016	DATE: 3/7/2016
28	FBA	MAC



1
A-7c PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SUITE FIRST FLOOR 15ER



2
A-7c PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
COVERED PORCH 15ER

NOTES:
 1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED

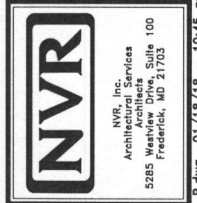
LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

REV. NO.	DATE	REMARKS
1	07/24/11	TM - STANDARD DETAILS 3.0
2	04/01/11	LATE - PARKING AREAS ADDED TO COVERED PORCH FOR RAILING SUPPORT
3	02/28/11	LATE - PARKING AREAS ADDED TO COVERED PORCH FOR RAILING SUPPORT
4	02/28/11	RELOCATED ATTIC ACCESS TO SET THE SUITE. REFER NOTE (PAR #4691)
5	02/28/11	MOVED ATT. AGG. FROM 1ST FLOOR TO 2ND FLOOR. REFER NOTE (PAR #4691)
6	02/28/11	REVISED PLACEMENT OF THE COLUMN PER DTL (DET-3)

NVR, Inc. does not warrant, represent, or assume any responsibility for the accuracy, completeness, or correctness of the information, data, or drawings contained herein. The user of these drawings shall be responsible for verifying the accuracy of the information, data, or drawings contained herein. The user of these drawings shall be responsible for obtaining all necessary permits and approvals for the construction of the project. The user of these drawings shall be responsible for obtaining all necessary insurance and bonding for the project. The user of these drawings shall be responsible for obtaining all necessary approvals from the appropriate authorities. The user of these drawings shall be responsible for obtaining all necessary approvals from the appropriate authorities. The user of these drawings shall be responsible for obtaining all necessary approvals from the appropriate authorities.

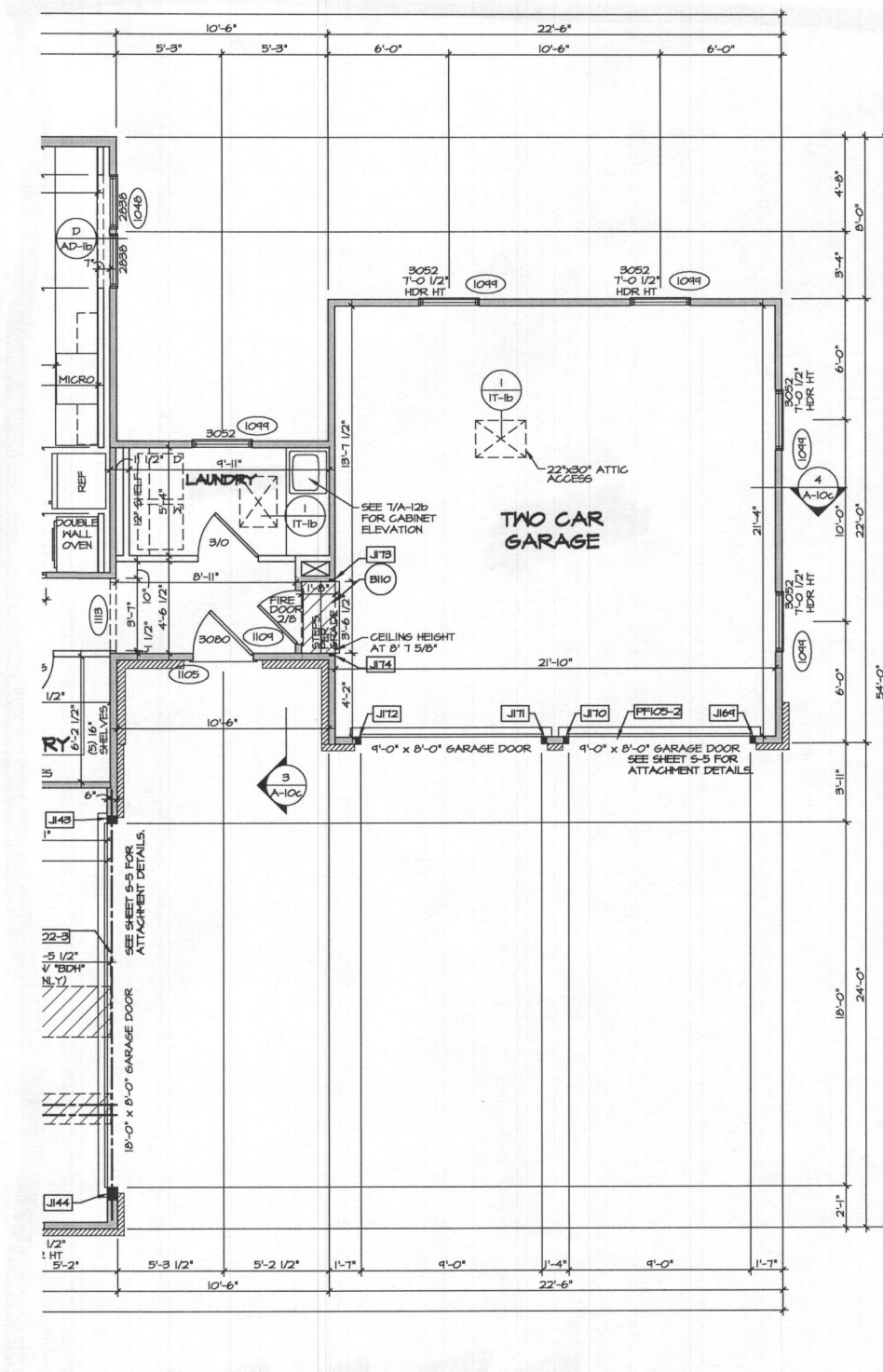
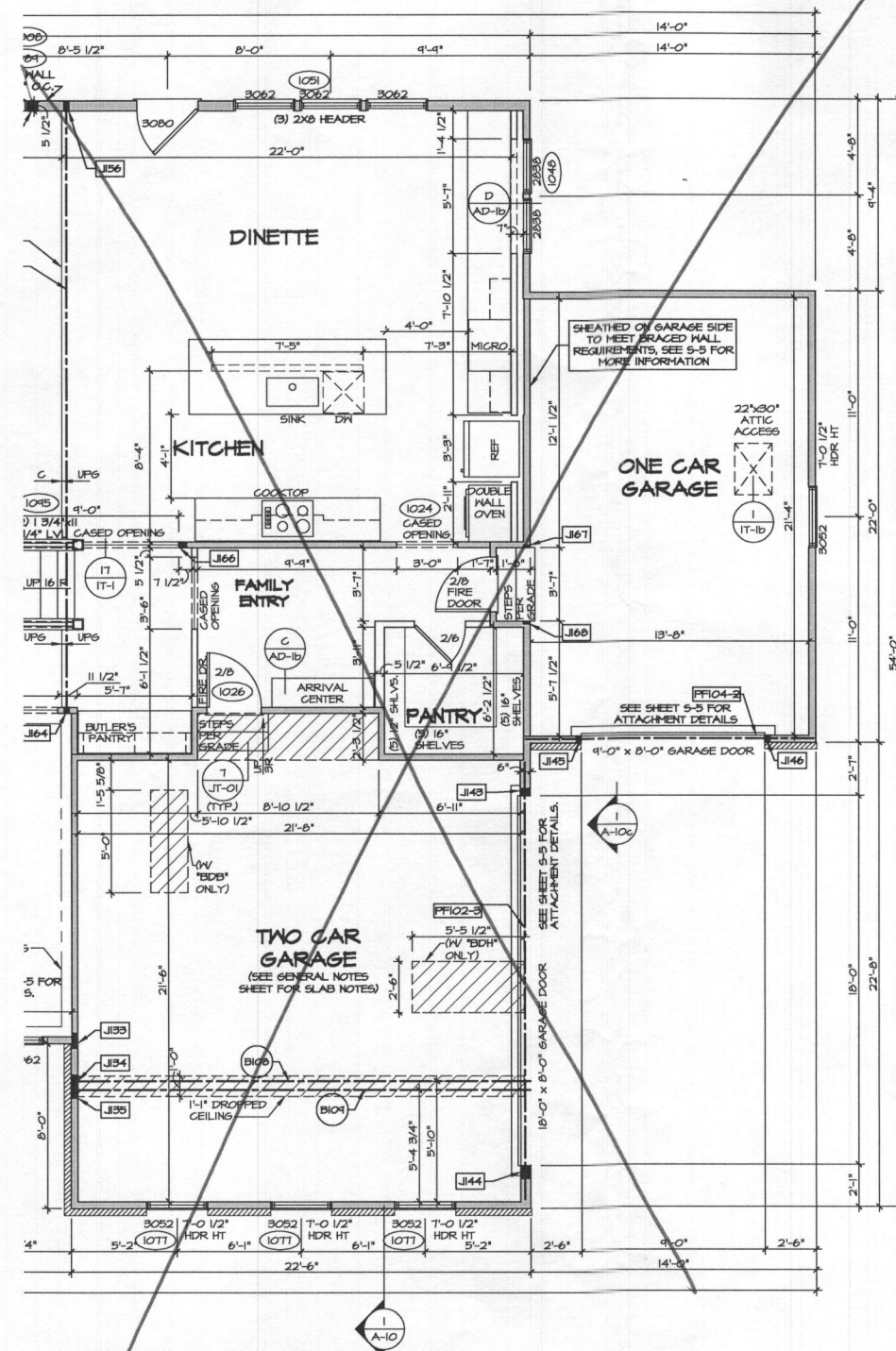
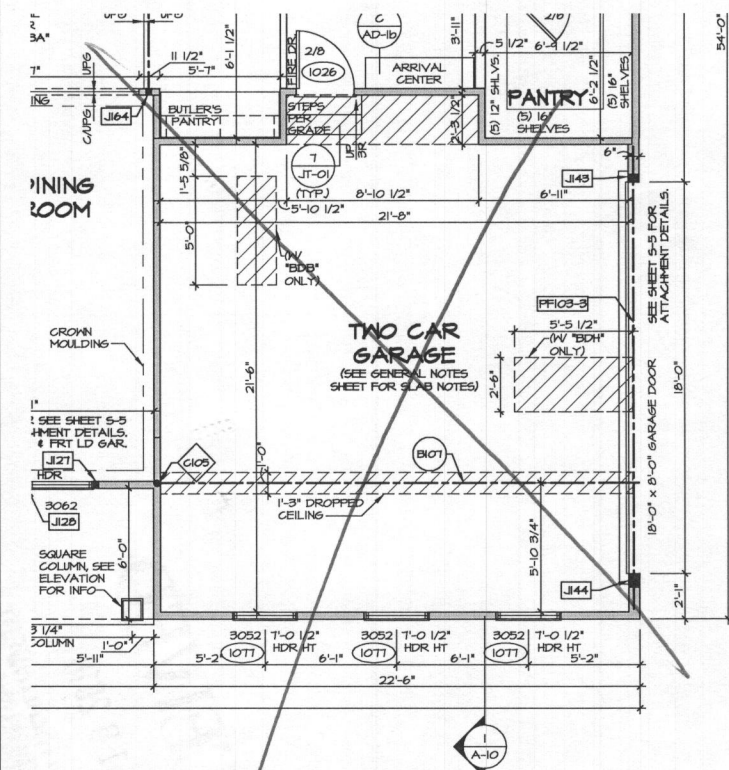


SHEET NO.	MODEL	SET NO. / IFCO	VERSION / I
A-7c	STRATFORD HALL	1 / M56	1 / M56
31.1	DRAWING TITLE	DATE	OPTION
	FIRST FLOOR PLAN PARTIALS	4/15/16	M5R
	SUITE FIRST FLOOR		EPE
	COVERED PORCH		

- LEGEND**
- BEARING WALL
 - - - NON BEARING WALL
 - ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
 - ⊥ JACKS
 - ⊔ BEAM-HEADER
 - ⊔ PAD FOOTING
 - ⊔ STEEL COLUMN
 - ⊔ PORTAL FRAME
 - ⊔ JOIST/TRUSS
 - LVL
 - ⊔ ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

- NOTES:**
1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED



REV. NO.	DATE	REMARKS
1	07/24/11	TM - STANDARD DETAILS B.O
2	6/27/11	ATK - REVISED BLIND AND GARAGE ENTRY DOOR (PAR ID: 4445)
3	7/27/11	JAB - ADDED DETAIL 1711-1 - ROOM LADIT
4	7/27/11	ATK - REVISED LADIT ROOM WALL FOR DRYER VENT (PAR ID: 4729)
5	8/01/11	SPY - REVISED FIRE RATED ATTIC ACCESS (GC LIB: 8663)
6	11/01/11	SPY - REVISED FIRE RATED ATTIC ACCESS (GC LIB: 8663)
7	1/06/12	ATK - REVISED FLUSH BEAM WITH JOIST AND JACKS (PAR ID: 4444)
8	1/06/12	ATK - ADDED ELEVATION REFERENCE TO LAUNDRY WITH 6AB (PAR ID: 4455)

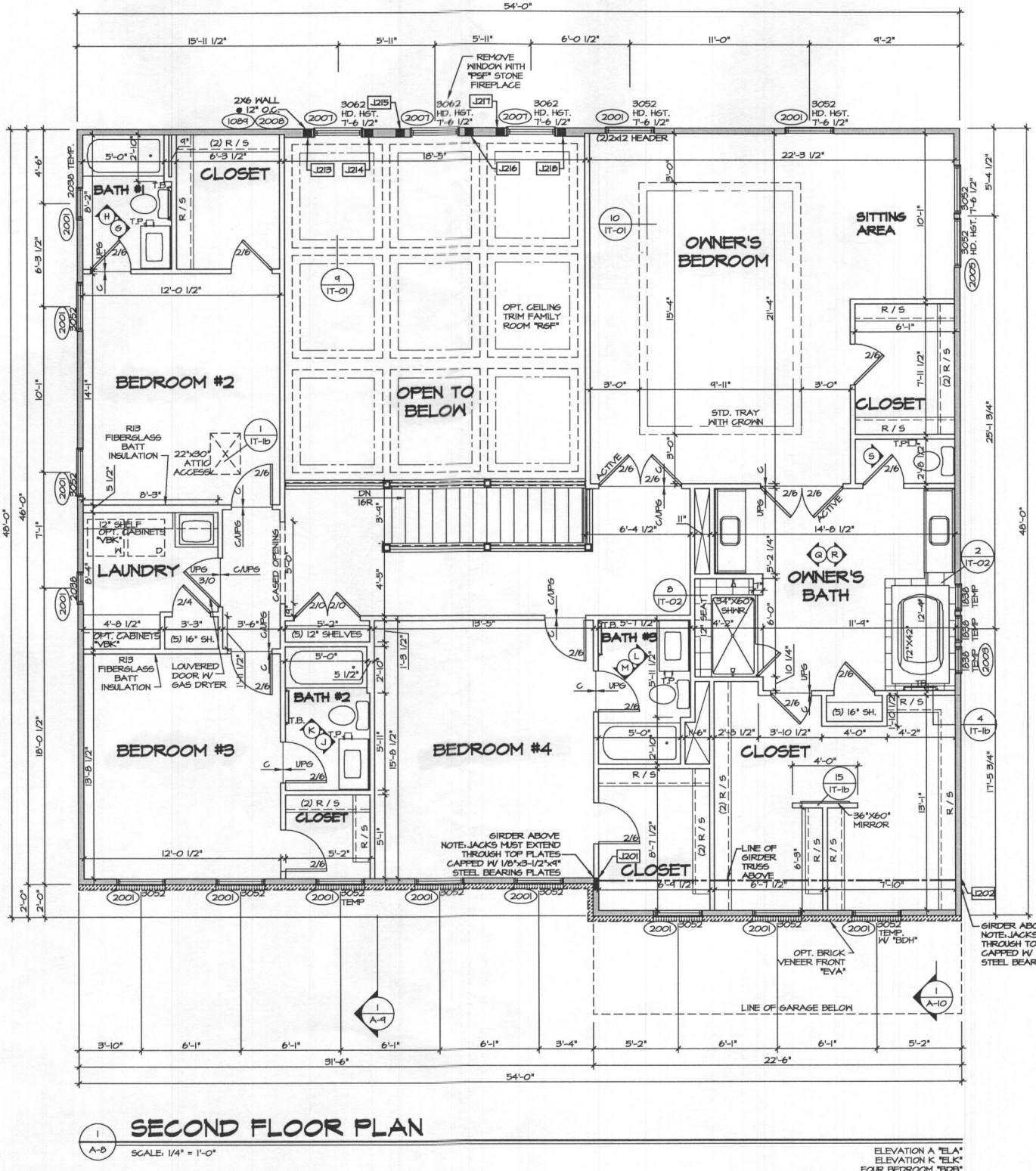
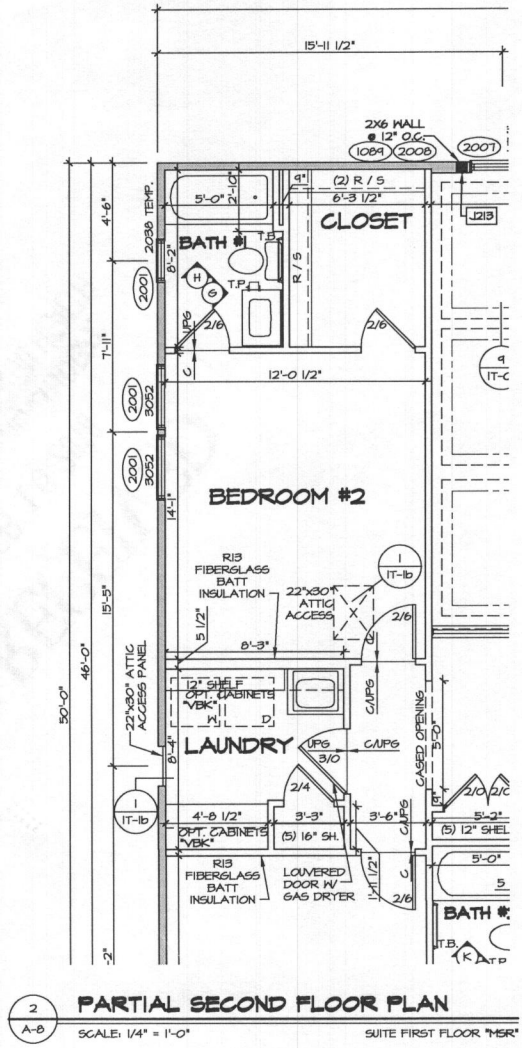
REVISIONS: NVR, Inc. does not warrant, represent, or control the copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, without the expressed written consent of NVR, Inc.

NVR
NVR, Inc.
Architectural Services
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 11800
VERSION C1
DRAWN BY MS6
DATE: 9/15/16
OPTION: GCC
TWO CAR SIDE ENTRY GARAGE
ONE CAR SIDE ATTACHED FRONT ENTRY GARAGE
TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE
TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE

SHEET NO. **A-7d**
31.2

C:\NVA\Solve\STRATFORD_HALL_11800_01_2A_Straf_Hall_Master_Sol_Floor_Plan_31.2_A-7d_P1NT_GAR.dwg_01/18/18 - 10:45 am

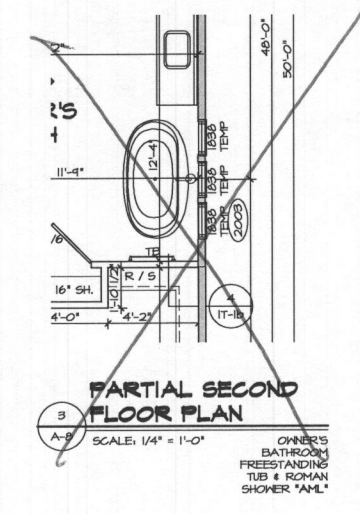


NOTES:
1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. L.V.L. NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

LEGEND

—	BEARING WALL
—	NON BEARING WALL
⊗	INDICATES BEARING FROM POINT-LOAD ABOVE
J	JACKS
B	BEAM/HEADER
F	PAD FOOTING
◇	STEEL COLUMN
X	PORTAL FRAME
X	JOIST/TRUSS
LVL	L.V.L.
⊗	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS



SHEET NO. A-8	MODEL STRATFORD HALL	SET NO. 11900	REV. NO. 1	DATE 07/24/17	REMARKS
	DRAWING TITLE SECOND FLOOR PLAN	VERSION 01	2	07/24/17	1. 07/24/17 TM - STANDARD DETAILS B.O.
	OPTION DESCRIPTION	DRAWN BY BIM	3	07/27/17	2. 07/27/17 MS - ADDED ACCESS PANEL IN L.A.N. TO REACH "MER" ATTIC (PAR #46877)
	32.1	DATE: 9/7/2016	4	07/27/17	3. 07/27/17 MS - ADDED CEILING TRIM OPTION
					4. 07/27/17 MS - ADDED T.B. REMOVED T.B.S FROM OWNER'S BATH (PAR #46884)

C:\NVA\Solves\STRATFORD HALL_11900_01_22\Sheets\Master_Sol\Second Floor Plan_32.1 A-8 PLN2.dwg 07/18/18 - 10:45 am

13805 Mill Creek Court

Lot 23

STRATFORD HALL

Health Dept

HEALTH DEPT



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

	FULL BASEMENT													CRAWL SPACE													STANDARD DETAILS
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE SGG, SAA, SAB	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'K'	ELEV. 'L'	ELEV. 'R'	SIDE ELEVATIONS	REAR ELEVATIONS	OPTIONAL COVERED PORCH	OPTIONAL FIRST FLOOR SUITE	OPTIONAL GARAGE SGG, SAA, SAB					
SPEC SHEET	55-1											55-1												AD-1			
GENERAL NOTES	2											2												AD-1b			
SCHEDULES	3											3												FD-1			
ELEVATIONS		4,5	6	7	8	4	10,11,11.2,12,12.2	13					4,5	6	7	8	4	10,11,11.2,12,12.2	13					FD-2			
FOUNDATIONS	14	14	15.1	15.1	15.2	15.2			14	14	16	17	17	18.1	18.1	18.2	18.2							FD-2b			
FOUNDATION GRADE BEAMS	20										20,21	20												FD-3			
FOUNDATION HOLD DOWNS	22,23,24,25											22,23,24,25												6B-1			
PLUMBING	26											26												JT-1			
BASEMENT FLOOR PLAN	27,28																							JT-3			
FIRST FLOOR PLAN	29	29	30.1	30.1	30.2	30.2			31.1	31.1	31.2	29	29	30.1	30.1	30.2	30.2							JT-3b			
SECOND FLOOR PLAN	32.1,33	32.1	33	32.1	33	33						32.1,33	32.1	33	32.1	33	33							RF-1			
BUILDING SECTIONS THROUGH FOYER	34	34	35	35	35	35						34	34	35	35	35	35							RF-1b			
BUILDING SECTIONS THROUGH GARAGE	36	36	37.1	37.1	37.1	37.1			36	37.2	37.2	36	36	37.1	37.1	37.1	37.1							ET-1			
STAIR SECTIONS	38,39,40											38,39,40												ET-1b			
KITCHENS - LAUNDRY	41,42,43											41,42,43												ET-1c			
BATH - ELEVATIONS	44											44												ET-1e			
BASEMENT ELECTRICAL	45,46,1,46,2																							ET-1f			
FIRST FLOOR ELECTRICAL	47	47	48	48	48	48			49.1	49.1	49.2	47	47	48	48	48	48							ET-2			
SECOND FLOOR ELECTRICAL	50	50	51	51	51	51						50	50	51	51	51	51							ET-2b			
FIRST FLOOR FRAMING	52								52	53.2	53.2,53.3	52												WD-1			
SECOND FLOOR FRAMING	54											54												WD-2			
ROOF FRAMING		55	56	57	58	59			60	60	60		55	56	57	58	59							WD-3			
TRUSS BRACING	61,62											61,62												DR-1			
WALL BRACING - 90 MPH	63,65											63,65												DR-2			
WALL BRACING - 100 MPH	64,66											64,66												DR-3			
HVAC LAYOUT - BASEMENT FOUNDATION - 5XN	67																							FP-1			
HVAC LAYOUT - BASEMENT FOUNDATION - 5XS	68																							IT-1			
HVAC LAYOUT - CRAWL FOUNDATION - 5XN												69												IT-1b			
HVAC LAYOUT - CRAWL FOUNDATION - 5XS												70												IT-1c			
HVAC LAYOUT - FIRST FLOOR	71																							IT-2			
HVAC LAYOUT - FIRST FLOOR												72												ST-1			
HVAC LAYOUT - SECOND FLOOR - 5XN	73											73												ST-2			
HVAC LAYOUT - SECOND FLOOR - 5XS	74											74												MS-1			
																								KT-1			
																								SP-1			
																								SP-2			
																								SP-3			
																								SEP-1			
																								SEP-2			
																								SEP-3			
																								SEP-4			
																								F-1			
																								FC-1			
																								FC-2			
																								FC-4			
																								MB-1			
																								MB-2			
																								DN-2			

FOOTPRINT	
BASE HOUSE:	
WIDTH:	54'-0"
DEPTH:	54'-4"
MAXIMUM:	
WIDTH:	103'-0"
DEPTH:	66'-4"

BASE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
2ND FLOOR (BASE SF)	2133 SF
	4290 SF
FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2157 SF
1ST FLOOR SUITE (ADD. SF)	352 SF
1ST FLOOR TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
1ST FLOOR ELEV. 'B' OR 'L' (ADD. SF)	34 SF
1ST FLOOR ONE CAR GARAGE (DEDUCT SF)	6 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
2ND FLOOR ELEV. 'B' OR 'L' (ADD. SF)	63 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
TWO CAR GARAGE ELEV. 'B' OR 'L'	506 SF
TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	448 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1457 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	424 SF
FINISHED BASEMENT AREA #2 ELEV. 'B' OR 'L' (ADD. SF)	40 SF
FINISHED BASEMENT TWO CAR SIDE ATTACHED GARAGE (DEDUCT SF)	7 SF
FINISHED BASEMENT ONE CAR GARAGE (DEDUCT SF)	6 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED BASEMENT (BASE SF)	2181 SF
UNFINISHED STORAGE TWO CAR SIDE ATTACHED GARAGE (ADD. SF)	111 SF
UNFINISHED BASEMENT ELEV. 'B' OR 'L' (ADD. SF)	40 SF
UNFINISHED BASEMENT ONE CAR SIDE ATTACHED GARAGE (DEDUCT SF)	6 SF

SET - VERSION
11900 - 01 CS-1

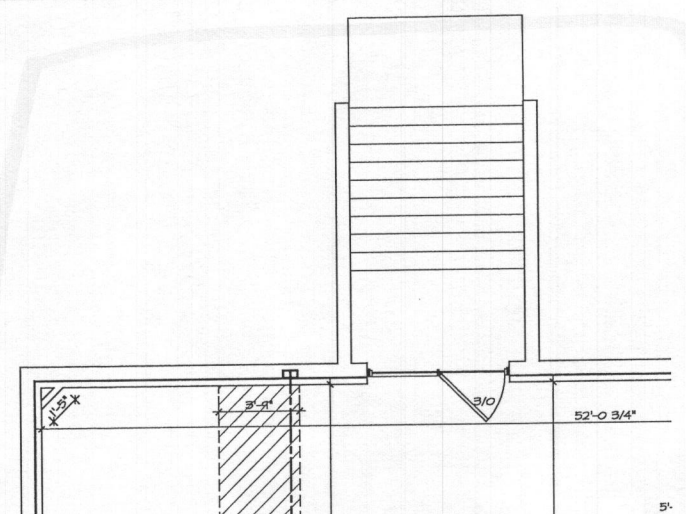
C:\NVR\Solera\STRATFORD HALL_11900_01_22\Solera\Master Set\CS-1 COVER SHEET.dwg 01/17/18 - 10:40 am

NOTES:
 1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

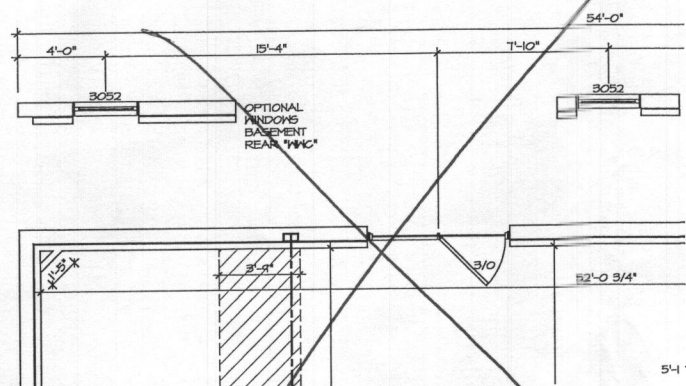
LEGEND

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

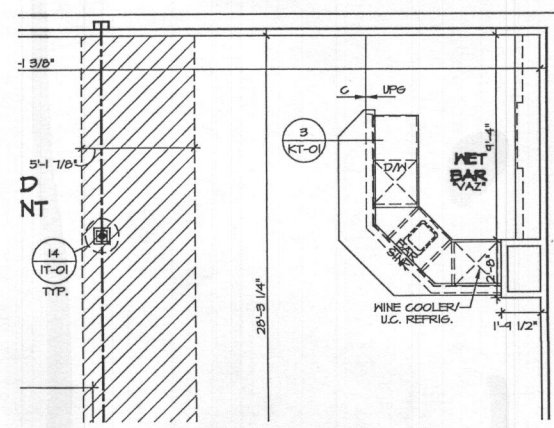
SEE PG DETAILS FOR FRAMING CONNECTORS



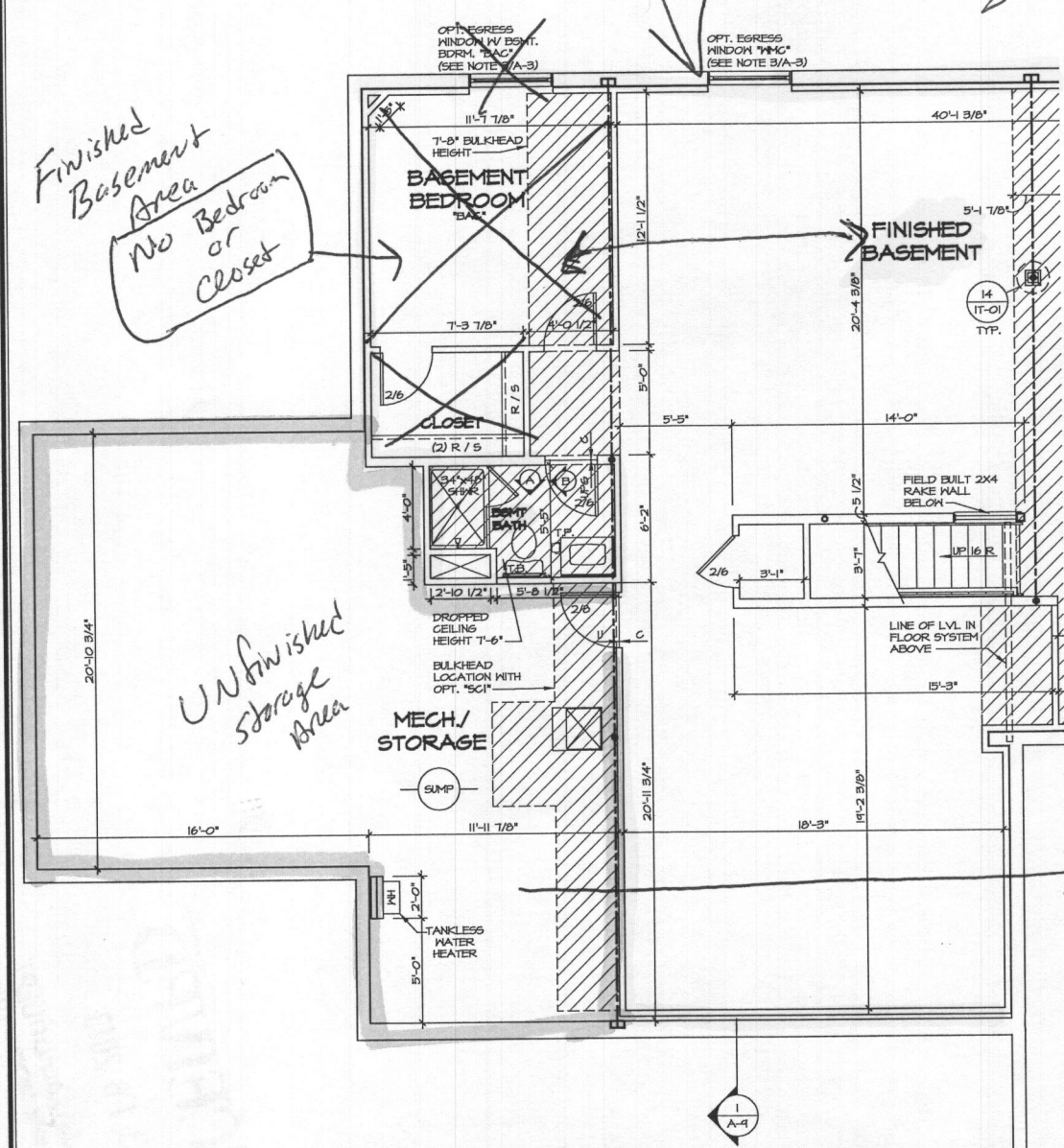
3 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DOUBLE PATIO DOOR AREAWAY HELLED EXIT "DGC"



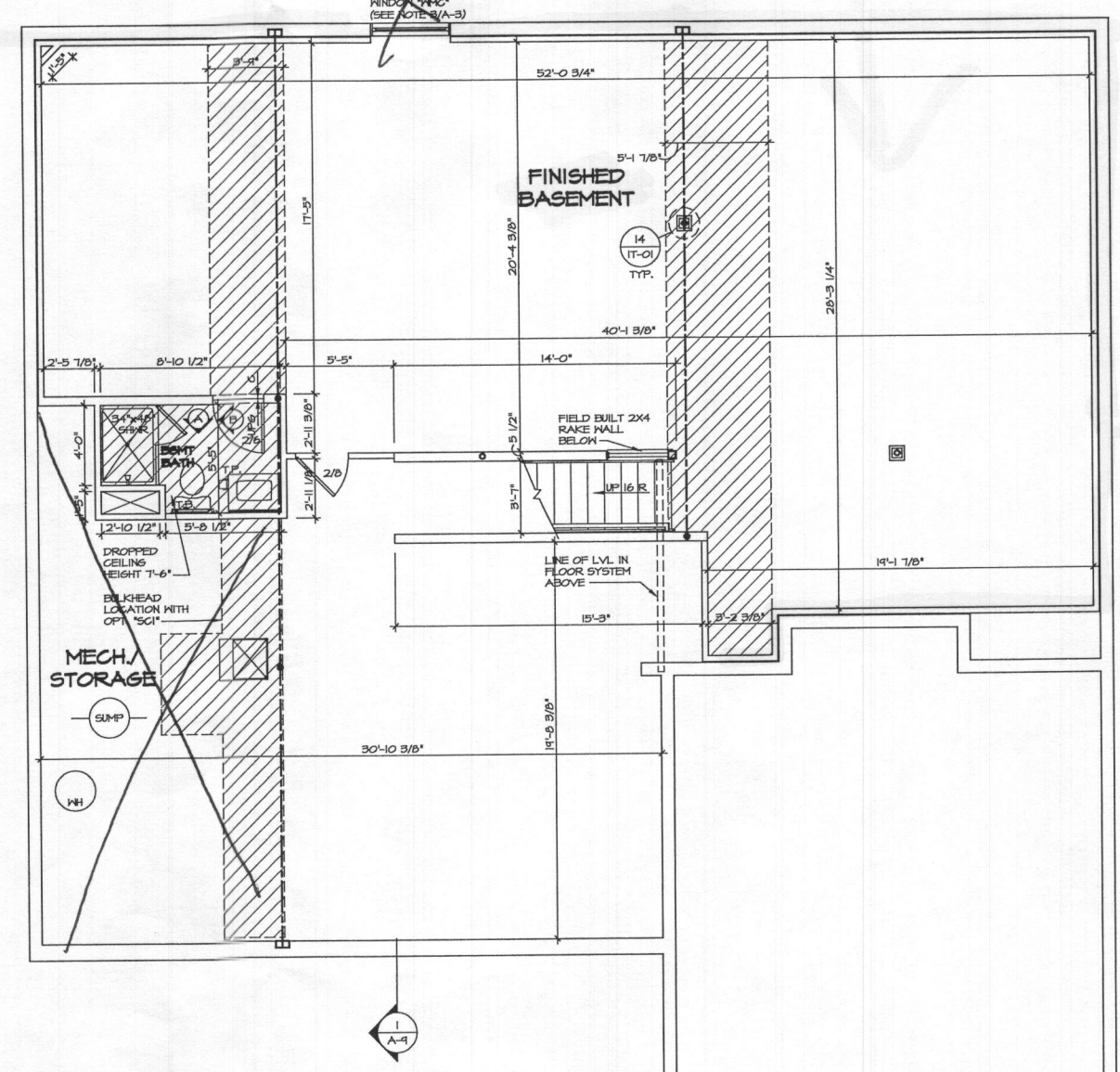
4 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DOUBLE PATIO DOOR WALKOUT BASEMENT "TYP"



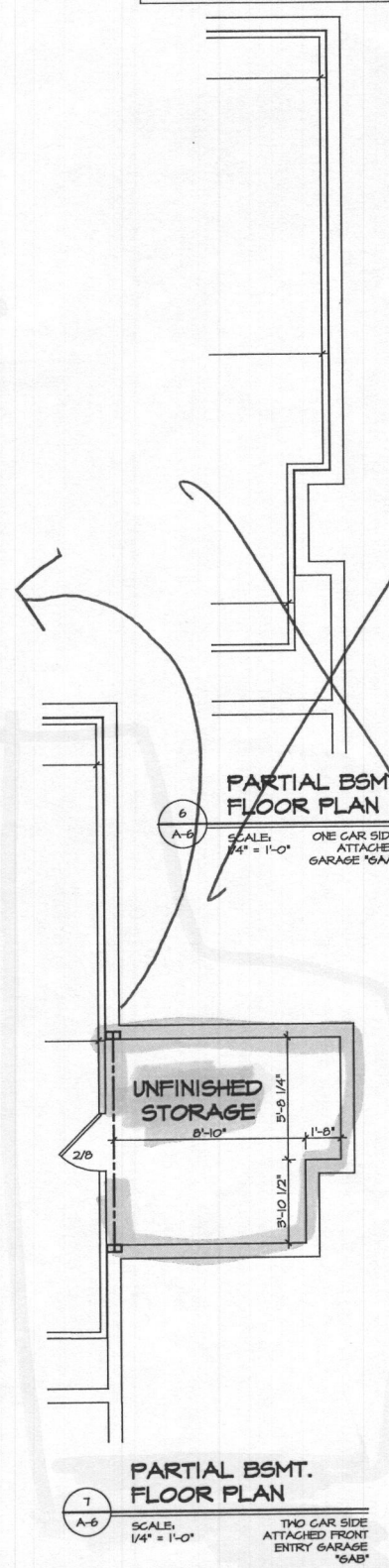
5 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 BASEMENT NET BAR "VAB"



2 PARTIAL BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED BASEMENT AREA #2 "MBC"
 BEDROOM "BAC"
 SUITE FIRST FLOOR "MST"
 TANKLESS WATER HEAT "TH"



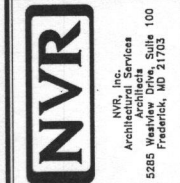
1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

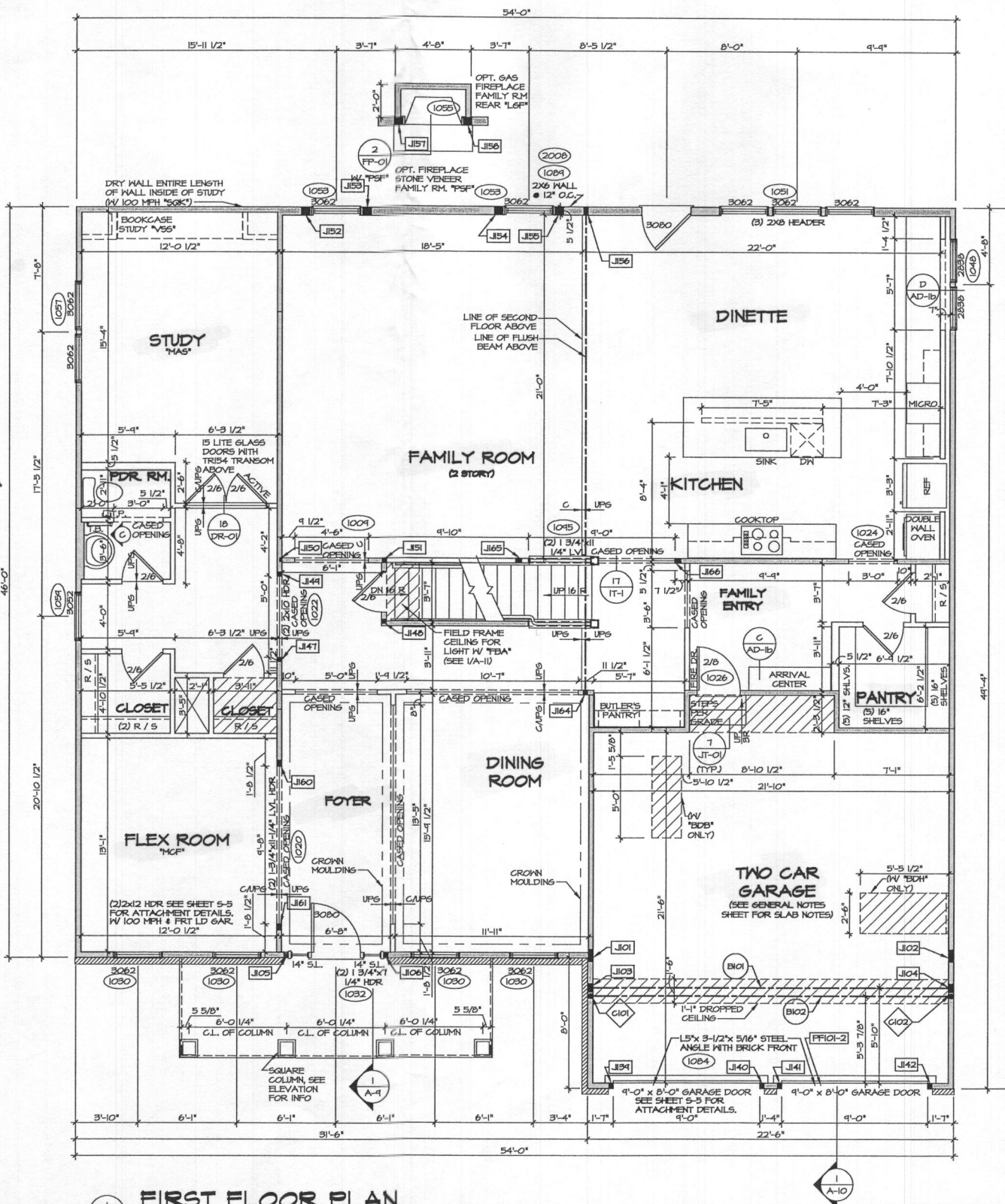
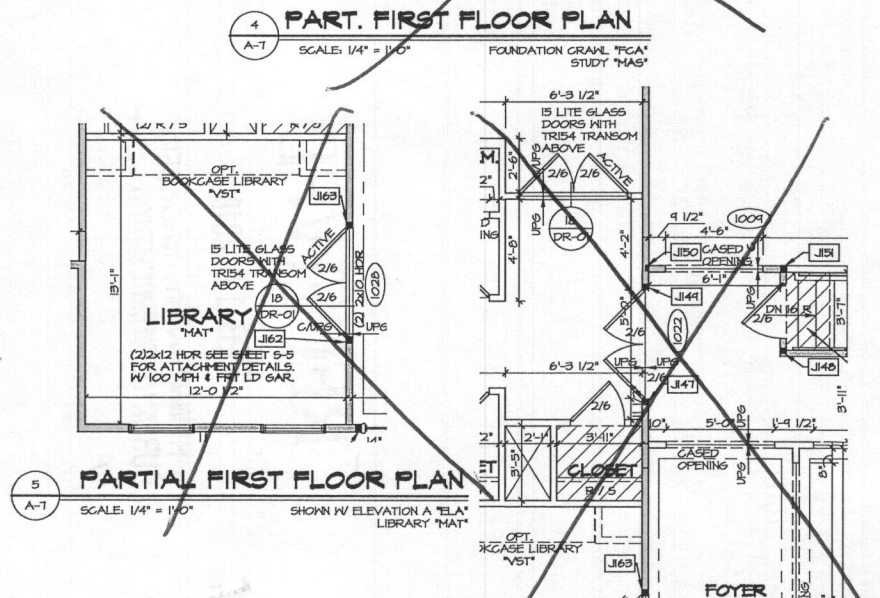
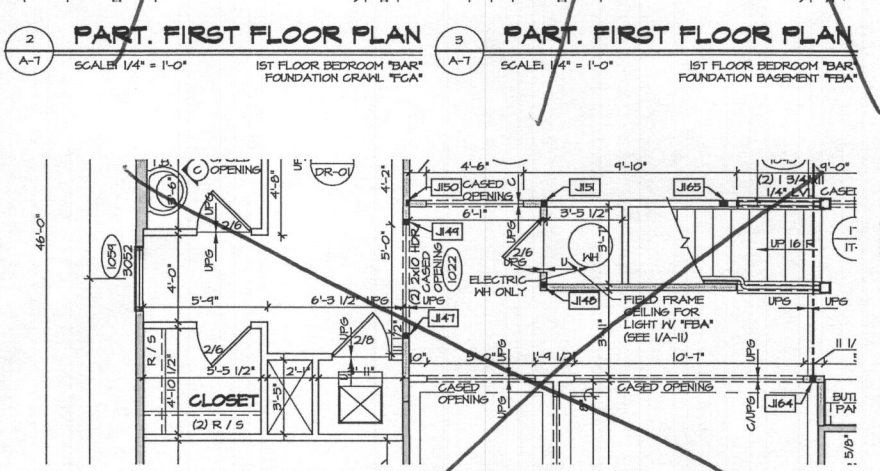
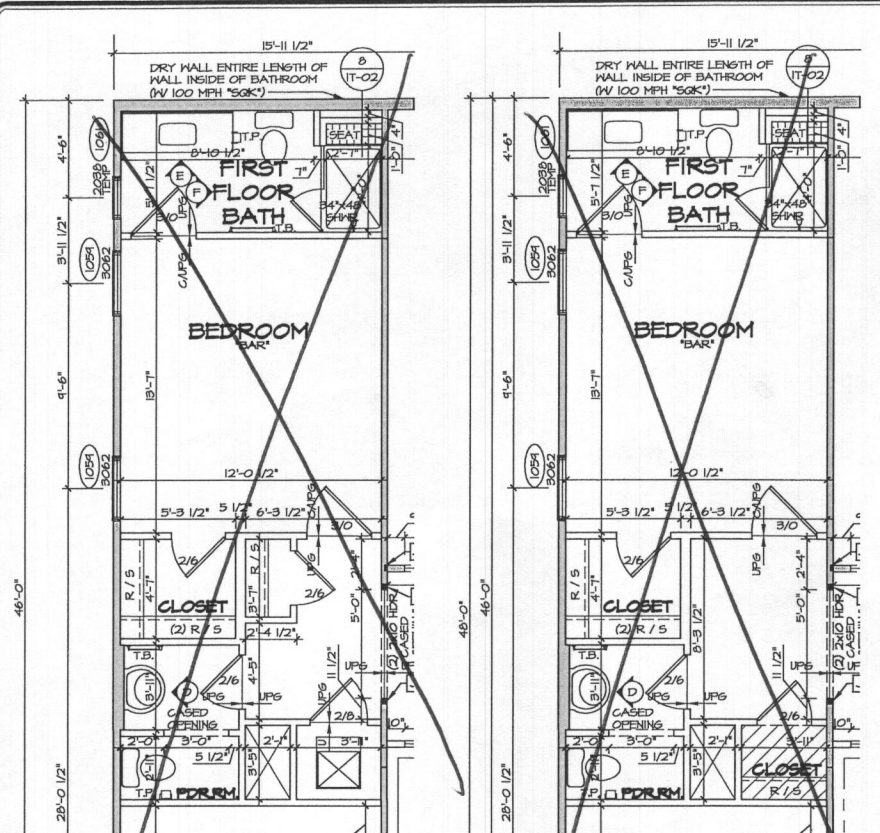


6 PARTIAL BSMT. FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 ONE CAR SIDE ATTACHED GARAGE "GAA"

7 PARTIAL BSMT. FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE "GAB"

SHEET NO. A-6	NO. 1 STRATFORD HALL	REV. NO. 1	DATE 01/24/17	REMARKS
	DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS	VERSION 01	DATE 01/24/17	NO. 2 ID 11/01/17 BRN - TANKLESS WATER HEATER PROJECT DNR. NVR
OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT	DRAWN BY BIM	DATE: 9/7/2016	OPTION FBA MAC	NO. 3 ID 01/24/17 TH - STANDARD DETAILS 9.0
				NO. 4 ID 01/24/17 MS6 - REVISED SUMP LOCATION (PAR #46959)
28	OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT	DRAWN BY BIM	DATE: 9/7/2016	NO. 5 ID 01/24/17 MS6 - ADDED EGRESS WINDOW IN OPT. BSMT. BDRM. PER PAR # 46000
				NO. 6 ID 01/24/17 ATK - REDESIGNED BASEMENT BULKHEAD AT STAIR FOR IMAG (PAR ID 46414)
28	OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT	DRAWN BY BIM	DATE: 9/7/2016	NO. 7 ID 01/24/17 MS6 - ADDED RAKE HALL NOTE AT BOTTOM OF STAIRS (PAR #46959)
				NO. 8 ID 01/24/17 LAB - CHANGED ROOM NAME "CLOS" TO "CLOSET" - ROUGH AUDIT
28	OPTION DESCRIPTION FULL BASEMENT FINISHED BASEMENT	DRAWN BY BIM	DATE: 9/7/2016	NO. 9 ID 01/24/17 LAB - REVISED GRAVEL SPACE UNDER "MST" TO BE BASEMENT AREA (PROJ. #2247)
				NO. 10 ID 01/24/17 LAB - REVISED GRAVEL SPACE UNDER "MST" TO BE BASEMENT AREA (PROJ. #2247)





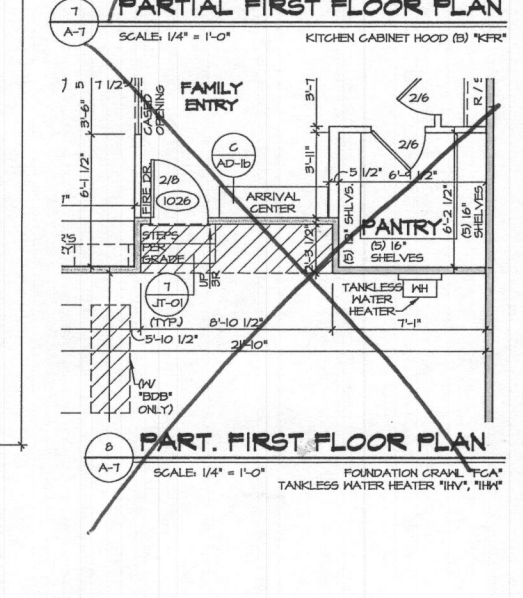
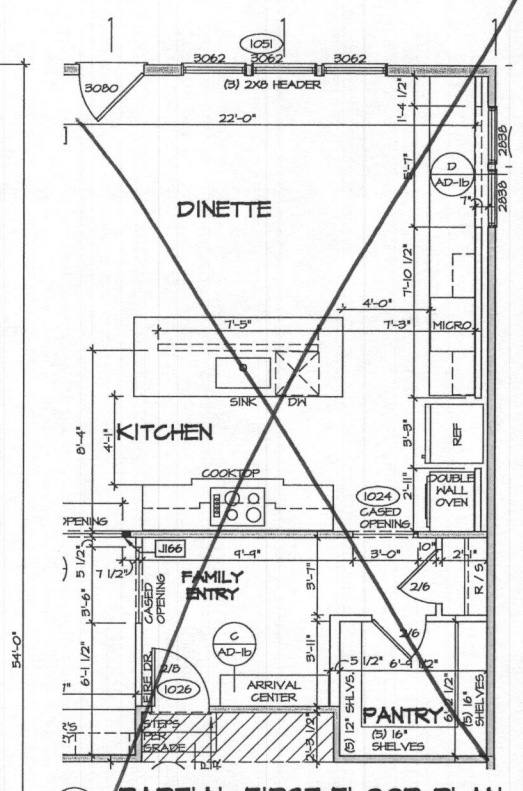
NOTES:
1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL NAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED

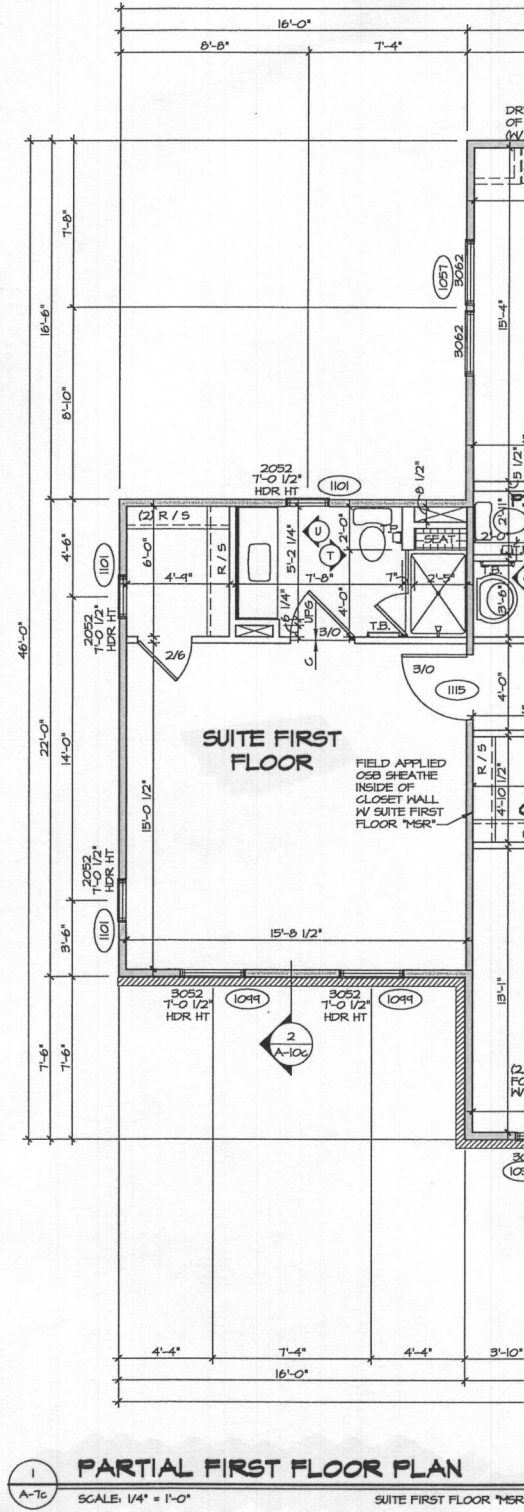
LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACK
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

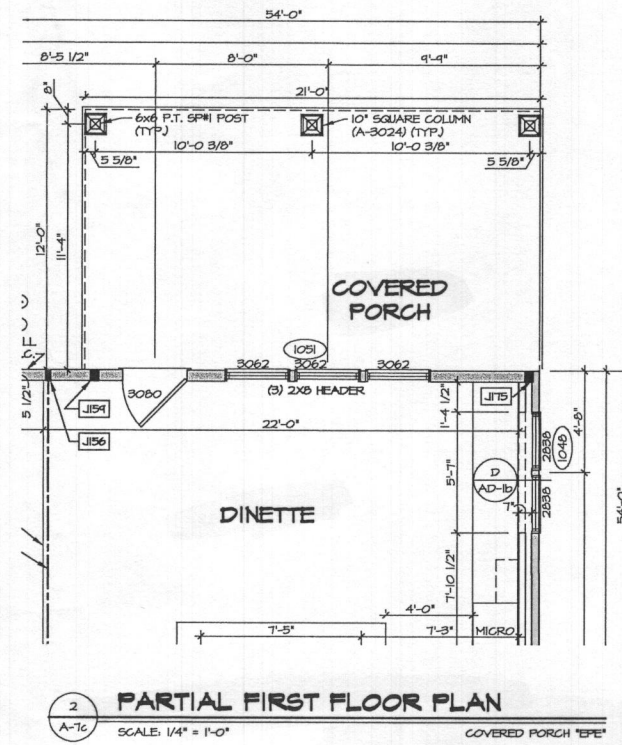
SEE FC DETAILS FOR FRAMING CONNECTORS



SHEET NO. A-7	MODEL STRATFORD HALL	REV. NO. DATE	REMARKS
	DRAWING TITLE FIRST FLOOR PLAN	1 01/20/11 TH - STANDARD DETAILS 3.0	
OPTION DESCRIPTION 29	VERSION 01	2 01/20/11 ATIS - REVISED BULKHEAD ABOVE SANITARY ENTRY DOOR (PAR ID 46458)	
	DATE: 9/7/2016	3 10/20/11 66E - REVISED RECESSED LIGHT AT BRMT STAIRS TO LED FIXTURE PER DPR 10693	
		4 10/20/11 LANS - CORRECTED FRONT TO BACK DIM. OF FIRST FLOOR BATH - R0266H AUDIT	
		5 10/20/11 LANS - ADDED FRONT TO BACK DIMENSION AT PANTRY - R0266H AUDIT	
		6 10/20/11 LANS - ADDED ENGINEERING # TO CASED OPENING (POTTERFAN, BSW) - R0266H AUDIT	
		7 10/20/11 LANS - ADDED DETAIL "JIT-1" - R0266H AUDIT	
		8 10/20/11 BSW - TANKLESS WATER HEATER PROJECT DPR 10693	
		9 10/20/11 ZDM - UPDATED HALLWAY FIELD FRAME FOR LIGHT NOTE (PAR #4044)	
		10 01/18/18 - 22A Sheela Master_Sol_Floor_Plan_29 A-7 PLN1.dwg 01/18/18 - 10:44 am	



1 PARTIAL FIRST FLOOR PLAN
 A-7c SCALE: 1/4" = 1'-0" SUITE FIRST FLOOR "MSR"



2 PARTIAL FIRST FLOOR PLAN
 A-7c SCALE: 1/4" = 1'-0" COVERED PORCH "EPE"

NOTES:
 1. GENERAL NOTES (N-1)
 2. SCHEDULES (N-2)
 3. LVL NAILING SCHEDULE (N-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED

LEGEND

—	BEARING WALL
- - -	NON BEARING WALL
⊙	INDICATES BEARING FROM POINT-LOAD ABOVE
J	JACKS
B	BEAM/HEADER
F	PAD FOOTING
◇	STEEL COLUMN
X	PORTAL FRAME
X	JOIST/TRUSS
L	LVL
⊙	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

SHEET NO. A-7c	MODEL STRATFORD HALL	SET NO. 11900	DATE	REV. NO.	DATE	REMARKS
	DRAWING TITLE FIRST FLOOR PLAN PARTIALS	VERSION 01	9/15/16	1	01/24/17	TH - STANDARD DETAILS 9.0
OPTION DESCRIPTION SUITE FIRST FLOOR COVERED PORCH	DATE: 9/15/16	DRAWN BY: MSB	DATE: 9/15/16	2	4/18/17	ATK - PARASITIC ADDED POST AT COVERED PORCH FOR RAILING SUPPORT
	OPTION: MSR	DATE: 9/15/16	DATE: 9/15/16	3	5/29/17	MSB - RELOCATED ATTIC ACCESS IN 1ST FLR SUITE, ADDED NOTE (PAR #4614)
3.1	OPTION: EPE	DATE: 9/15/16	DATE: 9/15/16	4	6/12/17	MSB - MOVED ATT. ACC. FROM 1ST FLR SUITE TO 2ND FLR L.A.N. (PAR #4637)
				5	8/1/17	SPM - REVISED PLACEMENT OF BEE COLUMNS PER DTL (MET-3)

NVR, Inc., owner, expressly reserves its common law copyright and all other rights in and to this drawing. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of NVR, Inc.

NVR
 NVR, Inc.
 Architectural Services
 5285 Westlawn Drive, Suite 100
 Frederick, MD 21703

C:\NVA\Solmes\STRATFORD_HALL_11900_01_2A_SheetA_Master_Sol\First Floor Plan\3.1.A-7c.PLT - R.dwg 01/18/18 - 10:45 am

LEGEND

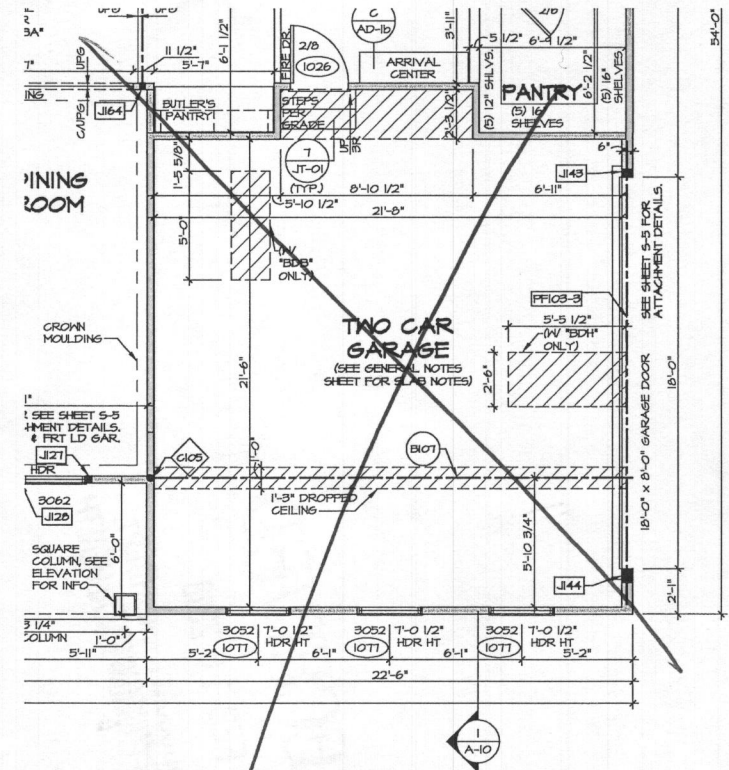
- BEARING WALL
- - - NON BEARING WALL
- ⊗ INDICATES BEARING FROM POINT-LOAD ABOVE
- J JACKS
- B BEAM/HEADER
- F PAD FOOTING
- ◇ STEEL COLUMN
- X PORTAL FRAME
- X JOIST/TRUSS
- LVL LVL
- (X) ENGINEERING PAGE NUMBER

SEE PG. DETAILS FOR FRAMING CONNECTORS

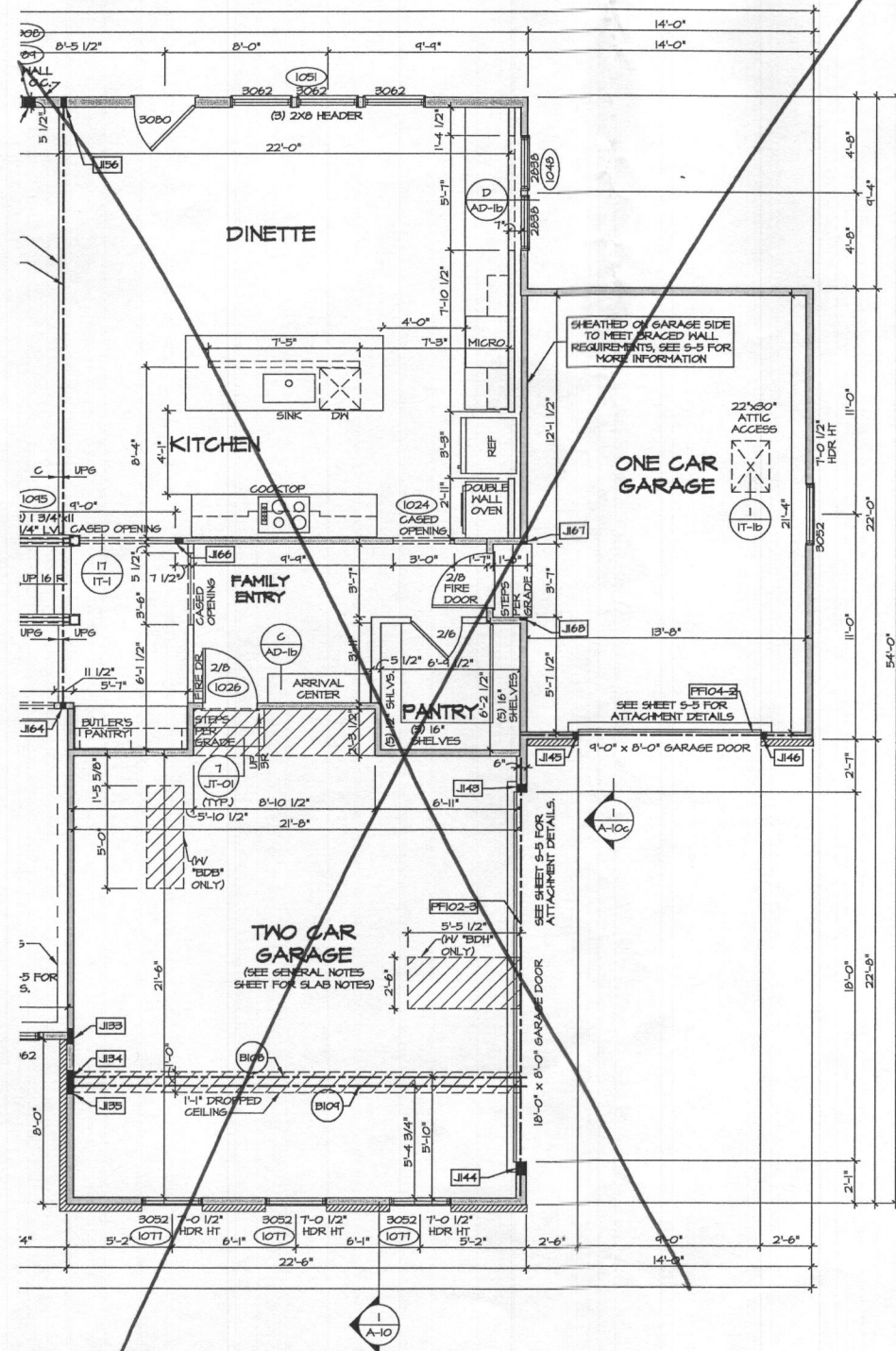
NOTES:

1. GENERAL NOTES (N-1)
2. SCHEDULES (N-2)
3. LVL MAILING SCHEDULE (N-1)
4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

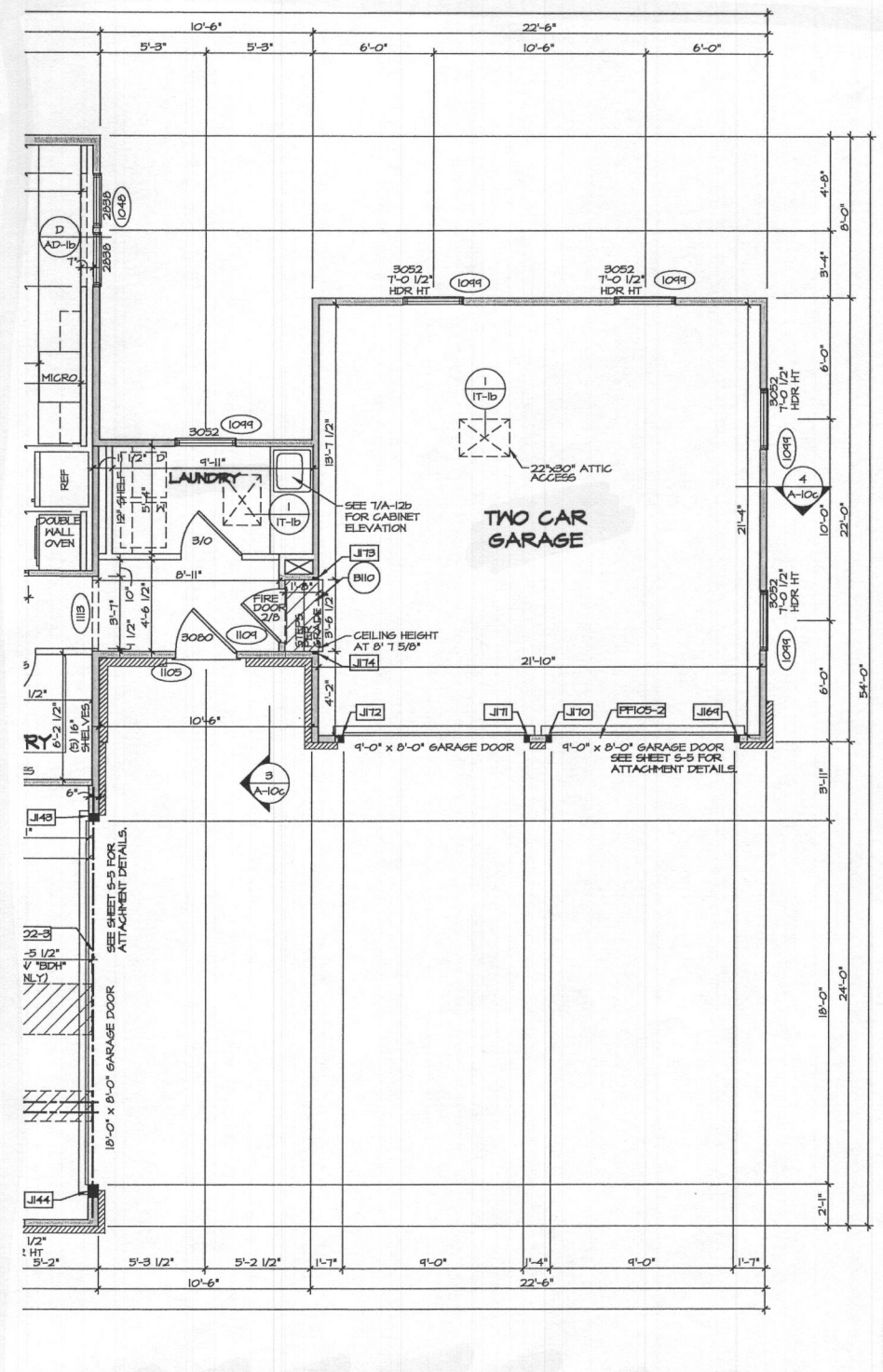
NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED



1 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHOWN W/ ELEVATION A "ELA"
 TWO CAR SIDE ENTRY GARAGE "6CC"



2 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHOWN W/ ELEVATION A "ELA"
 TWO CAR SIDE ENTRY GARAGE "6CC"
 ONE CAR SIDE ATTACHED GARAGE FRONT ENTRY "6AA"

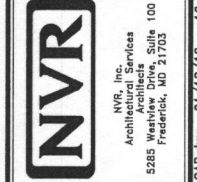


3 PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHOWN W/ ELEVATION A "ELA"
 TWO CAR SIDE ENTRY GARAGE "6CC"
 TWO CAR SIDE ATTACHED GARAGE FRONT ENTRY "6AB"

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	01/24/11	TM - STANDARD DETAILS 3-D
2	02/01/11	ATK - REVISED BALCONY ABOVE GARAGE ENTRY DOOR (PAR ID 46456)
3	02/01/11	JAB - ADDED DETAIL 171011-C - ROUGH ADIT
4	02/01/11	ATK - MOVED LAUNDRY ROOM WALL FOR DRYER VENT (PAR ID 47219)
5	06/01/11	SPX - REPLACED FIRE RATED ATTIC ACCESS W/ STD. ACCESS (66 ITEM #9698)
6	11/01/11	SPX - REMOVED 216 CASED OPENING AT FAMILY ENTRY AND "6AB" PER CODE
7	11/01/11	ATK - REMOVED FLUSH BEAM WITH NOTE AND JACKS (PAR ID 46444)
8	11/01/11	ATK - ADDED ELEVATION REFERENCE TO LAUNDRY WITH 6AB (PAR ID 46999)

NVR, Inc. hereby represents and warrants that the content, text, copyright and other property rights in these plans, these plans are not to be reproduced, changed, or copied in any form or manner whatsoever, without the expressed written consent of NVR, Inc.



SHEET NO.	MODEL	SET NO.	DATE
A-7d	STRATFORD HALL	11900_01	4/19/16
DRAWING TITLE	VERSION 01	DRAWN BY	OPTION
FIRST FLOOR PLAN PARTIALS	MS66	MS66	GCC
OPTION DESCRIPTION			GAA
TWO CAR SIDE ENTRY GARAGE			GAB
ONE CAR SIDE ATTACHED FRONT ENTRY GARAGE			
TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE			
SHEET NO.	31.2		

NOTES:
 1. GENERAL NOTES (N-1)
 2. SCHEDULES (S-2)
 3. FINISH SCHEDULES (F-1)
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

LEGEND
 BEARING WALL
 NON BEARING WALL
 INDICATES BEARING FROM POINT-LOAD ABOVE
 JACKS
 BEAM/HEADER
 PAD FOOTING
 STEEL COLUMN
 PORTAL FRAME
 JOIST/TRUSS
 I.V.
 ENGINEERING PAGE NUMBER
 SEE FC DETAILS FOR FRAMING CONNECTORS

