



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DLP 2017 MAY 16 09:40

Date Received: \_\_\_\_\_

Permit No.: B17001961

Building Address: 12951 SW HANOVERL COURT  
 City: Dorsey State: MD Zip Code: 21236  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: TR. 0051 PUM MILL  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 6  
 Tax Map: 78 Parcel: \_\_\_\_\_ Grid: 19  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 4.274

Existing Use: VACANT LOT  
 Proposed Use: ADULT SINGLE FAMILY HOME  
 Estimated Construction Cost: \$ 1,800,000  
 Description of Work: NEW 5 BEDROOM 5 BATH 2 1/2 V. BATH  
2 CAR GARAGE COMPLETE ASH FLOOR BRICK REAR  
DRIVE AT CAR DETACHMENT/SCREENS UP SECTION BRICK

Occupant/Tenant Name: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: FERRER, NIREVA MARIE  
 Address: 17719 GORRISON FOREST RD  
 City: QUINTON MILLS State: MD Zip Code: \_\_\_\_\_  
 Phone: 410 724 6773 Fax: \_\_\_\_\_  
 Email: EMARIE@FERRER.COM

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: STEVENS BUILDERS  
 Address: 4379 TEA TRAIL RD  
 City: Dorsey State: MD Zip Code: 21236  
 Phone: 410 724 7275 Fax: \_\_\_\_\_  
 Email: APPLIC@STEVENSBUILDERS.COM

Contractor Company: STEVENS BUILDERS  
 Contact Person: MARK STEVENS  
 Address: 4379 TEA TRAIL RD  
 City: Dorsey State: MD Zip Code: 21236  
 License No.: 141480 PL  
 Phone: 410 724 7275 Fax: \_\_\_\_\_  
 Email: MARK@STEVENSBUILDERS.COM

Engineer/Architect Company: LUYER RIVERA  
 Responsible Design Prof.: JOSUE RIVERA  
 Address: 1400 N KENNEDY RD  
 City: WINDYBANE State: MD Zip Code: \_\_\_\_\_  
 Phone: 410 726 6745 Fax: \_\_\_\_\_  
 Email: JRIVERA@LUYERRIVERA.COM

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>53' x 97'4"</u>
Area of construction (sq. ft.):	2 <sup>nd</sup> floor: <u>51'3" x 107'6"</u>
Use group:	Basement: <u>52'7' x 97'5"</u>
<b>Construction type:</b>	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	<b>Multi-family Dwelling</b>
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	<u>217175</u>
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: \_\_\_\_\_ Print Name: Mark Stevens  
 Email Address: MARK@STEVENSBUILDERS.COM Date: 5/17/17  
 Title/Company: VP Stevens Builders Inc

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee	\$
State Highways			Front:	Permit Fee	\$ 100.00
Building Officials			Rear:	Tech Fee	\$
PSZA (Zoning)			Side:	Excise Tax	\$
PSZA (Engineering)			Side St.:	PSFS	\$
Health	<u>6/7/17</u>	<u>H. O...</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	Guaranty Fund	\$ 50.00
			Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Add'l per Fee	\$
			Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total Fees	\$
			Coverage for New Town Zone:	Sub- Total Paid	\$
			SDP/Red-line approval date:	Balance Due	\$
				Check	# <u>9115</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Friday, May 26, 2017 8:33 AM  
**To:** Mark Stevens (mark@stevensbuilders.com)  
**Subject:** B17001969\_13951 Hallowell Court\_Floor Plans  
**Attachments:** Section 3.801 Bedroom Definition.pdf

Hello Mark Stevens:

Upon review of the floor plans for B17001969, it appears the gym room in the basement could be defined as a bedroom under local code (See attached definition). The room has a door, windows and direct access to a full bathroom. This would make the total # of bedrooms = 6 which exceeds the current septic system design capacity of 5 bedrooms. To make it a non-bedroom, you could remove the door and make it a 4 feet wide opening, or make it a half wall with a max height of 4 feet. If you choose to revise the floor plan, please submit a revision to permits. Alternatively, you could revise the OSDS plan for 6 bedrooms.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 5-31-17

To: Hank Oswald - Health Department  
(Person's Name and Division)

From: Jesse Price, Stevens Builders (410) 627-4690  
(Your Name, Company Name and Telephone Number)

Subject: Project name Monroe Residence  
Project site address 13951 Hallowell Ct.  
Permit # 17001964 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of Basement plans (be specific).
  - Health Department Request
  - DPZ/ DED Request
  - Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Mark Stevens  
Please Print Name

Telephone No: 410-984-7296

E-Mail Address: Mark@Stevens  
Builders.com

***PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.***

Received by A. Sherman

White-Plan Review / Yellow-Applicant / Pink-Permit Division  
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

cc: Plan Review

DILP 2017 MAY 31 AM 10:44

**STEVENS BUILDERS, INC.**

**TRANSMITTAL**

4829 Ten Oaks Road  
Dayton, MD 21036  
410-531-2100 F-410-531-4900

**To: Hank Oswald – Plan Review    Date: 5/31/17**

**RE: Permit #B17001964 – MONROE RESIDENCE – HALLOWELL COURT, DAYTON**

We are sending you:

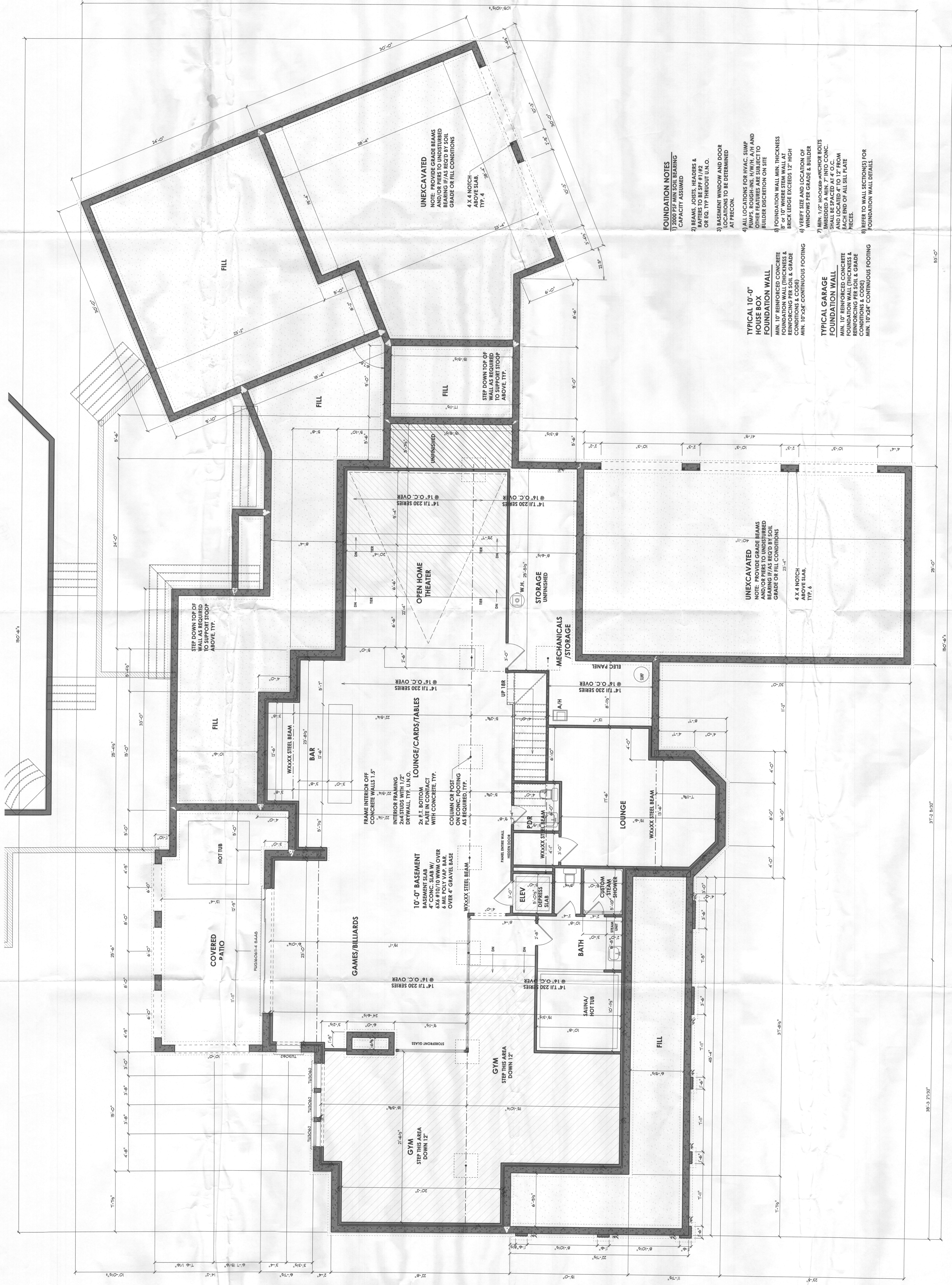
- Prints
- Shop Drawings
- Plans
- Samples
- Other \_\_\_\_\_

Copies	Description
2	Sheet 2.01 Revised basement plan

- Approved
- For Your Use
- As Requested
- For review and Comment
- Returned for Corrections
- Other

REMARKS:

By: *Mark Stevens*  
410-984-7296  
*mark@stevensbuilders.com*



**FOUNDATION NOTES**

- 1) 2000 PFC MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPP #1/2 ON EG. TYP THROUGH U.M.O.
- 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT PRECON.
- 4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND MECHANICALS TO BE SUBJECT TO BUILDER DISCRETION ON SITE
- 5) FOUNDATION WALL MIN. THICKNESS SHALL BE 12" UNLESS OTHERWISE NOTED. BRICK LEDGE EXCEEDS 12" HIGH
- 6) VERIFY SIZE AND LOCATION OF WINDOWS PER GRADE & BUILDER
- 7) MIN. 1/2" HOOKED ANCHOR BOLTS SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 8) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**TYPICAL 10'-0" HOUSE BOX FOUNDATION WALL**

MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)

MIN. 10" X 24" CONTINUOUS FOOTING

**TYPICAL GARAGE FOUNDATION WALL**

MIN. 10" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)

MIN. 10" X 24" CONTINUOUS FOOTING

B1700 1964

SCALE: 1/8"=1'-0"  
**BASEMENT**  
 PROJECT NO: MONROE-01  
 ISSUE DATES: 5-23-17  
 PERMIT SET  
 PRINT DATE: Friday, May 26, 2017  
**2.01**  
 JONATHAN RIVERA  
 (410) 326-5715  
 LICENSE NUMBER #1478  
 JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION  
 was prepared or approved  
 by a professional engineer  
 licensed in the State of Maryland  
 architect under the laws of the  
 State of Maryland  
 License Number #1478  
 Expiration Date: 4/30/2018

PROPOSED RESIDENCE  
 Clarksville, Maryland

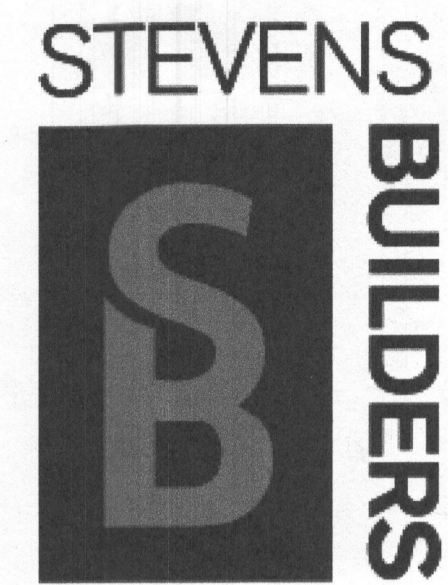
# Monroe Residence

STEVENS BUILDERS

CONTACT:  
 MARK STEVENS  
 4714 Linnicum Road  
 Dayton, MD 21034-1002  
 (410) 531-2100  
 www.stevensbuilders.com

REVISIONS

1	10-23-17	PERMIT REVIEW
2		
3		
4		



# Monroe Residence

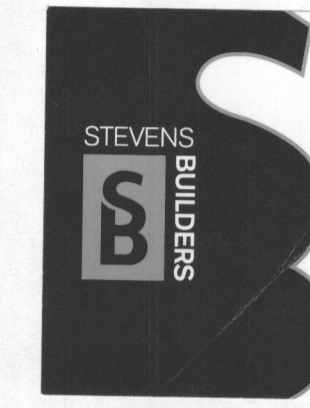
## Clarksville, Maryland

Monday, May 15, 2017

HEALTH DEPT

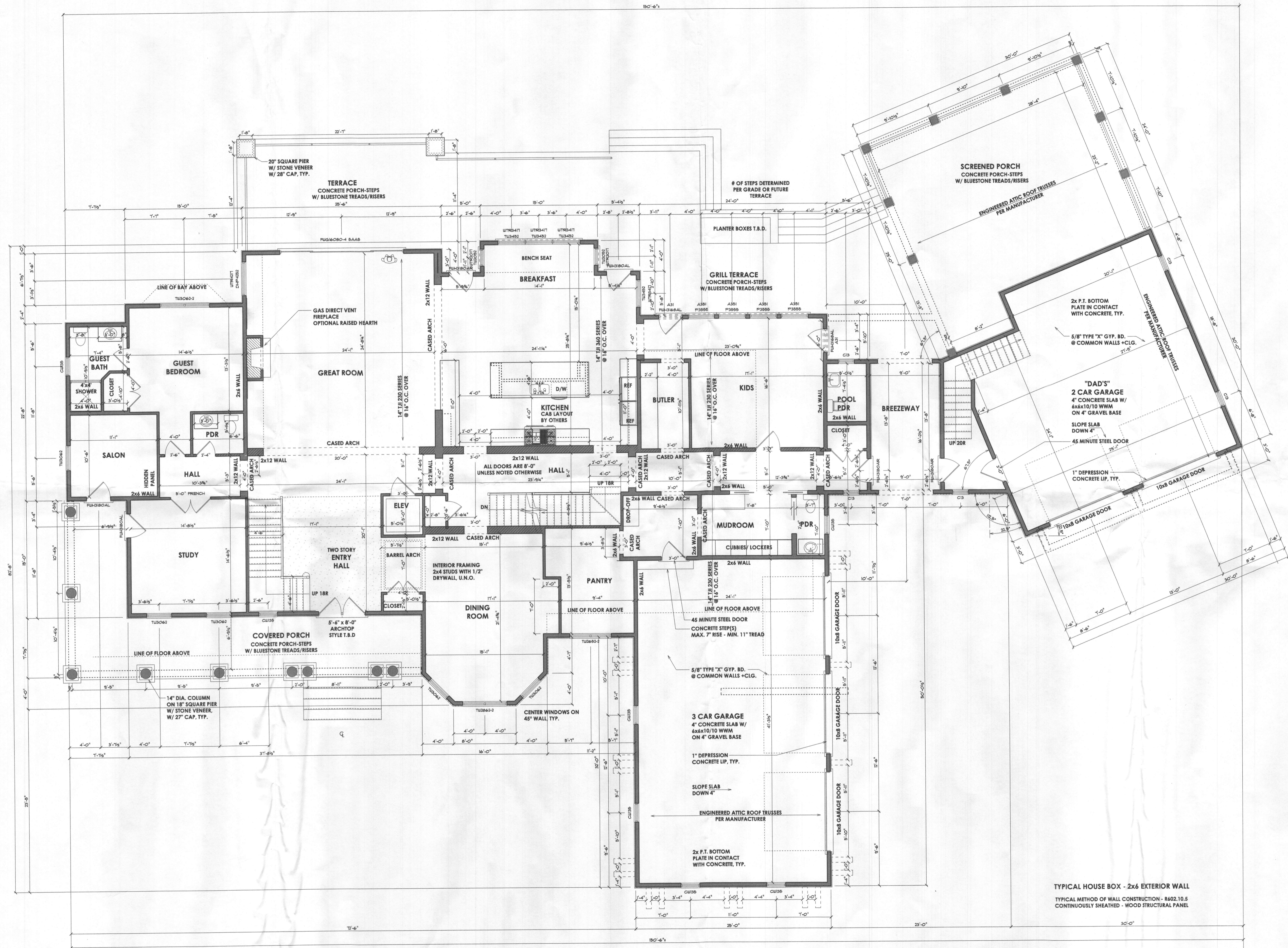
ARCHITECTURE  
**JONATHAN RIVERA**  
*Every detail matters*

[jrivera@jonathanrivera.com](mailto:jrivera@jonathanrivera.com)  
443-226-5745



Mark Stevens  
Vice President  
Office: 410.531.2100  
Mobile: 410.984.7296  
FAX: 410.531.4900  
Dayton, MD 21036  
[mark@stevensbuilders.com](http://mark@stevensbuilders.com)  
[stevensbuilders.com](http://stevensbuilders.com)





TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
 TYPICAL METHOD OF WALL CONSTRUCTION - R602.10.5  
 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

**STEVENS BUILDERS**  
 CONTACT:  
 MARK STEVENS  
 4714 Linthicum Road  
 Dayton, MD 21034-1002  
 (410) 531-2100  
 www.StevensBuilders.com

REVISIONS

1	
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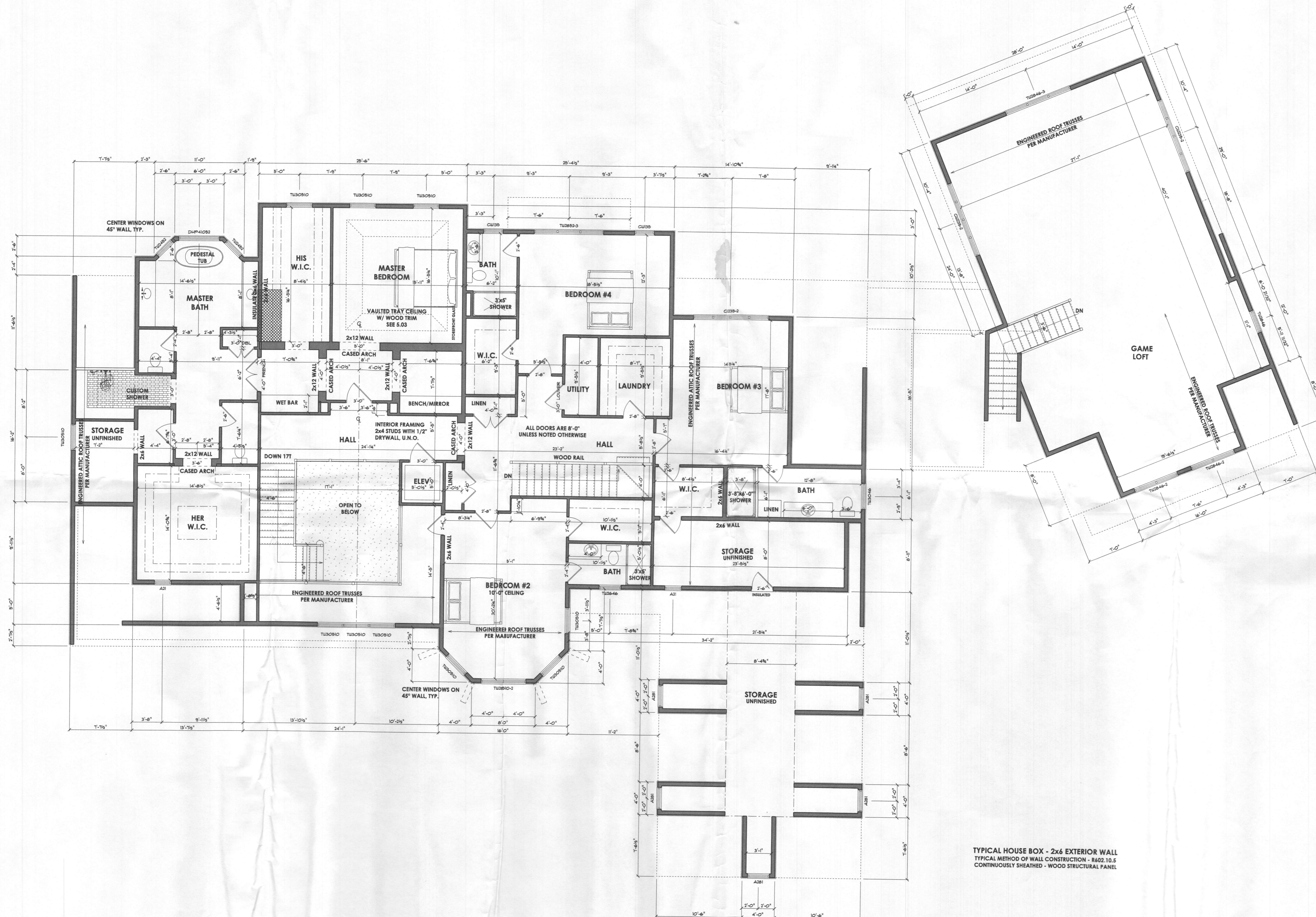
# Monroe Residence

PROPOSED RESIDENCE  
 Clarksville, Maryland

PROFESSIONAL CERTIFICATION  
 I certify that these documents  
 were prepared or approved  
 by me, and that I am a duly  
 licensed professional  
 architect under the laws of the  
 State of Maryland.  
 License Number #14478  
 Expiration Date: 4/30/2018

**JONATHAN RIVERA**  
 ARCHITECT  
 (443) 226-5745  
 JONATHANRIVERA.COM

SCALE: 1/4"=1'-0"  
**FIRST FLOOR**  
 PROJECT NO: MONROE-01  
 ISSUE DATE: 10-14-16  
 BID SET  
**3.01**  
 PRINT DATE: Monday, May 15, 2017



TYPICAL HOUSE BOX - 2x6 EXTERIOR WALL  
 TYPICAL METHOD OF WALL CONSTRUCTION - 8402.10.4  
 CONTINUOUSLY SHEATHED - WOOD STRUCTURAL PANEL

**STEVENS BUILDERS**  
 CONTACT:  
 MARK STEVENS  
 4714 Linnicum Road  
 Dayton, MD 21034-1002  
 (410) 531-2100  
 www.StevensBuilders.com

REVISIONS

1	
2	
3	
4	

# Monroe Residence

PROPOSED RESIDENCE  
 Clarksville, Maryland

PROFESSIONAL CERTIFICATION  
 I certify that these documents  
 were prepared or approved  
 by me, and that I am a duly  
 licensed professional  
 architect under the laws of the  
 State of Maryland.  
 License Number #14478  
 Expiration Date: 6/30/2018

**JONATHAN RIVERA**  
 ARCHITECT  
 (410) 226-5745  
 JONATHANRIVERA.COM

SCALE: 1/4"=1'-0"  
 PROJECT NO: MONROE-01  
 ISSUE DATES: 10-14-16  
**SECOND FLOOR**  
**3.02**  
 PRINT DATE: Monday, May 15, 2017