

Clerk of the Circuit Court for  
Howard County  
Land Records/Licensing

The Thomas Dorsey Bldg  
9250 Bendix Road  
Columbia, MD 21045  
410-313-5850

=====  
LR - Agreement Recording Fee  
1x 20.00 20.00

Name: adams  
Ref: 12

LR - Agreement Surcharge  
1x 40.00 40.00

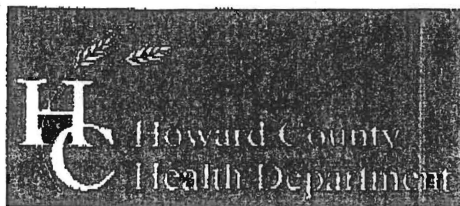
=====  
SubTotal: 60.00  
Total: 60.00

=====  
CRD-Credit 60.00  
Credit Card Co. : 535767

12/22/2017 CC13-LH

#9593094 /1247/

~ Thank you for visiting us today ~



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045  
Main: 410-313-2640 | Fax: 410-313-2648  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
www.hchealth.org

Facebook: www.facebook.com/hocohealth  
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

**OPERATION AND MAINTENANCE AGREEMENT  
FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM  
HAVING AN ADVANCED PRE-TREATMENT SYSTEM**

THIS AGREEMENT is made this 15 day of December, among Chris Fortune and Ashley Adams hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner or contract owner of a parcel of land located at 6902 Brooks Rd Highland MD 21777 in the 5 Election District of Howard County, Maryland, and the deed and subdivision plat of the property is recorded among the Land Records of Howard County, Maryland, Tax Map # 40, Block # 0003, Parcel # 0243, Deed Reference # 16429/00166 and Tax Account # 341817 ("the Property").

WHEREAS, The Property is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013. The pre-treatment device being installed is Nacweco BAT system

NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner hereby grants to the County the right to enter upon the Property at any reasonable time with prior notice for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County.
- B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.
- C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of prior maintenance, faulty operation, or neglect.
- D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.

F. This agreement shall run with the land and upon Owner's taking title to the Property shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Property that the system shall require maintenance or other attention. Upon taking title to the Property, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement may be voided at any time at the discretion of the County.

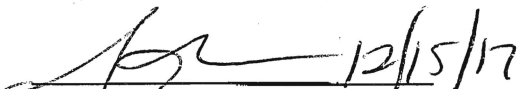
H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

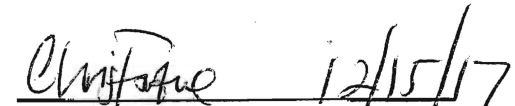
J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

  
Howard County Health Department

  
Owner #1 Signature                      Date

Ashley Adams  
Owner #1 Print Name

  
Owner #2 Signature                      Date

Chris Fortune  
Owner #2 Print Name

\_\_\_\_\_  
Buyer #1 Signature                      Date

\_\_\_\_\_  
Buyer #1 Print Name

\_\_\_\_\_  
Buyer #2 Signature                      Date

\_\_\_\_\_  
Buyer #2 Print Name

Dr. Peter Beilenson, M.D., M.P.H., Health Officer

## DEMOLITION REQUEST FORM

(Please fill in all blanks)

### Information of Property to be Demolished:

Chris Fortune and Ashley Adams  
Current Owner's Name

6902 Brooks Rd., Highland, MD. 20777  
Property Address

Subdivision (if applicable)

Lot #

05341817

Cathy Ashby/Henner Ashby  
All Prior Owners' Names (if requested or known)

34/40  
Tax Map

P.243  
Parcel #

→ ?  
Tax ID #

Houses deteriorating - razing to build a new home  
Purpose/Reason for Demolition

Re-build a new single family home using the same well  
Future plans of property after demo (i.e. subdivision, parking lot, re-build new house, etc...)

If a subdivision, SDP# \_\_\_\_\_

Has the structure(s) been deemed unsafe by DILP \_\_\_ YES  NO

### UTILITY RECORDS:

Property currently connected to public water \_\_\_ YES  NO

Property currently connected to public sewer \_\_\_ YES  NO

Does the property currently have any wells and/or septic systems  YES \_\_\_ NO

→ Explain: There is a private well that has been successfully tested for yield + quality to use with the new home.

\*Note: Any wells and/or septic systems that are to remain may require an approved percolation certification plan under *Howard County Code Sec. 3.805*

\*Note: Any septic systems that are to be abandoned must be done by a septic contractor with documentation of the process.

\*Note: All abandoned wells are to be sealed by a well driller licensed by the Maryland State Board of Well Drillers *COMAR Sec 26.04.04.11 Abandonment Standards D (3)*

### COMMENTS:

Please call my cell phone @ 410-733-4454 with any questions

Chris Fortune  
Applicant's Name (please print)

410-733-4454  
Applicant's Phone #

ashleyandchris@mac.com  
Applicant's Email

Applicant's Fax #

Chris Fortune  
Applicant's Signature

10/6/2015  
Date

# Fogle's Septic Clean Inc.

Fogle's Portable Toilets • Fogle's Well Drilling LLC • Fogle's Excavating, LLC



December 8, 2015

Howard Co Dept of Environmental Health  
8930 Stanford Blvd  
Columbia, Md 21045

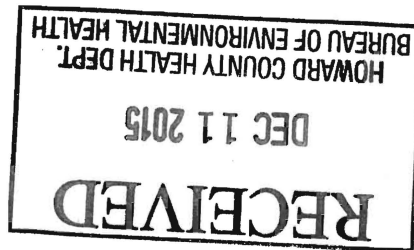
To Whom it may concern,

On December the 3rd 2015 Fogle's Septic Clean Inc, has abandoned the septic tank located at 6902 Brooks Rd in Highland for Chris Fortune.  
If you have any questions please call me at the office 410-795-5670.

Sincerely,

A handwritten signature in cursive script that reads "Kurt Cassell".

Kurt Cassell  
Fogle's Septic Clean, Inc.



## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Monday, July 25, 2016 12:50 PM  
**To:** 'Jeremiah Reynolds'  
**Cc:** Rob Vogel  
**Subject:** RE: 6902 Brooks Road\_BAT PLAN

Hi Jeremiah:

I checked with Jeff and he is fine with it. The BAT Plan has been approved.

Thanks,

Hank

---

**From:** Jeremiah Reynolds [<mailto:jreynolds@vogeleng.com>]  
**Sent:** Monday, July 18, 2016 2:00 PM  
**To:** Oswald, Hank  
**Cc:** Rob Vogel  
**Subject:** RE: 6902 Brooks Road\_BAT PLAN

Hank,

I looked at the plan and the proposed edge of pavement is exactly 10' from the center of the well.

Jeremiah Reynolds  
Cad Drafter  
Robert H. Vogel Engineering, Inc.  
8407 Main Street  
Ellicott City, MD 21043  
Phone: 410-461-7666  
Fax: 410-461-8961  
Email: [jreynolds@vogeleng.com](mailto:jreynolds@vogeleng.com)  
[www.vogeleng.com](http://www.vogeleng.com)

---

**From:** Rob Vogel [<mailto:rvogel@vogeleng.com>]  
**Sent:** Monday, July 11, 2016 10:35 AM  
**To:** jerimiah reynolds  
**Subject:** FW: 6902 Brooks Road\_BAT PLAN

Robert H. Vogel, P.E., M.ASCE

Robert H. Vogel Engineering, Inc.  
8407 Main Street

Ellicott City, Maryland 21043  
Phone: 410-461-7666  
FAX: 410-461-8961  
[www.vogeleng.com](http://www.vogeleng.com)

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**From:** Oswald, Hank [<mailto:hoswald@howardcountymd.gov>]  
**Sent:** Monday, July 11, 2016 10:33 AM  
**To:** Rob Vogel ([rvogel@vogeleng.com](mailto:rvogel@vogeleng.com))  
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Hi Rob:

The existing well on the BAT Plan for the above mentioned property now shows the existing well to be less than 10 feet away from the driveway. Please revise the plan to show the well meeting the 10 foot setback to the driveway.

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Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

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## Oswald, Hank

---

**From:** Oswald, Hank  
**Sent:** Monday, March 07, 2016 8:58 AM  
**To:** 'Jeremiah Reynolds'  
**Subject:** RE: Fortune Property - 6902 Brooks Road  
**Attachments:** Septic Spec Sheet.pdf

Good morning Jeremiah:

Attached, you will find a copy of the septic spec sheet for 6902 Brooks Road. As for the 3 foot retaining wall and fire pit, the setback would be 10 feet.

Should you have any questions, please don't hesitate to ask.

Hank

---

**From:** Jeremiah Reynolds [<mailto:jreynolds@vogeleng.com>]  
**Sent:** Friday, March 04, 2016 4:31 PM  
**To:** Oswald, Hank  
**Subject:** Fortune Property - 6902 Brooks Road

Hank,

Could you please send me the BAT system design information for the Fortune property? I do not see it in our file. I do not think we have received it yet and we are ready to design the BAT system.

Also, on this property, the client wants to have a landscape wall and fire pit. They are proposing to place it near the septic easement. Is there any kind of setbacks that we need to adhere to with objects such as these? The landscape wall will be less than 3 feet in height, and the fire pit will have a patio around it. I have sent you a drawing so that you can see what I am referring to.

Thanks,

Jeremiah Reynolds  
Cad Drafter



Email: [jreynolds@vogeleng.com](mailto:jreynolds@vogeleng.com)

[www.vogeleng.com](http://www.vogeleng.com)