

**Bureau of Environmental Health**

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 1/23/18 **ONSITE SEWAGE DISPOSAL SYSTEM** P 562407

APPROVAL DATE: 9/17/18 SEC **PERMIT: CONSTRUCTION** A \_\_\_\_\_

PROPERTY ADDRESS: 7631 Old Columbia Road

SUBDIVISION: Brown Property LOT: \_\_\_\_\_ TAX ID: \_\_\_\_\_

CONTRACTOR: Hatfield's Equipment EMAIL: ken@hatfieldsequiment.com

CONTRACTOR ADDRESS: P.O. Box 519, Annapolis Junction, MD 20701 PHONE: 301-490-4289

PROPERTY OWNER: Wendel Brown EMAIL: \_\_\_\_\_

OWNER ADDRESS: 7631 Old Columbia Road, Laurel, MD 20723 PHONE: 301-762-9511

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: MBI

PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 4 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>52' 65'</u>	INLET DEPTH: <u>3.8 3.5'</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: _____	EFFECTIVE AREA BEGINNING DEPTH: <u>2</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	<u>Install 1 x 65' trench on contour.</u>	

ISSUED BY: Hank Oswald ISSUE DATE: 1/23/18 EXPIRATION DATE: 1/23/19

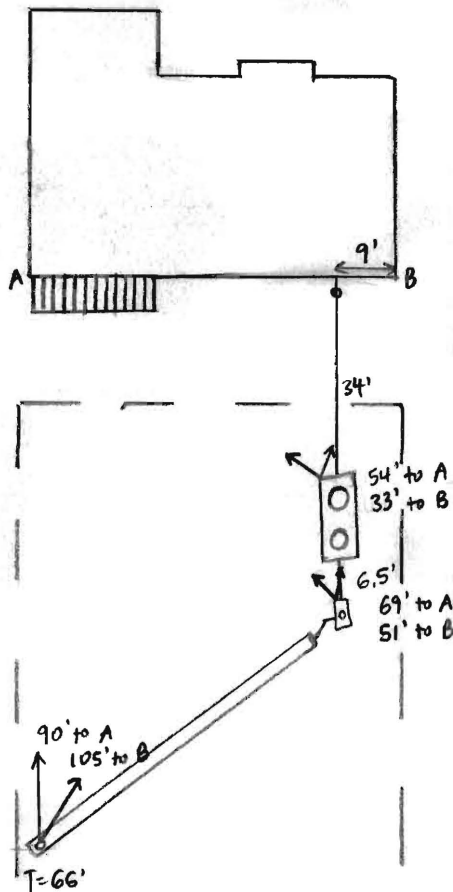
- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E \_\_\_\_\_
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.**

**PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.**

**CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE



Public  
H<sub>2</sub>O

ROAD NAME

**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
3'	3.5'	8'
NUMBER OF TRENCHES	1	
TOTAL LENGTH	66'	
ABSORPTION AREA	196' + SIDEWALL	
DISTRIBUTION BOX LEVEL	YES	
DISTRIBUTION BOX BAFFLE	YES	
DISTRIBUTION BOX PORT	YES	

**SEPTIC TANK DATA**

SEPTIC TANK I LEVEL	YES	
MANUFACTURER	BABYLON	
CAPACITY	2000	GAL
SEAM LOC	TOP	
TANK LID DEPTH	2-2.5'	
BAFFLES	YES	
BAFFLE FILTER	NO	
MANHOLE LOC	FRONT + REAR	
6" PORT LOC	NONE	
WATERTIGHT TEST	NO	
SLOTTED	YES	
DATE ON LID	1-5-18	

**RUMP/SEPTIC TANK LEVEL**

MANUFACTURER		
CAPACITY		GAL
SEAM LOC		
TANK LID DEPTH		
BAFFLES		
BAFFLE FILTER		
MANHOLE LOC		
6" PORT LOC		
WATERTIGHT TEST		
SLOTTED		
DATE ON LID		

**PRE-CONSTRUCTION:**

2/27/18 Met Hatfield's on site for layout. SDA corner stakes + tank stake present. Jeff w/ Hatfield's talked to homeowner - OK to move sewer line to NE corner of basement. Set tank on SDA line keeping as shallow as possible. Change trench inlet to 3.5' to make w/ fall → 66' total length. Dirt pile over upper SDA must be moved, ex. well + septic must be abandoned prior to final approval of septic permit. (SC)

INSTALLATION: 2/28/18 System installed. Contractors used laser to check depths. D-box outlets sealed w/ hydraulic cement. Trench 3' wide, 3-3.5' to stone. OK to cover. Need dirt moved off upper part of SDA, existing well sealed, and existing tank/drywell pumped + abandoned prior to septic permit approval. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 9/17/18

**Maura J. Rossman, M.D., Health Officer**

**RECOMMENDATION FOR USE AND OCCUPANCY**

September 17, 2018

Homeowner  
7631 Old Columbia Road  
Laurel, MD 20723

**RE: Brown Property, Lot 8**  
**7631 Old Columbia Road**  
**Building Permit: B17003958**  
**PUBLIC WATER**

Dear Homeowner:

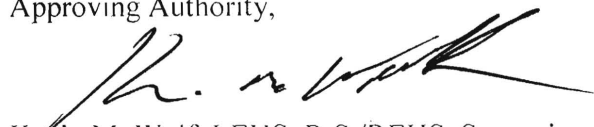
This is to advise you that the septic system installation for the above referenced property has been inspected and approved. **Final approval of the septic system was granted on 9/17/2018 by the Howard County Health Department.**

The property is served by public water and is therefore exempt from the Howard County Health Department requirements for water sampling.

**By issuance of this letter, this office recommends release of the Use and Occupancy permit for the above referenced property.**

In closing, please refer to our "Homeowner Fact Sheet" which illustrates a better understanding for your Onsite Sewage Disposal System. You will also find a link to Maryland Department of the Environments website which describes in further detail operation and maintenance of your septic system.

Approving Authority,



Kevin M. Wolf, LEHS, R.S./REHS, Supervisor  
Groundwater Management Section  
Well & Septic Program

cc: Howard County Dept. of Inspections, Licenses, and Permits  
File

**Wolf, Kevin**

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**From:** Wolf, Kevin  
**Sent:** Friday, August 31, 2018 9:53 AM  
**To:** 'rick@matneyconstructionservices.com'  
**Subject:** 7631 Old Columbia Pike

Rick,  
After review of the property file, I found the original Percolation Certification plan (signed 9/27/17) notes that states the following:

**HEALTH DEPARTMENT NOTES**

1. The existing well must be properly sealed by a licensed well driller and an abandonment report submitted to the Health Department for review prior to Health approval of a septic permit for the new house and approval of a Use and Occupancy permit.
2. The existing septic tank and drywell must be pumped out by a licensed sewage hauler, crushed/filled with dirt or stone and documentation of abandonment on company letterhead submitted to the Health Department for review prior to Health approval of a septic permit for the new house and approval of a Use and Occupancy permit.
3. The existing well and septic system components must be fenced off to prevent damage during new house construction prior to Health approval of the building permit for the new house.

Unfortunately, we cannot issue the ICOP/release from the health department until the existing well and septic have been abandoned and sealed. The well must be sealed by a Licensed Well Driller from the State of Maryland and the septic must be sealed by a licensed septic contractor.

Thanks,

Kevin M. Wolf, LEHS, REHS/RS  
Groundwater Mgmt. Sec. Supervisor  
Well & Septic Program  
Bureau of Environmental Health  
8930 Stanford Blvd.  
Columbia, MD 21045  
(o) 410-313-2645  
(f) 410-313-2648



[kwolf@howardcountymd.gov](mailto:kwolf@howardcountymd.gov)

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## Wolf, Kevin

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**From:** Wolf, Kevin  
**Sent:** Friday, August 31, 2018 9:51 AM  
**To:** Huskins, Thomas  
**Subject:** RE: 7631 Old Columbia Pike

Tom,

Our regulations require us to have the existing well and septic abandoned prior to approving the septic permit for the new house. Thus, our release (ICOP) will not be given.

---

**From:** Huskins, Thomas  
**Sent:** Friday, August 31, 2018 9:41 AM  
**To:** Wolf, Kevin  
**Subject:** Re: 7631 Old Columbia Pike

Typically owner is given 30 days to remove existing house, we follow up to verify this is done. Will keep you informed.

Thanks ,

Tom

Sent from my iPhone

On Aug 31, 2018, at 9:33 AM, Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)> wrote:

Tom,

This builder contacted me looking for a release from the Health Dept for their U&O. I see there is an existing house on the property that the builder explained the owners are currently living in. He also explained that DILP allowed for a "temporary" U&O which I would like to confirm from you. Currently the existing house has a well and a septic which I told the builder would need to be abandoned and sealed prior to approval of the septic permit. The owners were aware of this before the project started. Here is our notes from the Percolation Certification plan signed by the Health Officer back in September 2017.

<image002.jpg>

Thanks,

Kevin M. Wolf, LEHS, REHS/RS  
Groundwater Mgmt. Sec. Supervisor  
Well & Septic Program  
Bureau of Environmental Health  
8930 Stanford Blvd.  
Columbia, MD 21045  
(o) 410-313-2645  
(f) 410-313-2648  
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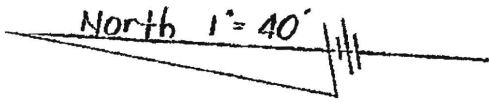
[kwolf@howardcountymd.gov](mailto:kwolf@howardcountymd.gov)

### CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential,

**NOTES:**

1. This plat is not intended for use in the establishment of property lines, but prepared for the exclusive use of the present property owner(s) of record and/or those who purchase, mortgage or guarantee the title within six months from the date hereof and as to them I warrant this house location survey.
2. For title purposes only.
3. No title report furnished at this time, subject to all easements and rights of ways of record.
4. Property corners have not been set with this survey. Property information was taken from the best available records.
5. This location plat is not to be used for the construction of fences or other improvements. A boundary survey and lot stakeout would have to be performed to determine the location of all property lines as shown.
6. The Property shown hereon is located within Zone X as shown on F.E.M.A. Flood Insurance Rate Map Community Panel No. \_\_\_\_\_ of Howard County, Maryland.



Par. 9

Initial Trench 52'

Par. 187

Wall check OK!  
 Foundation  
 10' closer to road  
 than on  
 OSDS Plan  
 ref 1/23/2018

Wall Check & Elevation Check  
 Performed: 1-2-2018



Drawn By:	T.O.
Checked By:	Prod
Date:	01-02-2018
Scale:	1" = 40'
Job No.:	H-0 16-41
Case No.:	Kelly Brown

38.49' N 08° 14' 42" W  
 55.22' N 19° 43' 37" W  
 19.78' N 24° 53' 07" W  
 120' N 61° 40' 24" W  
 120' S 61° 40' 24" E

**OLD COLUMBIA ROAD**

**SURVEYOR'S CERTIFICATE**

I hereby certify that the position of all the existing improvements on the above described property has been carefully surveyed by me or directly under my supervision and that they are located as shown. THIS IS NOT A BOUNDARY SURVEY.

12-04-2017 *[Signature]*  
 Date

Gregory C. Benzel  
 Registered Professional  
 Land Surveyor, Md. No. 10994

**HOUSE LOCATION SURVEY**

7631 Old Columbia Road

lot(s)/Parcel 8, TM./Block 41-17

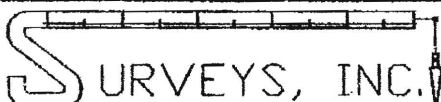
Plat \_\_\_\_\_, Section \_\_\_\_\_, Phase \_\_\_\_\_

**BROWN PROPERTY**

6<sup>TH</sup> Election District  
Howard County, Maryland

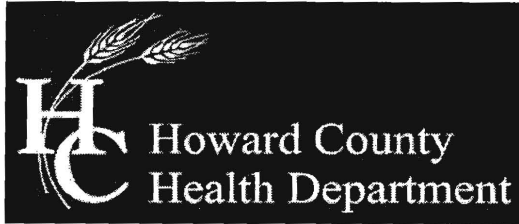
Plat Book \_\_\_\_\_ Plat No. \_\_\_\_\_  
 Liber 15581 Folio 225

**S-5247**



SURVEYS, INC.  
 SURVEYORS • ENGINEERS • LAND PLANNERS  
 PERMIT SERVICES

350 MAIN STREET  
 LAUREL, MARYLAND, 20701  
 PHONE 301-716-0561 FAX 301-716-0641



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Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: 7631 Old Columbia Pike

Subdivision: Brown Property Lot:

Initial system: Application rate: 1.2 Effective area beginning depth: 2 Bottom maximum depth: 8
1st Replacement: Application rate: 0.6 Effective area beginning depth: 2.5 Bottom maximum depth: 8
2nd Replacement: Application rate: 1.2 Effective area beginning depth: 3 Bottom maximum depth: 8

Design Flow = 150 gallons per day per bedroom

Design flow ÷ application rate = square footage of drainfield required

Linear length of trench required = drainfield square footage x sidewall reduction percentage ÷ trench width

Sidewall reduction credit formula:

(W + 2) / (W + 1 + 2D) x 100 = Percent of length of standard trench where W=trench width and D= depth between effective area beginning depth and trench bottom.

Standard design requirements:

- Trenches must be located to provide room for 3 systems in the disposal area
All trenches must be equal length unless low pressure dosed
All trenches must be on contour
Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit. Additional spacing may be necessary for any trench using over 3.5' of effective sidewall. In those cases, the spacing formula is 2D +W up to a maximum spacing of 18'.
Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
Maximum trench length is 100'
Maximum pipe depth is 4'

Additional requirements:

Approved: Hank Oswald Date: 9/28/17

$$I = \frac{w+2}{w+1+2(d)} \quad \frac{3+2}{3+1+2(6)} = \frac{5}{16} = \boxed{0.31}$$

$$I_{55} = \frac{3+2}{3+1+2(5.5)} = \frac{5}{4+11} = \boxed{0.33}$$

$$\frac{3+2}{3+1+2(5)} = \frac{5}{14} = \boxed{0.36}$$



# HOWARD COUNTY HEALTH DEPARTMENT

62407

DATE  
1/23/18

P5

Received From

Hatfield's Equipment

PHONE #

<sup>301</sup> 490-4289

For

Septic Persept/7631  
Old Columbia Rd.

CASH

CHECK

NO.

3879

Three hundred ninety six Dollars

\$

396 | 00

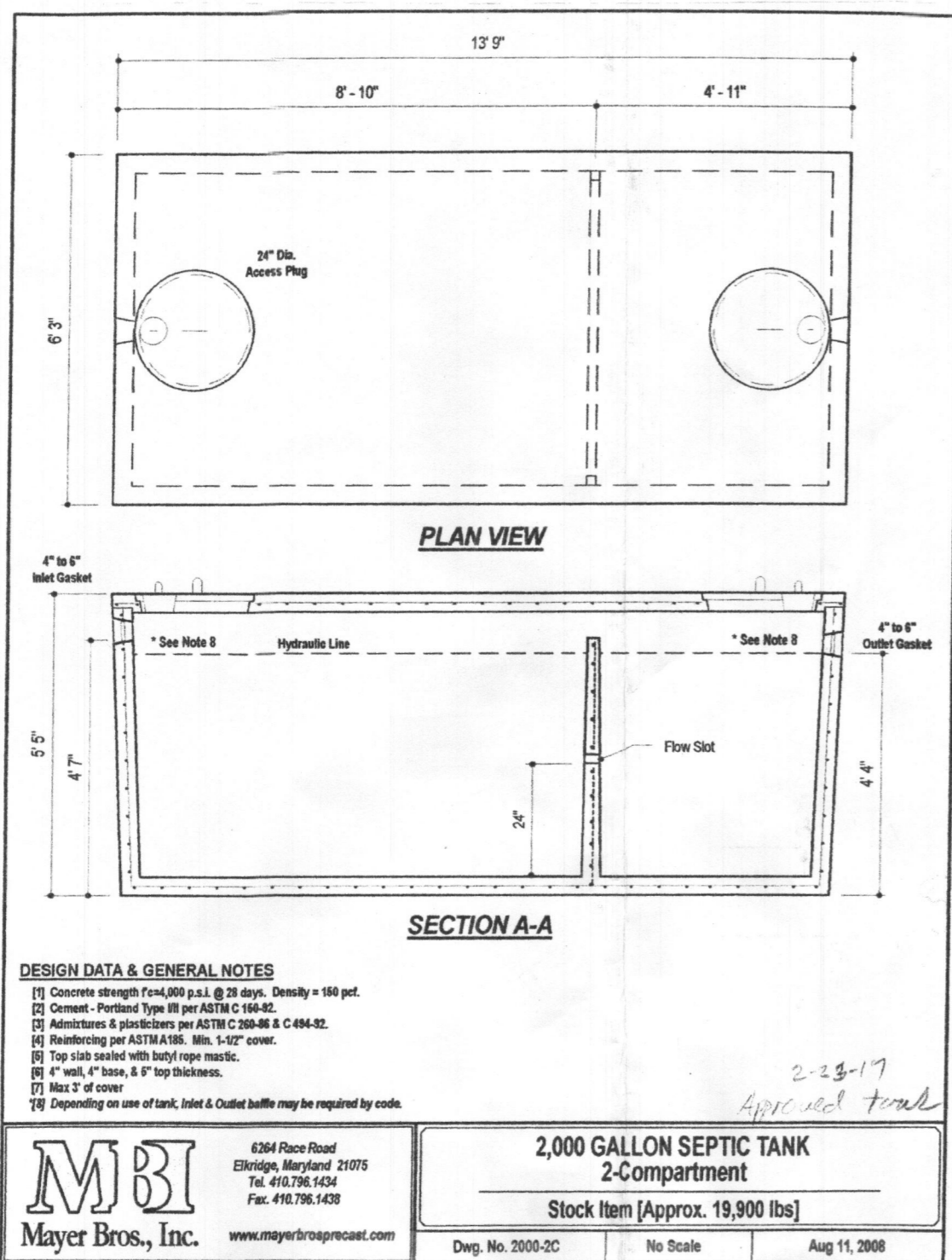
Received By

J. Kemp

# LEGEND

These standard symbols will be found in the drawing.

- × EX. ELEVATIONS
- + PROP. ELEVATIONS
- EX. CONTOURS
- PROP. CONTOURS
- EX. WOODLINE
- SPECIFIC TREES
- STREAM/CREEK
- ELEC. LINE
- ED. ROAD
- SPEC. FENCE
- 25% SLOPES OR GREATER
- PASSING PERK TEST LOCATIONS
- SOILS DELINEATION LINE
- SF — silt fence
- LOD — Limits of Disturbance



### GENERAL NOTES:

- SITE ZONED: R-20.
- AREA OF SITE: 31,562 SF OR 0.7246 AC.
- SITE IS LOCATED ON TAX MAP 41, GRID 17, PARCEL 8.
- SITE IS LOCATED ON ADC MAP PAGE 19, GRID C-3.
- PROPERTY ACCOUNT NUMBER: 408680.
- WATERSHED TO BE PUBLIC AND SEWER IS TO BE PRIVATE.
- OWNER: Wendell Brown, Trustee, 7631 Old Columbia Road, Laurel, Md. 20723.
- PROPERTY DESCRIPTION: DEED LIBER 16803 AT FOLIO 361.
- ANY CHANGES TO A PRIVATE SEWER EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- TOPOGRAPHY FIELD SHOT BY SURVEY'S INC. MARCH 1, 2017.
- PER FEMA FLOOD INSURANCE RATE MAP, PROPERTY IS IN ZONE X, COMMUNITY PANEL NUMBER 24027C0145D.
- PROPERTY ADDRESS: 7631 Old Columbia Road Laurel, Md. 20707
- ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' FEET DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- EXISTING WELL TO BE ABANDONED
- PERK TEST # AP-AS60611.

### SEPTIC TRENCH INFORMATION

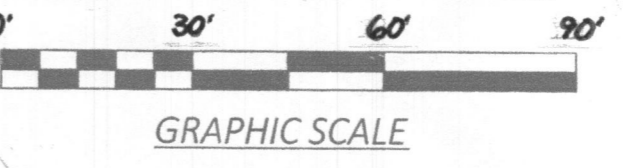
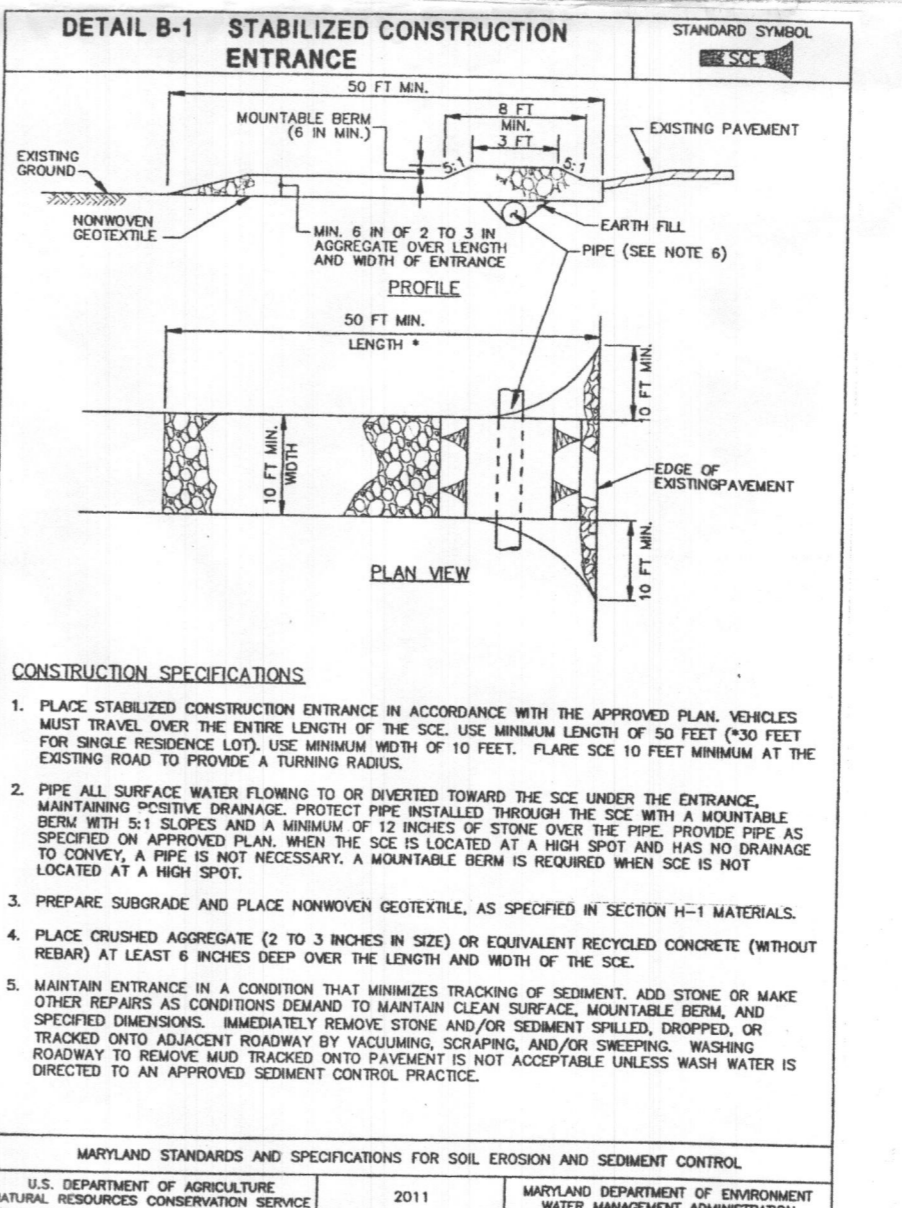
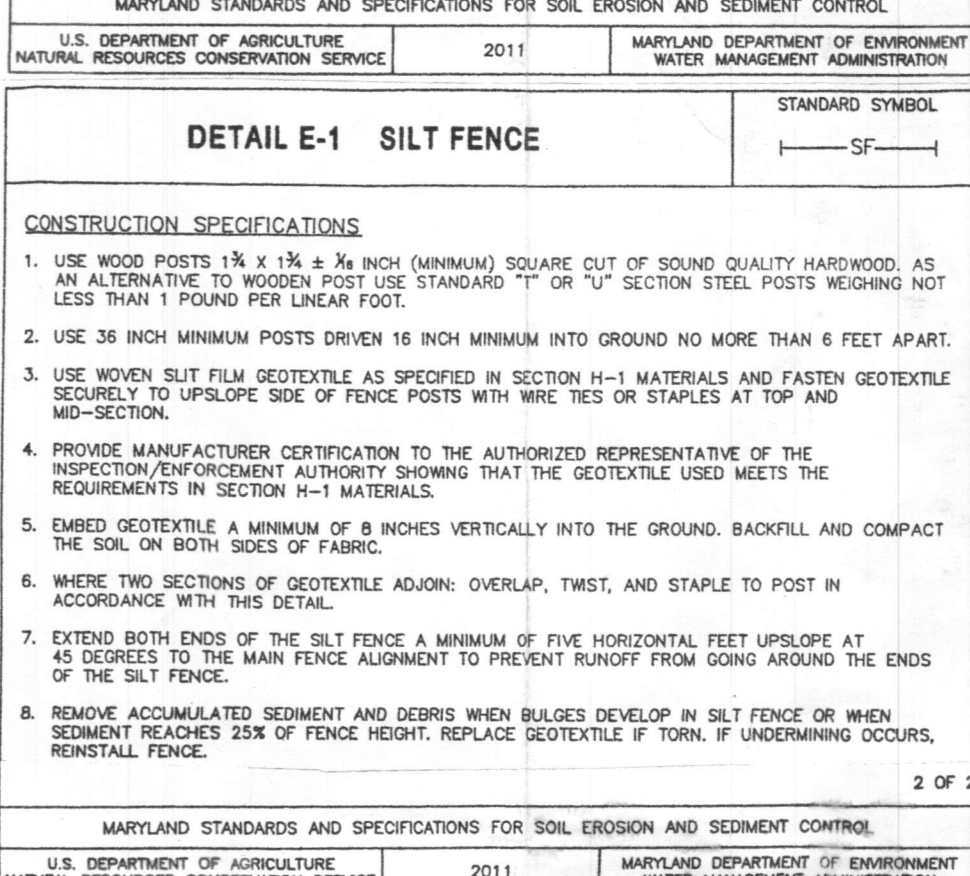
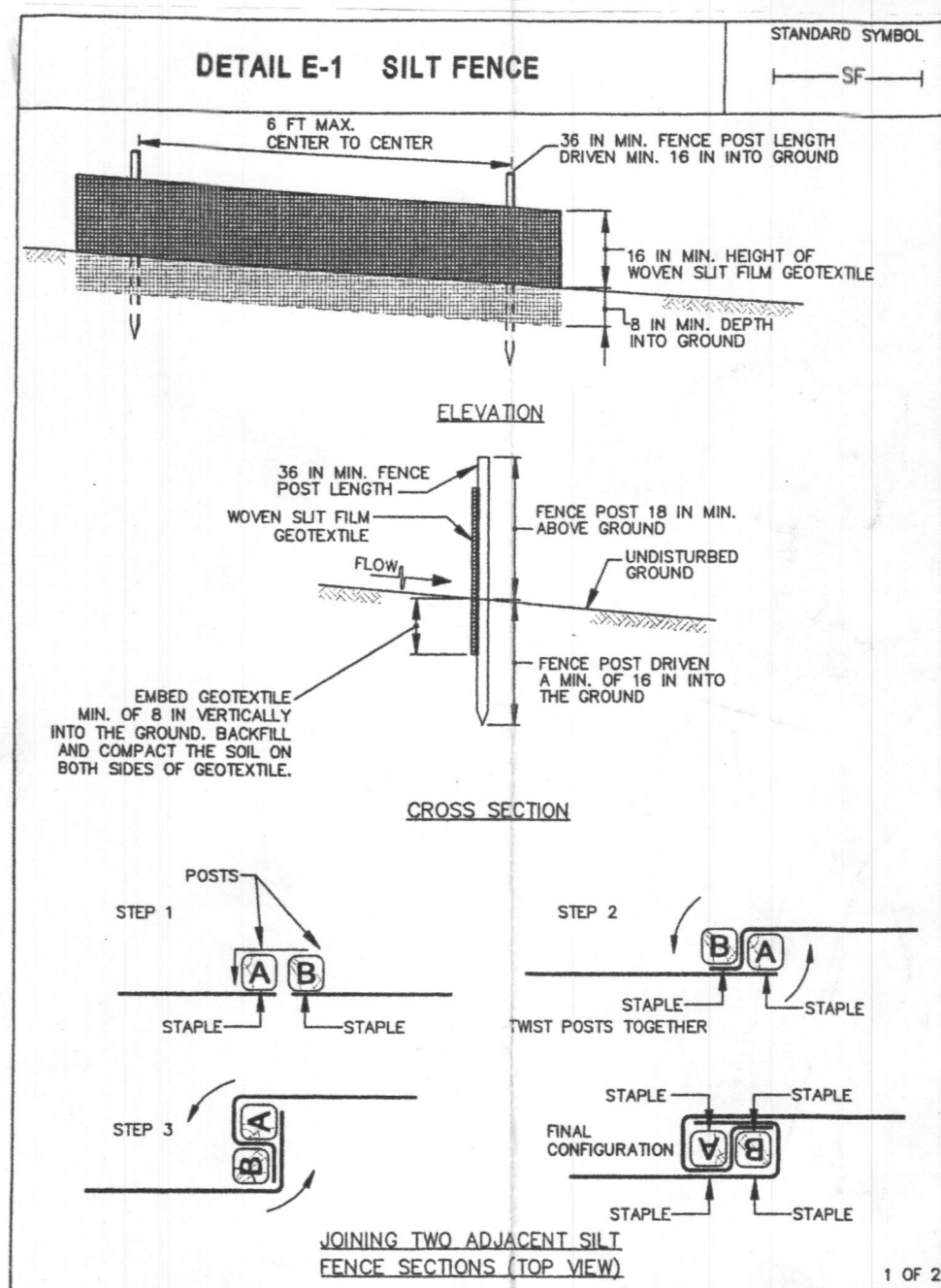
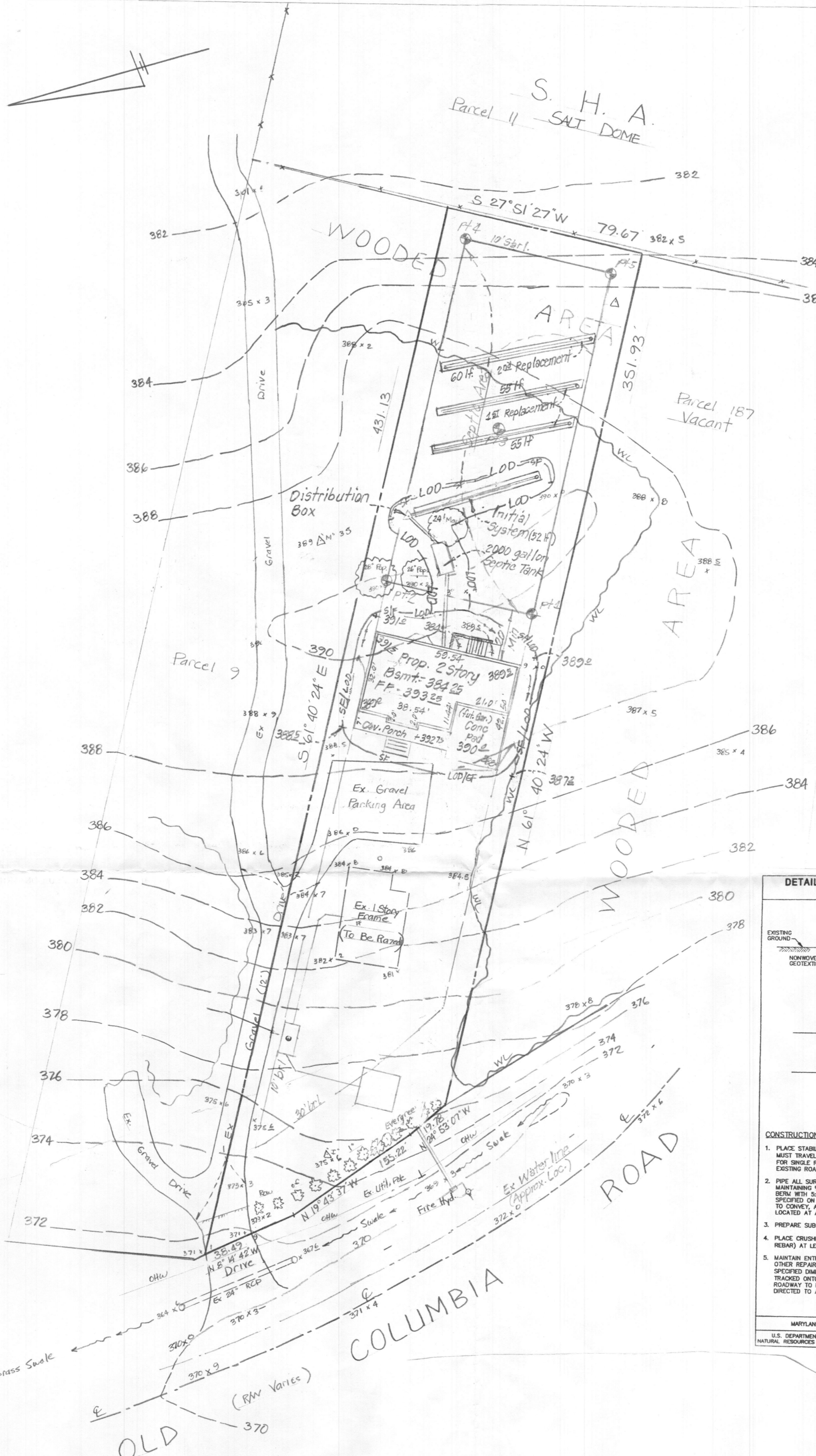
Depth of trench (Initial)	8.0'
Depth of trench (1st Replacement)	8.0'
Depth of trench (2nd Replacement)	8.0'
Length of trench (Initial)	52 lf
Length of trench (1st Repl)	110 lf
Length of trench (2nd Repl)	60 lf
Width of trench(s)	3.0'
Trenches to be edge to edge for all trenches:	
Initial trench	15'
1st replacement trench	14'
2nd replacement trench	13'
Invert at initial trench	385.67
1st replacement	386.50
2nd replacement trench	385.00

### TRENCH DESIGN

Proposed 4 Bedroom House  
Application Rate = 1.2 Initial and 2nd replacement, 0.6 for 1st replacement.  
Effective area beginning depth = 2.0' initial system.  
Effective area beginning depth = 2.5' 1st repl. system.  
Effective area beginning depth = 3' 2nd repl. system.  
Bottom maximum depth = 8.0' all trenches.  
Design flow = 150 gallons per day (gpd) per bedroom  
Design flow = 4 x 150 = 600 gpd.  
For Initial and 1st Replacement Systems:  
Square footage of trench required = 600 gpd / 1.2 = 500 sf. Initial & 2nd replacement.  
Linear length of trench required = 500 sf / 3' (wide of trench) = 167 lf.  
Initial Trench = 5/16 x 100 = 31.25 % x 167 lf = 52 lf  
2nd Replacement Trench = 5/14 x 100 = 35.71 % x 167 lf = 60 lf  
For 1st Replacement Systems:  
Square footage of trench required = 600 gpd / 0.6 = 1,000 sf. 1st replacement.  
Linear length of trench required = 1,000 sf / 3' (wide of trench) = 333 lf.  
1st Replacement Trench = 5/15 x 100 = 33.33 % x 333 lf = 110 lf.

### Site Plan Notes:

- Any changes to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised Site Plan may be required.
- The maximum earth cover over tank is 3.0 feet. Greater earth cover will require a heavy load bearing tank.
- Electrical work for the installation must be performed by a licensed electrician. (If required)
- All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any wells and/or septic systems have been shown.

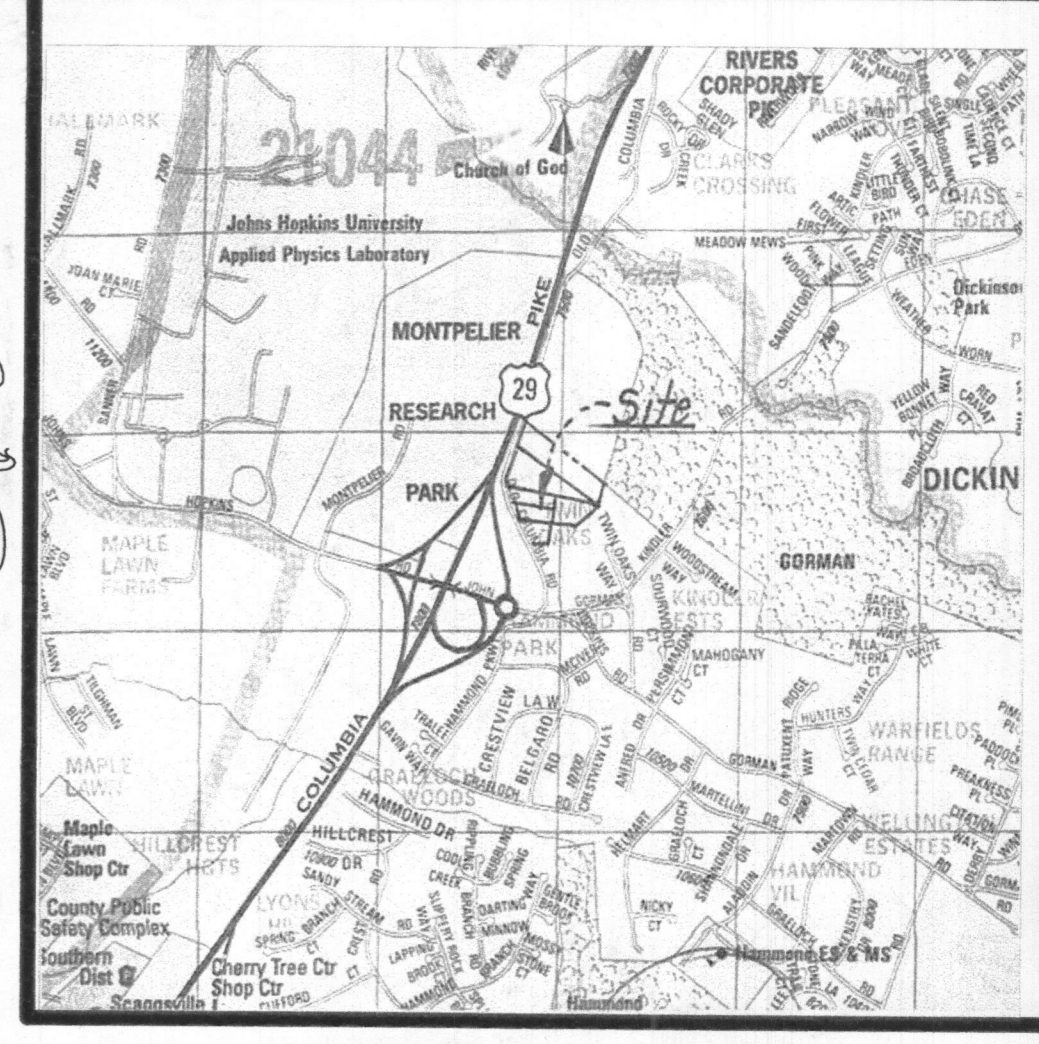


APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date

Chief, Division of Land Development Date

Director Date



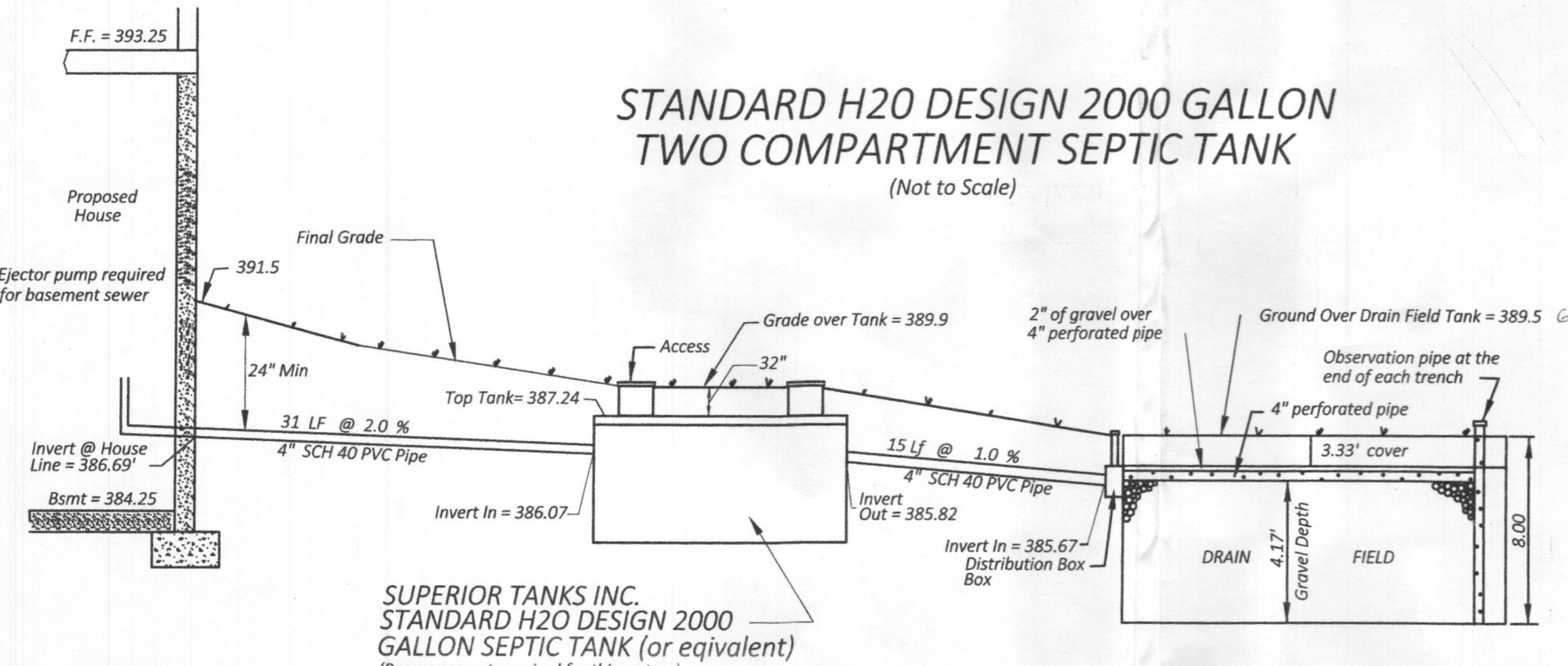
### SEQUENCE OF CONSTRUCTION

1. Pre construction Meeting	Day 1
2. Obtain Necessary permits	Day 2 - 3
3. Notify "MISS UTILITY" at least 48 hours prior to beginning any construction 1-800-257-7777	Day 2 - 4
4. Install sediment control devices	Day 5 - 36
- Stabilized Construction Entrance (SCE)	
5. Construct new dwelling and septic system, final grade site and vegetatively stabilize all areas disturbed by construction. Obtain U&O (temporary)	Day 120-365
7. Raise and remove Old House, well, Septic tank and drywell System, final grade and vegetatively stabilize all areas disturbed by construction. Obtain Final U & O. Remove all sediment control devices when written permission has been granted by the inspector	Day 366-396

Total Disturbed Area Septic System: 950 sf.  
New House: 4,000 sf.  
Total: 4,950 sf.  
Old House, well and Septic Sys.: 2,850 sf.  
Total: 2,850 sf.

### HEALTH DEPARTMENT NOTES

- The existing well must be properly sealed by a licensed well driller and an abandonment report submitted to the Health Department for review prior to Health approval of a septic permit for the new house and approval of a Use and Occupancy permit.
- The existing septic tank and drywell must be pumped out by a licensed sewage hauler, crushed/filled with dirt or stone and documentation of abandonment on company letterhead submitted to the Health Department for review prior to Health approval of a septic permit for the new house and approval of a Use and Occupancy permit.
- The existing well and septic system components must be fenced off to prevent damage during new house construction prior to Health approval of the building permit for the new house.



APPROVED FOR PRIVATE WATER AND SEWERAGE SYSTEMS

Health Officer, Howard County Health Dept. Date

**MDE Sewage Area Statement**

This area designate a private sewage disposal area as required by The Maryland Department of Environment for individual sewage disposal. Improvement of any nature in this area are restricted. This sewage disposal area shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement. Recordation of a revised sewage easement shall not be necessary.

DATE: July 27, 2017

REGISTRY OF PROFESSIONALS  
LAND SURVEYOR, MD. No. 10994  
LICENSE EXPIRATION AUG. 8, 2018



**OWNER/DEVELOPER**  
Wendell Brown  
7631 Old Columbia Road  
Laurel, Maryland 20723

CALL "MISS UTILITY" TELEPHONE NUMBER 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

**SURVEYS, INC.**  
SURVEYORS • ENGINEERS • LAND PLANNERS  
PERMIT SERVICES  
950 MAIN STREET  
LAUREL, MARYLAND, 20707  
PHONE 301-716-0566 FAX 301-716-0640 E-MAIL SURVEYS@GVERIZON.NET

DATE	REVISION
10-18-17	Health Dept Comments
10-19-17	" "

**SITE PLAN / SEPTIC SYSTEM INSTALLATION**  
7631 Old Columbia Pike  
Tax Map 41, Grid 17, Parcel 8  
**BROWN PROPERTY**  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SCALE	1"=30'	DESIGNER	GB	CHECKED BY	GB
DATE	Nov. 17, 2017	DRAFTER	TO	FIELD BOOK	63
JOB NUMBER	16-41	SHEET NUMBER	1 OF 1	FILE NUMBER	L-441