



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 11/6/17

Permit No.: B17003958

Building Address: 7631 Old Columbia Rd
 City: Lanham State: MD Zip Code: 20723
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: 0041 Parcel: 0008 Grid: 0017
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Residential Home
 Proposed Use: Residential Home
 Estimated Construction Cost: \$ 356,900.-
 Description of Work: Construct New Home
2700 SIF 2 Story with Full Basement
 Occupant/Tenant Name: Wendell Brown
 Was tenant space previously occupied? Yes No
 Contact Name: Wendell Brown
 Address: 7631 Old Columbia Rd
 City: Lanham State: MD Zip Code: 21723
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth: _____ Width: _____
Gross area, sq. ft./floor: _____	1 st floor: <u>34'</u> <u>45'</u>
Area of construction (sq. ft.): _____	2 nd floor: <u>34'</u> <u>42.38'</u>
Use group: _____	Basement: <u>34'</u> <u>45'</u>
Construction type: _____	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>3</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Wendell Brown
 Address: 7631 Old Columbia Rd
 City: Lanham State: MD Zip Code: 20723
 Phone: 301-792-2415 Fax: _____
 Email: JoeDox333@Aim.com
 Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Matey Construction Service
 Contact Person: Rick Matey
 Address: P.O. Box 1018
 City: MT Airy State: MD Zip Code: 21771
 License No.: 5007
 Phone: 410-635-2501 Fax: _____
 Email: Rick@mateyconstruction.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Utilities
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input checked="" type="checkbox"/> Public
<input type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other: _____
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number: <u>G17000344</u>
Building Shell Permit Number: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Rick Matey
 Print Name: Rick Matey
 Email Address: Rick@mateyconstruction.com
 Date: 11/6/17
 Title/Company: President/Matey Const Se

RECEIVED
 NOV 06 2017
 LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>11/21/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$	<u>160.00</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	<u>50</u>
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	<u>10238</u>



HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3430 Courthouse Drive

Ellicott City, Maryland 21043

410-313-2350

Voice/Relay

Valdis Lazdins, Director

FAX 410-313-3467

October 27, 2017

Wendell Brown
7631 Old Columbia Road
Laurel, Maryland 20723

Re: 7631 Old Columbia Road
Tax Map: 41, Parcel: 9, Grid: 17

The Howard County Zoning Regulations permit only one single-family detached dwelling unit per lot. However, this letter temporarily authorizes the construction of a new dwelling on the property located at 7631 Old Columbia Road Laurel, Maryland 20723, prior to removal of the existing dwelling ("Original Dwelling Unit"), on the condition that you comply with all provisions declared herein. This temporary authorization is only valid for six months from the date of this letter or until the issuance of the final use and occupancy permit for the new dwelling, whichever occurs first. If an extension is necessary due to delays, you must contact this Department in writing prior to the six month deadline in order to request an extension of this authorization.

Upon the issuance of either a temporary or final use and occupancy permit for the new dwelling, the Original Dwelling Unit must cease being used, and must be removed within 30 days. Failure to remove the Original Dwelling Unit will be a violation of the Zoning Regulations which will initiate an enforcement action in accordance with Section 102.0.B of the Zoning Regulations. This may include, but is not limited to, Civil Fines and/or the removal of the Original Dwelling Unit by the County at the owner's expense.

The Department of Planning and Zoning will approve a building permit for the construction of the new dwelling on the subject property only upon the receipt of a copy of this letter signed by all owners of the property. This signed copy must be submitted with your building permit application for the construction of the new dwelling unit. This authorization does not relieve any of the standard requirements for building permit approval. Please notify this Division when you have received temporary or final use and occupancy permit for the new dwelling, and also when the Original Dwelling Unit has been removed. This authorization is not transferable. If you have questions regarding this matter, please contact me at (410) 313-4350.

Sincerely,
[Signature]
Geoff Goins, Chief
Division of Public Service and
Zoning Administration

By signing below, I hereby affirm that I have read, understand, and will comply with the authorization granted above:

[Signature] 11/2/17

Wendell Brown

Signature Date

Print Name

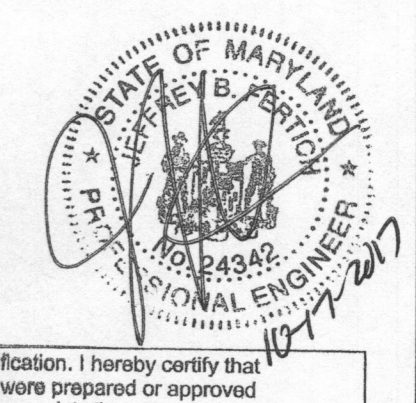
[Signature] 11/2/17

Kelly Brown

Signature Date

Print Name

(If additional signatures are necessary, please provide on back of page)



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 24342 Expiration Date: 11-17-2017

Concept Plan CP_07032011
July 03/2011

PERMIT PLAN P_10162011
OCT. 05/2011

Drawn by
Olav Gjerde

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GENERAL NOTE
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2015 R317)

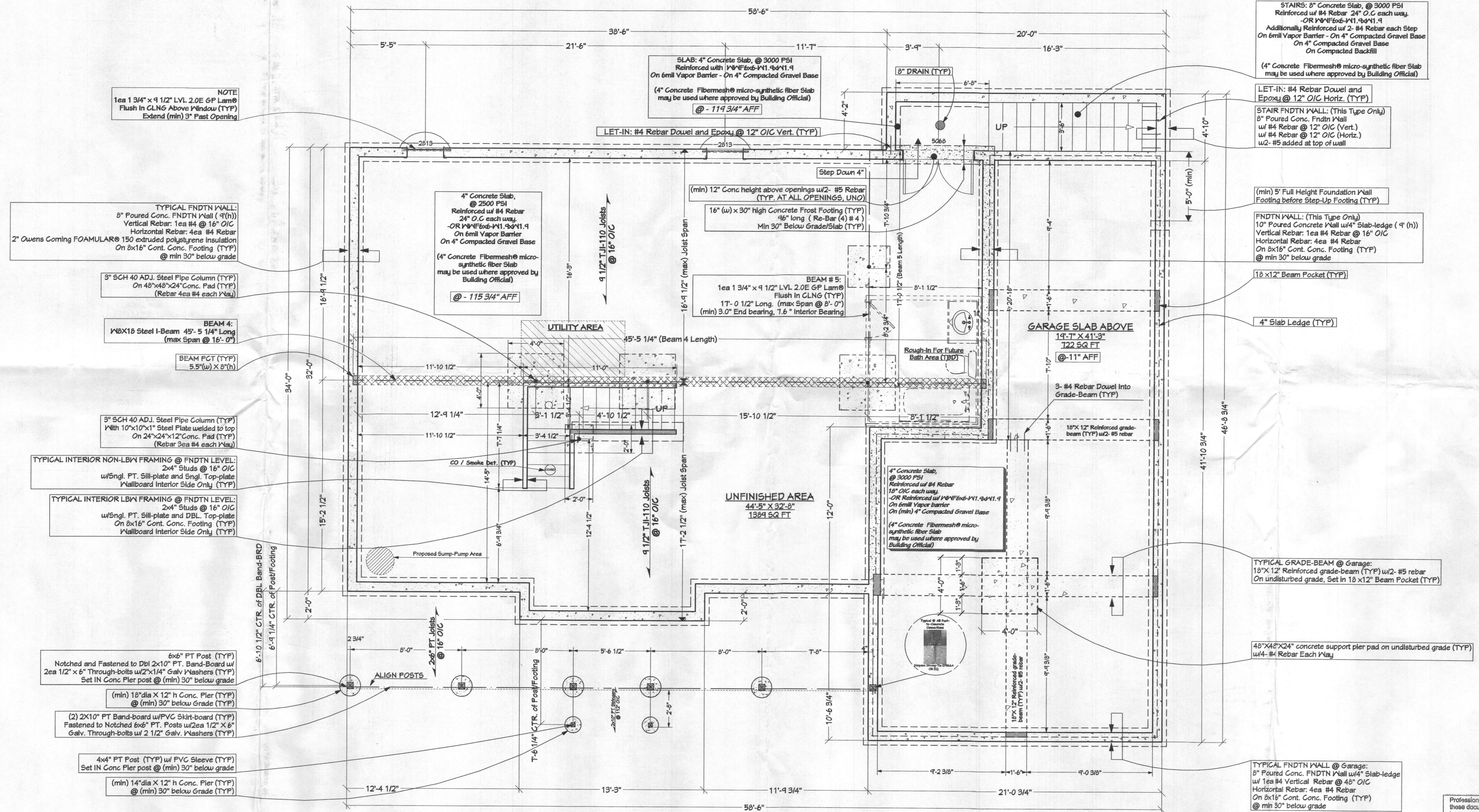
NOTE
Where Applicable - All interior and exterior stairways shall be provided with a means to illuminate the stairs, including landings and treads, as per applicable Local Building Codes

NOTE
All Stairs Shall Be Constructed According To IRC 2015 R311.7

GENERAL NOTE
All Sill-plates Shall Be Pressure-Treated and Fastened with 1/2"x5" Simpson Titan HD 50500H anchor OR Eq @ max48" O/C (TYP)

GENERAL NOTE
All Sill-plates At This Level Shall Be Pressure-Treated and Fastened with 1/2"x5" Simpson Titan HD 50500H anchor OR Eq @ max48" O/C (TYP)

TYPICAL DAMP PROOFING:
Tarring: Liquid bituminous asphalt coating on exterior side of foundation applied at All Concrete walls below grade. (TYP)



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1 | PLAN: Foundation Plan
4 | Scale : 1/4" = 1'- 0"

STRUCTURAL ENGINEERING
RESOURCES, LLC
26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
717-337-1335

GENERAL NOTE
Soil Bearing to be minimum 2000 PSF

GENERAL NOTE:
All SHMR Areas And/OR Tiled Wall Areas Shall Have (min) 1/2" Cement-Board Backing. All Cement-Board Seams To Be Blocked with (min) 2x4" Blocking Set On High (TYP)

GENERAL NOTE:
All Bath Wall and CLNG Areas Shall Have 1/2" M.R. Greenboard (TYP)

GENERAL NOTE
All Sill-plates In Contact With Concrete Shall Be Pressure-Treated and Fastened with 1/2" x 5" Simpson Tlcon HD 50500H anchor OR Eq @ max/4" O/C (TYP)

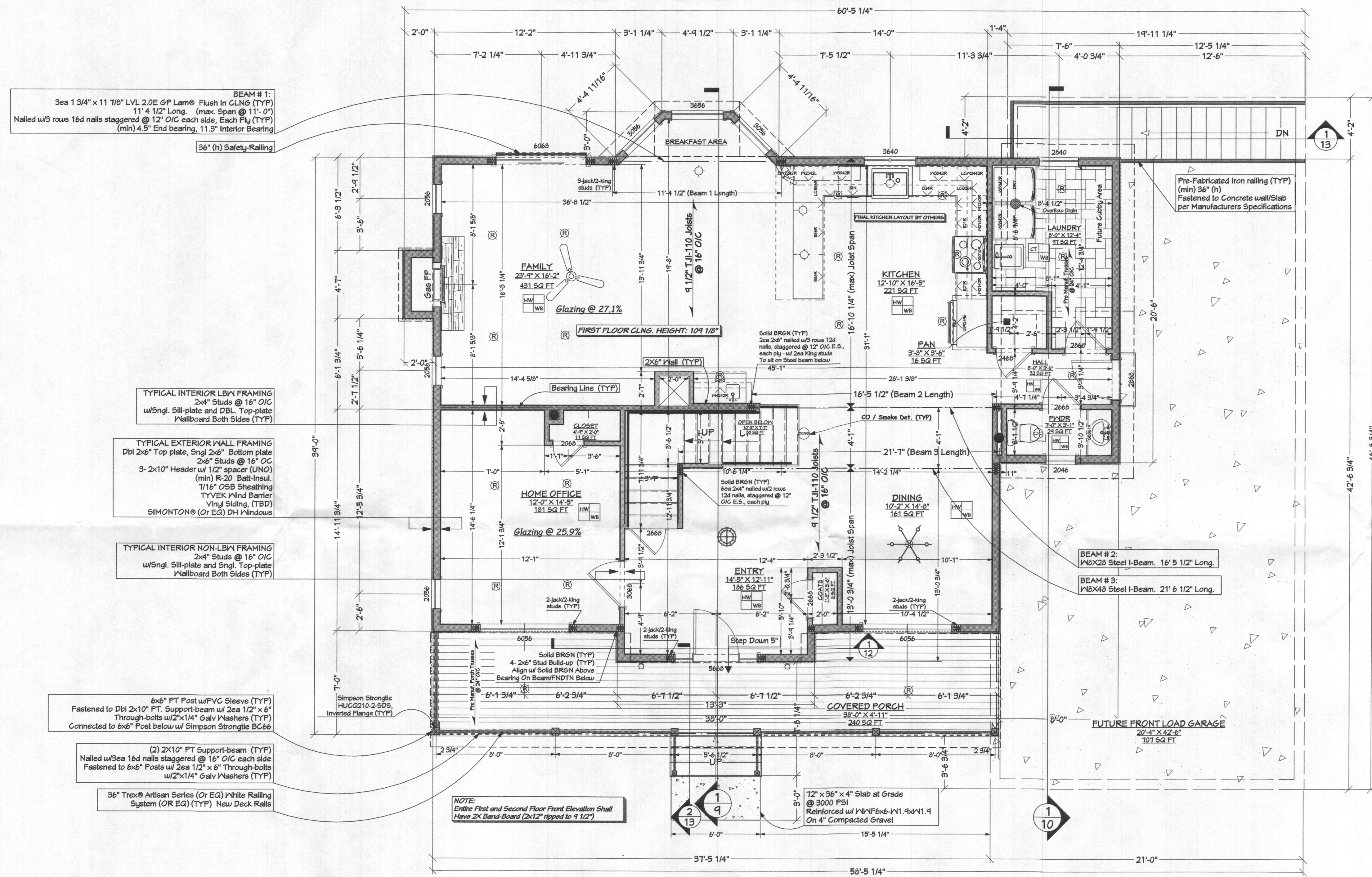
NOTE
All Stairs Shall Be Constructed According To IRC 2015 R311.7

GENERAL NOTE
Fasteners and connectors for preservative-treated wood shall be of hot dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. (IRC 2015 R311)

NOTE
Where Applicable -All Interior and exterior stairways shall be provided with a means to illuminate the stairs, including landings and treads, as per applicable Local Building Codes

NOTE:
Install 1st Floor Windows @ 92" AFF
All Window Openings To Have 3ea 2x10" Headers on 2 Jack Studs (UNO) (as per IRC 2015 Table R602.1.1)

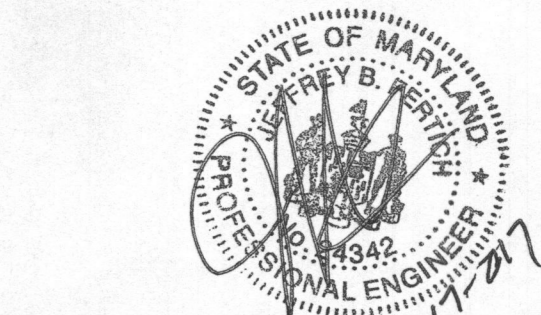
Flooring Type	Chair-Rail	Crown Moulding	Base Type
CPT = Carpet	CR =	CM =	BT =
CT = Ceramic Tile			
EXst HW = Existing Hardwood			
EXst HW = Existing Existing Hardwood			
HW = Hardwood Flooring			
REF = Refinish EXst Flooring			
TS = Tile Base			
V = Vinyl			
C = Crown - PM 44			
MB = (match EXst)			
Floor Covering Divider Line			



QTY	FLOOR	SIZE	DIMENSIONS	R/O	EGRESS	TEMPERED	DESCRIPTION	ROOM NAME	COMMENTS
1	1	6056	11'1/2" x 265'1/2"	12"x66"	YES		MULLED UNIT	DINING/COVERED PORCH	
1	2	6053	11'1/2" x 262'1/2"	12"x63"	YES		MULLED UNIT	BATH	
1	2	6053	11'1/2" x 262'1/2"	12"x63"	YES		MULLED UNIT	BEDROOM 2	
1	2	6053	11'1/2" x 262'1/2"	12"x63"	YES		MULLED UNIT	BEDROOM 3	
1	2	6053	11'1/2" x 262'1/2"	12"x63"	YES		MULLED UNIT	HANGOUT AREA	
1	2	6053	11'1/2" x 262'1/2"	12"x63"	YES		MULLED UNIT	MASTER BDRM	
1	1	6056	11'1/2" x 265'1/2"	12"x66"	YES		MULLED UNIT	HOME OFFICE/COVERED PORCH	
2	1	2056	23'1/2" x 265'1/2"	24"x66"			DOUBLE HUNG	BATH	
1	1	2056	23'1/2" x 265'1/2"	24"x66"	YES		DOUBLE HUNG	HOME OFFICE	
1	1	2840	31'1/2" x 241'1/2"	32"x48"			DOUBLE HUNG	LAUNDRY/OPEN BELOW	
2	1	3056	39'1/2" x 265'1/2"	36"x66"	YES		DOUBLE HUNG	FAMILY	
1	1	3840	41'1/2" x 241'1/2"	42"x66"			DOUBLE HUNG	KITCHEN	
1	1	3856	41'1/2" x 265'1/2"	42"x66"	YES		DOUBLE HUNG	FAMILY	
1	1	2046	23'1/2" x 284"	24"x84'1/2"			DOUBLE HUNG	PYNDR/FUTURE FRONT LOAD GARAGE	
2	0	2813	31'1/2" x 241'1/2"	32"x48"			APNING	UNFINISHED AREA	
1	2	4636	33'1/2" x 241'1/2"	34"x42"	YES		DBL CASEMENT-LH/RHR	MASTER BATH	
2	2	2050	23'1/2" x 284'1/2"	24"x86"			DOUBLE HUNG	MASTER BDRM	

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1 PLAN: First Floor Plan
5 Scale: 1/4" = 1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 24342 Expiration Date: 11-17-2017
STRUCTURAL ENGINEERING RESOURCES, LLC
26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
717-337-1335

GENERAL NOTE:
All SHWR Areas And/or Tiled Wall Areas Shall Have (min) 1/2" Cement-Board Backing. All Cement-Board Seams To Be Blocked with (min) 2x4" Blocking Set On High (TYP)

GENERAL NOTE:
All Bath Wall and CLNG Areas Shall Have 1/2" M.R. Greenboard (TYP)

GENERAL NOTE:
ALL Exhaust Fan to be vented to Exterior (TYP)

NOTE:
Install 2nd Floor Windows @ 82" AFF
All Window Openings To Have 3ea 2x10" Headers on 2 Jack Studs (UNO)
(as per IRC 2015 Table R602.1(1))

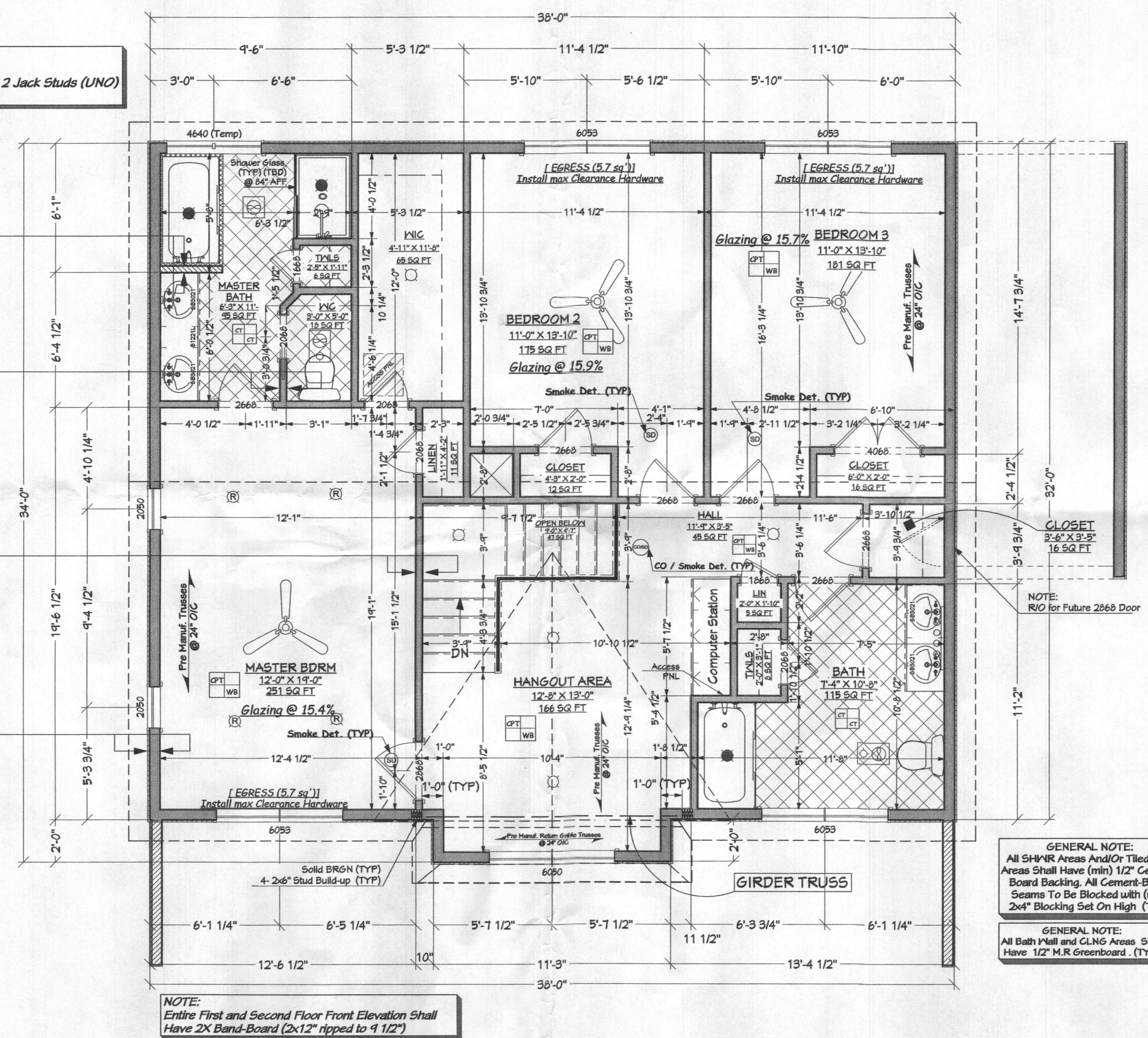
TILE CAPPED KNEE-WALL (36"H)
2x4" Top plate and 2x4" Bottom plate
2x4" Studs @ 16" OC
(1/2" M.R. Interior wallboard @ Bath-RM Sides)

TYPICAL INTERIOR NON-LBN FRAMING
2x4" Studs @ 16" OC
w/Sngl. Sill-plate and Sngl. Top-plate
(1/2" M.R. Interior wallboard @ Both Sides)

TYPICAL INTERIOR NON-LBN FRAMING
2x4" Studs @ 16" OC
w/Sngl. Sill-plate and Sngl. Top-plate
Wallboard Both Sides (TYP)

TYPICAL EXTERIOR WALL FRAMING
Dbl 2x6" Top plate, Sngl 2x6" Bottom plate
2x6" Studs @ 16" OC
3- 2x10" Header w/ 1/2" spacer (UNO)
(min) R-20 Batt-Insul.
7/16" OSB Sheathing
TYVEK Wind Barrier
Vinyl Siding, (TBD)
SIMONTON® (Or EQ) DH Windows

GENERAL WINDOW NOTE:
All Windows on 2nd Floor to be supplied with an opening control device (WOCD) that meets the ASTM F2090 "Standard Specification for Window Fall Prevention Devices with Emergency Escape (Egress) Release Mechanisms."
Egress Windows Must Have Maximum Clearance Hardware Installed



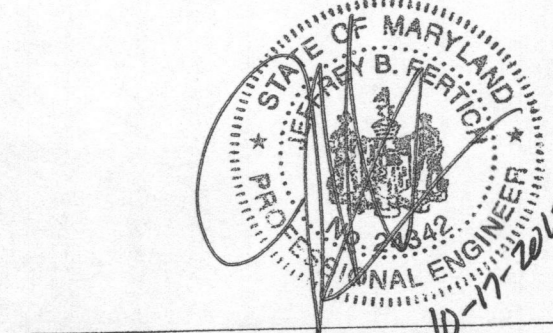
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GENERAL NOTE:
All Bath Wall and CLNG Areas Shall Have 1/2" M.R. Greenboard (TYP)

NOTE:
Entire First and Second Floor Front Elevation Shall Have 2X Band-Board (2x12" topped to 4 1/2")

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1 | PLAN: Second Floor Plan
6 | Scale : 1/4" = 1'- 0"



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
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Concept Plan CP_01032017
July 03/2017

PERMIT PLAN P_10162017
OCT. 05/2017

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