



# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: B18001524

Building Address: 1040 Furlane Rd  
 City: Woodbine State: MD Zip Code: 21797  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Subdivision: Furlane Farm  
 Lot: 22 Tax Map: B Parcel: B

Existing Use: SFD  
 Proposed Use: SFD w/ Propane Tank  
 Estimated Construction Cost: \$ 8000  
 Description of Work:  
Install 1000 gallon in-ground Propane Tank

Occupant/Tenant Name: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: owner  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Daisy Coop LLC  
 Address: 2215 Duval Rd  
 City: Woodbine State: MD Zip Code: 21797  
 Phone: 410-963-4457 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: Michelle Clancy  
 Address: Po Box 370  
 City: Perry Hall State: MD Zip Code: 21228  
 Phone: 443-60-7514 Fax: \_\_\_\_\_  
 Email: Michelle@AppliedAndApproved.com

Contractor Company: TECH AIR  
 Contact Person: Dennis Fraga  
 Address: 1560 A-D Canton Center Dr  
 City: Baltimore State: MD Zip Code: 21227  
 License No.: 81215  
 Phone: 410-984-5631 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: Contractor  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
Area of construction (sq. ft.):	2 <sup>nd</sup> floor:
Use group:	Basement:
<u>Construction type:</u>	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms:
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]  
 Print Name: Michelle Clancy  
 Email Address: Michelle@AppliedAndApproved.com  
 Title/Company: Permits

Date: 5/3/18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>5/15/18</u>	<u>R-KAS</u>

Is Sediment Control approval required for Issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

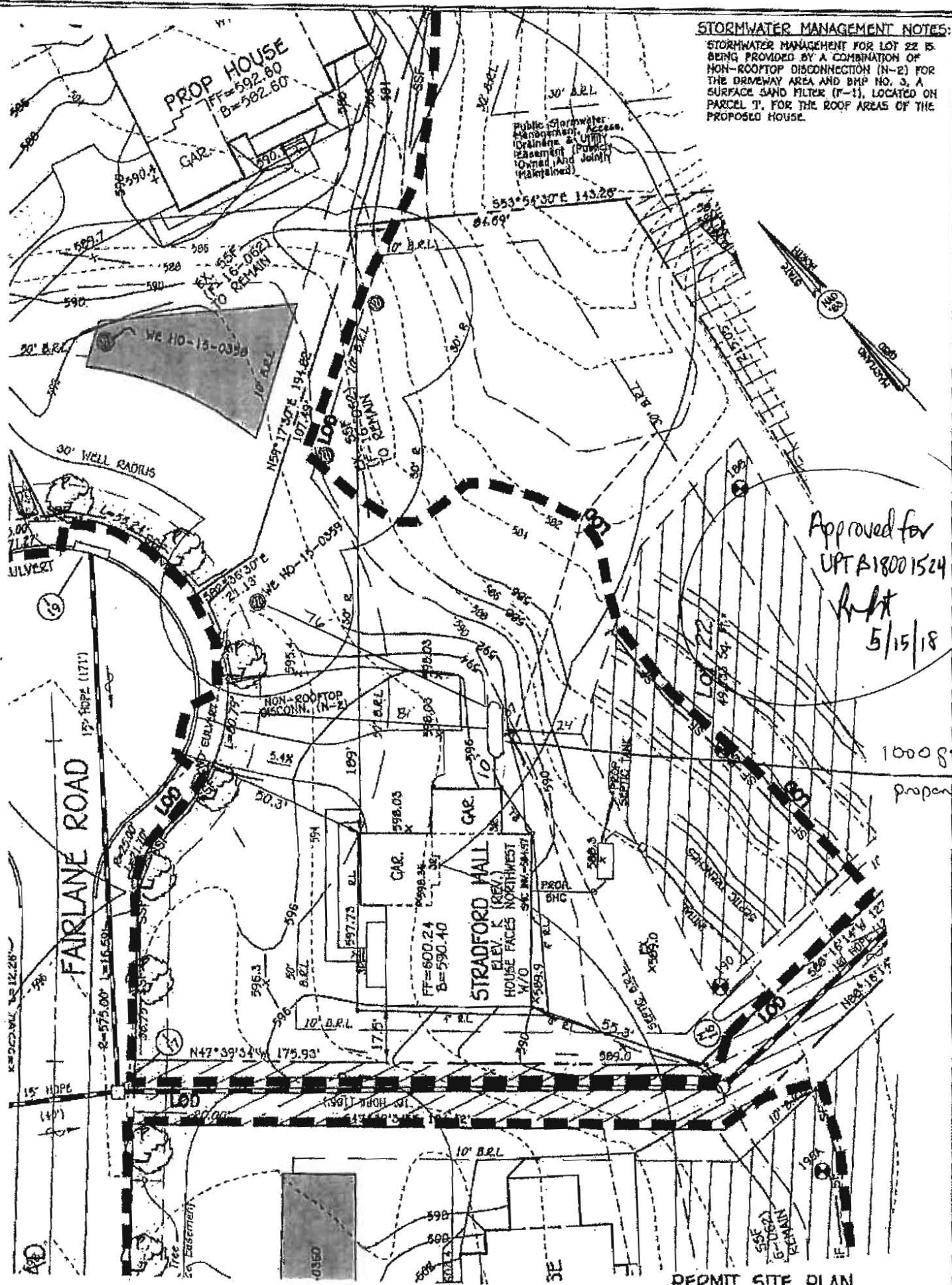
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>110.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$ <u>6377.</u>
Check	# <u>6377.</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

**STORMWATER MANAGEMENT NOTES:**

STORMWATER MANAGEMENT FOR LOT 22 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR THE DRIVEWAY AREA AND BMP NO. 3, A SURFACE SAND FILTER (F-1), LOCATED ON PARCEL 7, FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



Approved for  
UPT B18001524  
Rht  
5/15/18

1000 gpm  
proposed

**OWNER/DEVELOPER**  
BY PERMITS  
3720 PATRIMENT WOODS DRIVE  
COLUMBIA, MD 21046  
410-375-9926

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS  
CORPORATE OFFICE: SUITE 100 - 18022 BALTIMORE NATIONAL PIKE  
BETHESDA, MD 20814  
(301) 461-2655

**NOTE:** THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0350, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**PLAN**  
SCALE: 1" = 40'

**PERMIT SITE PLAN**  
**LOT 22**  
1040 FAIRLANE ROAD  
**FAIRLANE FARMS**  
PHASE TWO  
ZONED: RC-DEO  
TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8  
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: MARCH 5, 2018  
SHEET 1 OF 1



HEALTH

# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2018 MAR 15 AM 11:03

Date Received: \_\_\_\_\_

Permit No.: **B18000834**

Building Address: 1040 Fairlane Rd  
 City: Woodbine State: MD Zip Code: 21797  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: GP 18-35  
 Census Tract: \_\_\_\_\_ Subdivision: Fairlane Farms  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 22  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: Vacant lot  
 Proposed Use: Single family house  
 Estimated Construction Cost: \$ 230,000  
 Description of Work: New 2 story "Stratford Hall" BLV'K, 2 car garage, 1 car attached garage, and finished lower level (Rec rm, Bath + Bedroom)  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>6</u>	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Property Owner's Name: NVR Inc  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: Decatur Building Services  
 Address: PO Box 552  
 City: Woodbine State: MD Zip Code: 21797  
 Phone: 443-309-7792 Fax: \_\_\_\_\_  
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes  
 Contact Person: Clint Cagle  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 License No.: 56  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: ccagle@NVRInc.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Utilities
<b>Water Supply</b>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
<b>Sewage Disposal</b>
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Heating System</b>
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
<b>Sprinkler System:</b>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin  
 Applicant's Signature  
Jim@DecaturbuildingServices.com  
 Email Address  
AGENT NV Homes  
 Title/Company

Jim Kerwin  
 Print Name  
3/15/2018  
 Date  
**RECEIVED**  
MAR 15 2018

LICENSES & PERMITS

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>4/15/18</u>	<u>H. Osmond</u>

Is Sediment Control approval required for Issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>177015</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

Fairlane Farms  
 Lot 22  
 1040 Fairlane Road

# STRATFORD HALL

Health Dept

B18000834

HEALTH DEPT



NVR, Inc.  
 Architectural Services  
 Architects  
 5285 Westview Drive, Suite 100  
 Frederick, MD 21703

FULL BASEMENT		STANDARD DETAILS
STP. DIMS.		
OPTIONS	OP-1	AD-1
SPEC SHEET	SS-1	AD-1b
ELEVATIONS	4	FD-1
FOUNDATIONS	14	FD-2
FOUNDATION HOLD DOWNS	22, 23, 24, 25	FD-2b
PLUMBING	26	FD-3
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FIRST FLOOR PLAN	24	JT-1
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BUILDING SECTIONS	34, 36	JT-3b
STAIR SECTIONS	38	RF-1
KITCHEN - BATHS	41, 42, 43, 44	RF-1b
BASEMENT ELECTRICAL	45	ET-1
FIRST FLOOR ELECTRICAL	47	ET-1b
SECOND FLOOR ELECTRICAL	50	ET-1c
FIRST FLOOR FRAMING	52	ET-1e
SECOND FLOOR FRAMING	54	ET-1f
ROOF FRAMING	55, 56	ET-2
TRUSS BRACING	61	ET-2b
WALL BRACING LAYOUT	63	MD-1
HVAC LAYOUT	67	MD-2
HVAC LAYOUT	68	MD-3
HVAC LAYOUT	69	DR-1
HVAC LAYOUT	70	DR-2
HVAC LAYOUT	71	DR-3
HVAC LAYOUT	72	FP-1
HVAC LAYOUT	73	IT-1
HVAC LAYOUT	74	IT-1b
		IT-1c
		IT-2
		ST-1
		ST-2
		HS-1
		KT-1
		SP-1
		SP-2
		SP-3
		SEP-1
		SEP-2
		SEP-3
		SEP-4
		F-1
		FA-1
		FC-1
		FC-2
		FC-4
		WB-1
		WB-2
		DA-2

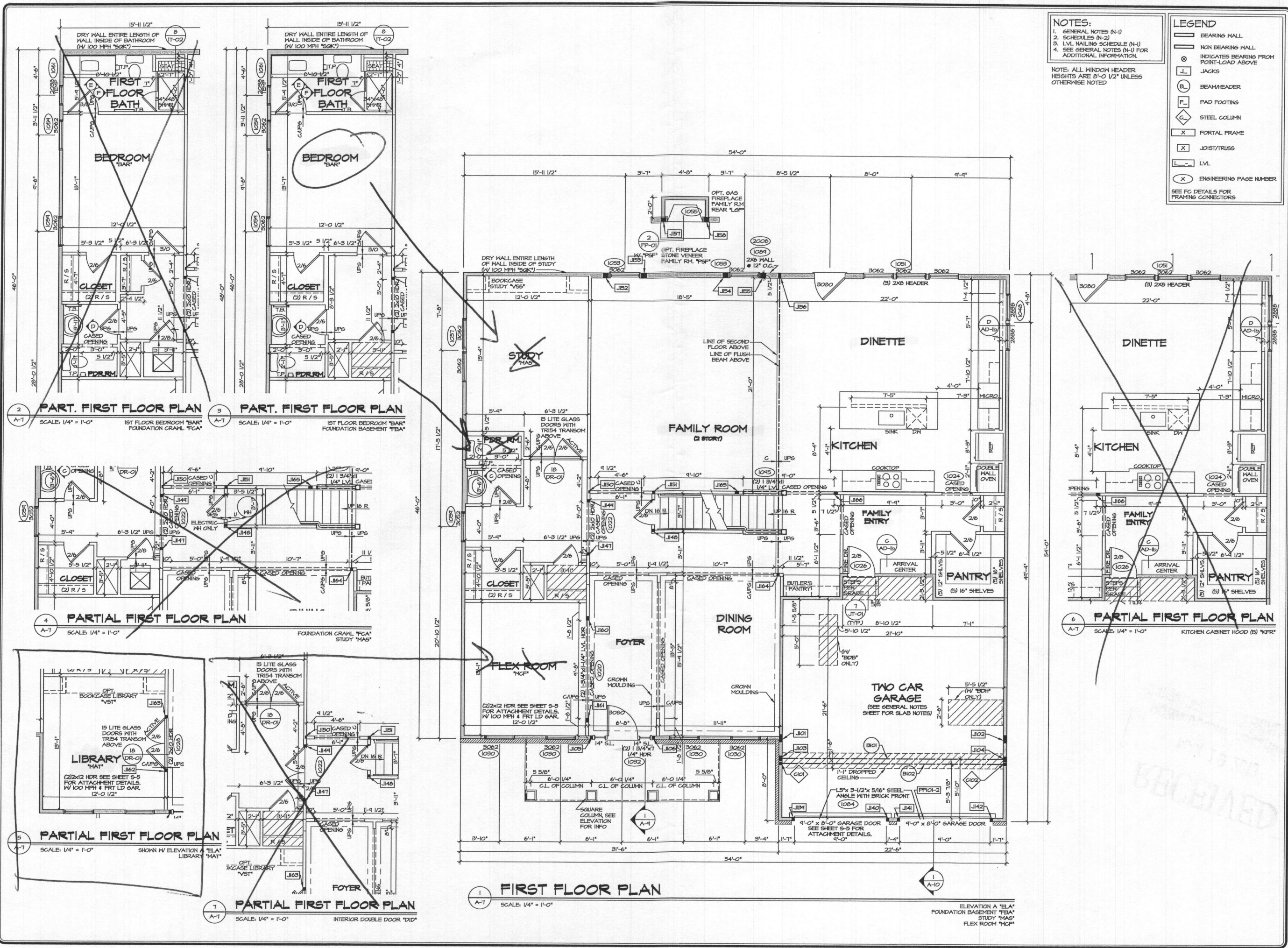
FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
	2151 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	2133 SF
	2133 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
THO CAR GARAGE ELEV. 'A' OR 'K' OR 'R'	507 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	314 SF
	821 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	1451 SF
	1451 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
UNFINISHED STORAGE	429 SF
MECHANICAL ROOM	245 SF
	124 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	2151 SF
2ND FLOOR (BASE SF)	2133 SF
FINISHED BASEMENT	1451 SF
	5735 SF

SET - VERSION  
 11900 - 01

CS-1

C:\NVA\Solves\STRATFORD HALL\11900\_01\MOE-FP-0022 (682718)SheetA\Lot Specific\CS-1 COVER SHEET.dwg 02/16/18 - 3:35 am





**NOTES:**  
 1. GENERAL NOTES (N-1)  
 2. SCHEDULES (N-2)  
 3. LVL NAILING SCHEDULE (N-1)  
 4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED

**LEGEND**

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FG DETAILS FOR FRAMING CONNECTORS

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11900	DATE 5/7/2016
	DRAWING TITLE <b>FIRST FLOOR PLAN</b>	VERSION 01	OPTION
29	OPTION DESCRIPTION	DESIGNED BY BJM	DATE 5/7/2016
		DRAWN BY BJM	DATE 5/7/2016
PROJECT: NY HOMES STRATFORD HALL 11900_01 Sheets Master. Set First Floor. Plot 29 A-7 PLAN.dwg 05/17/17 - 3:50 PM		REVISIONS	
		REV. NO.	DATE
		2	6/27/17
		REMARKS 01/24/17 TM - STANDARD DETAILS 3.0 6/27/17 ATL - REVISED BALHEAD ABOVE GARAGE ENTRY DOOR (PAR ID 46450)	

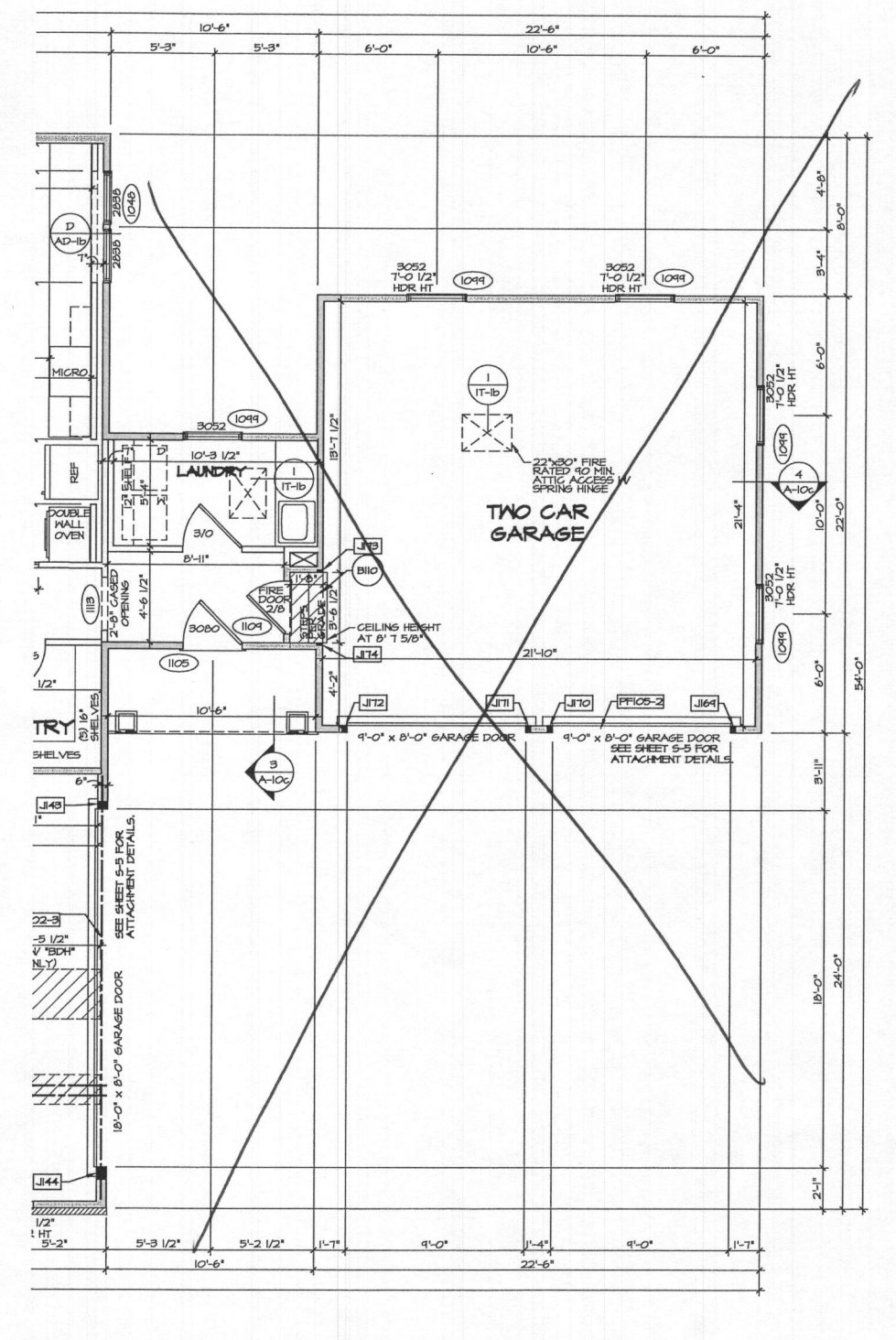
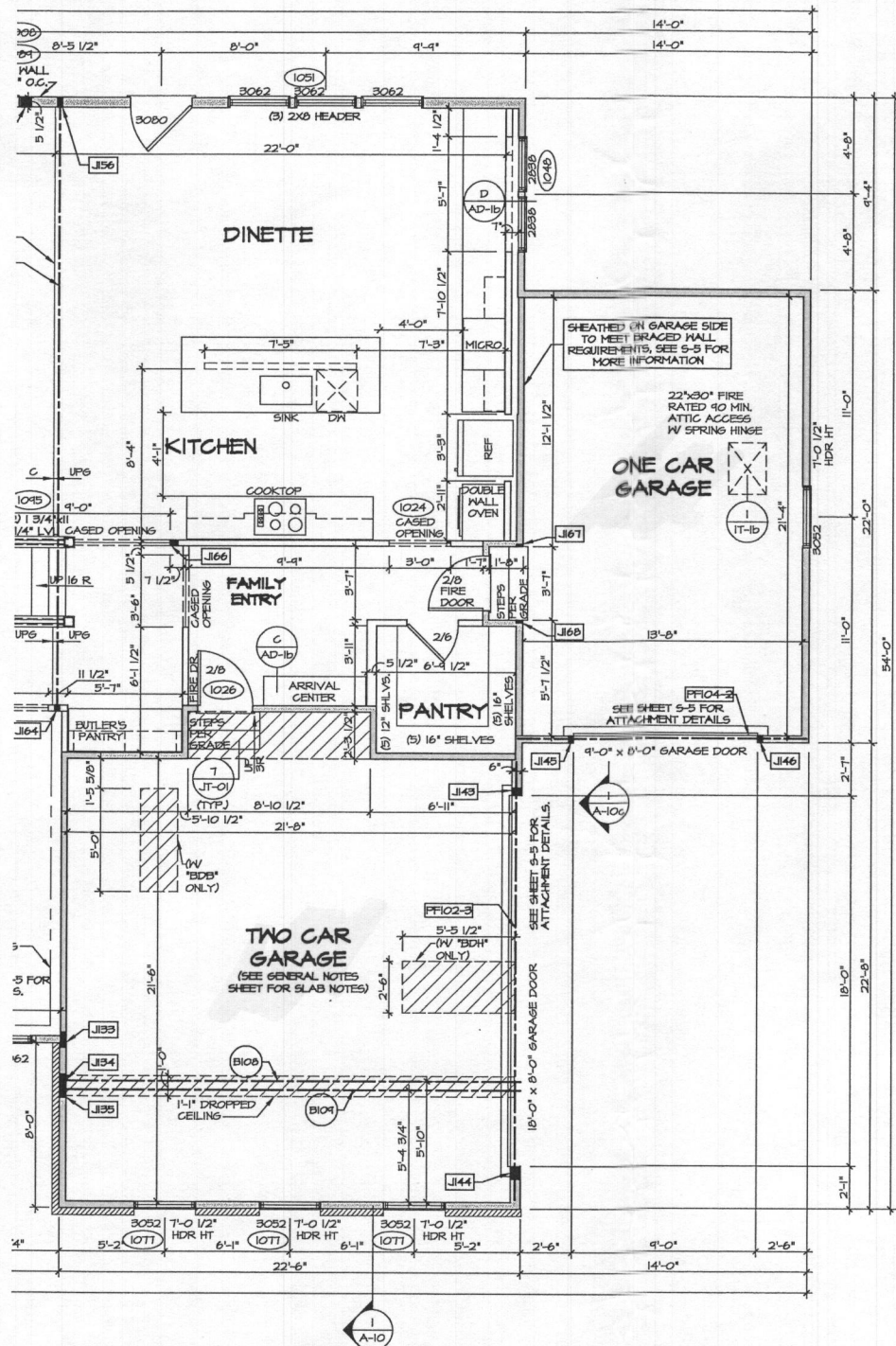
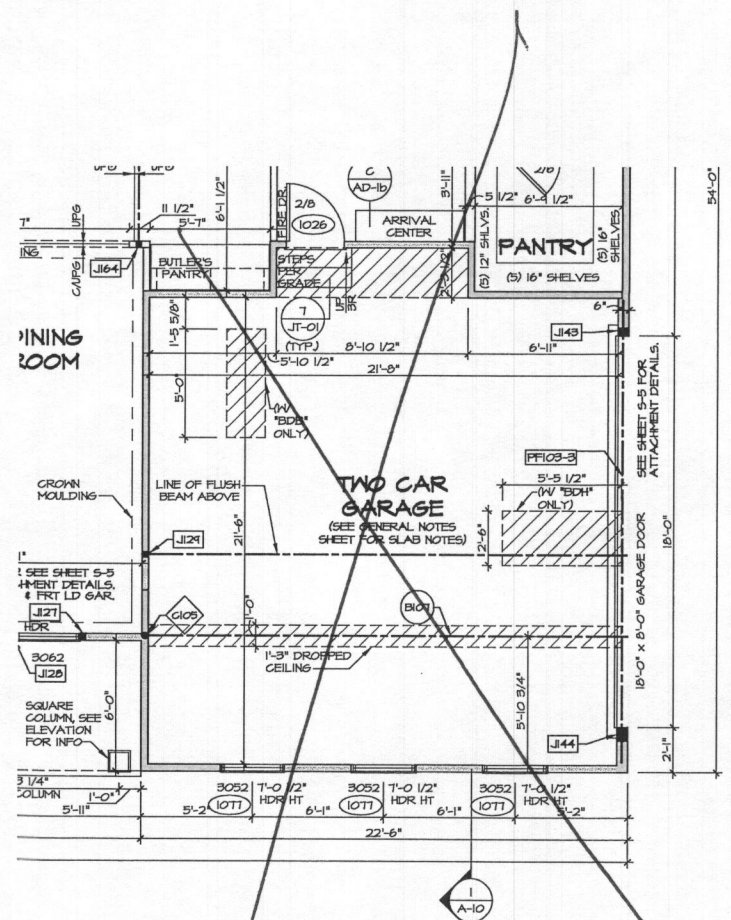
**NVR**  
 NVR, Inc.  
 Architectural Services  
 5885 Washington Blvd.  
 Frederick, MD 21703

OPTION DESCRIPTION

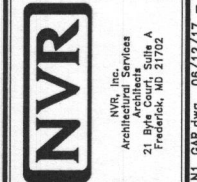
- LEGEND**
- BEARING WALL
  - - - NON BEARING WALL
  - ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
  - J JACKS
  - B<sub>L</sub> BEAM/HEADER
  - F<sub>L</sub> PAD FOOTING
  - ◇ STEEL COLUMN
  - X PORTAL FRAME
  - X JOIST/TRUSS
  - LVL
  - X ENGINEERING PAGE NUMBER
- SEE FG DETAILS FOR FRAMING CONNECTORS

- NOTES:**
1. GENERAL NOTES (N-1)
  2. SCHEDULES (N-2)
  3. LVL NAILING SCHEDULE (N-1)
  4. SEE GENERAL NOTES (N-1) FOR ADDITIONAL INFORMATION.

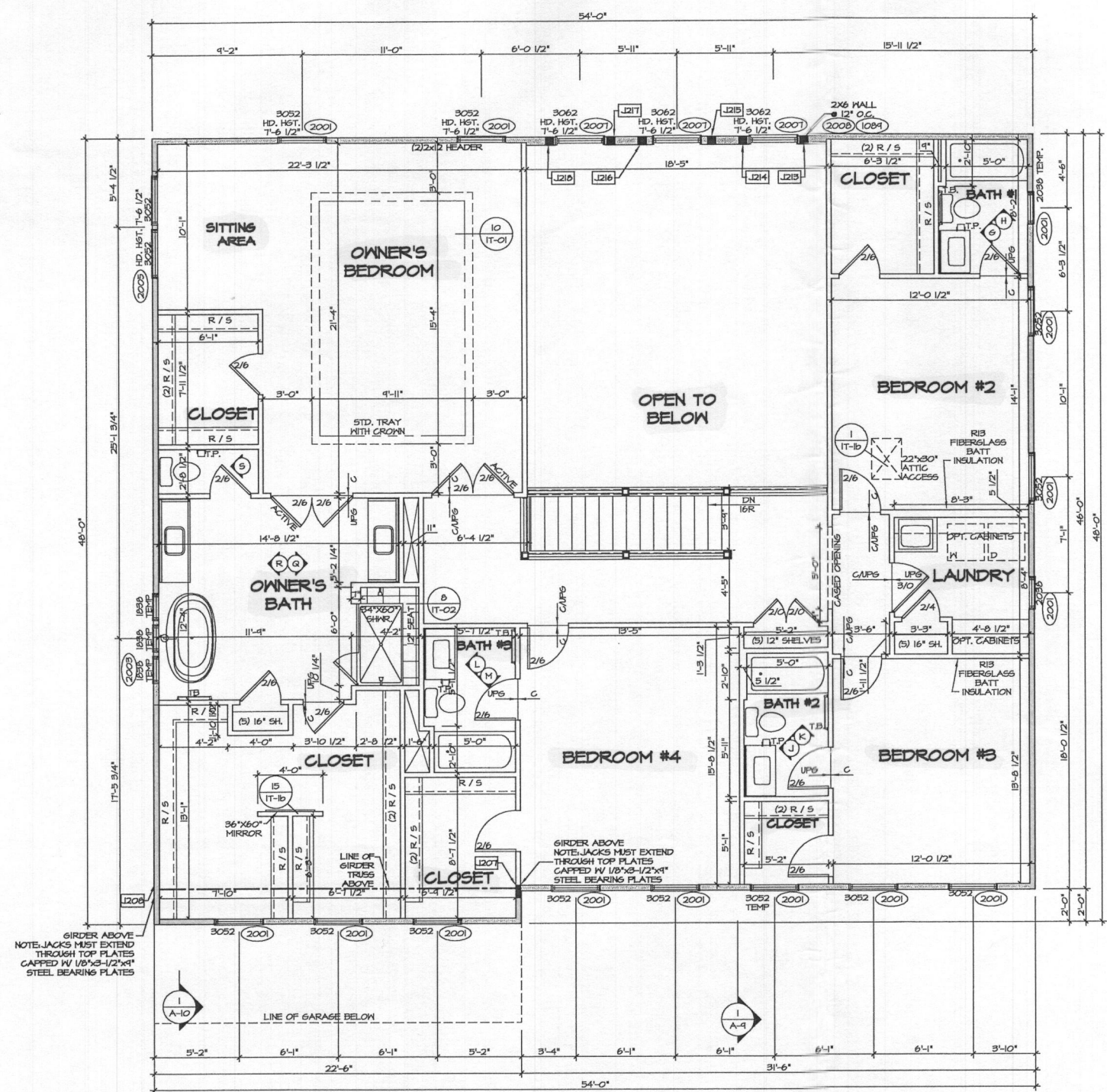
NOTE: ALL WINDOW HEADER HEIGHTS ARE 8'-0 1/2" UNLESS OTHERWISE NOTED



SHEET NO. <b>A-7d</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11900	REV. NO. DATE	REMARKS
		VERSION 01	1 01/24/11 TH - STANDARD DETAILS 3.0	
DRAWING TITLE <b>FIRST FLOOR PLAN PARTIALS</b>	OPTION DESCRIPTION TWO CAR SIDE ENTRY GARAGE ONE CAR SIDE ATTACHED FRONT ENTRY GARAGE TWO CAR SIDE ATTACHED FRONT ENTRY GARAGE	DRAWN BY MSG	2 6/12/11 ATC - REVISED BULKHEAD ABOVE GARAGE ENTRY DOOR (PAR ID: 46458)	
		DATE: 9/15/16		
SHEET NO. <b>A-7d</b>	MODEL <b>STRATFORD HALL</b>	OPTION		
		OPTION		
SHEET NO. <b>31.2</b>	MODEL <b>STRATFORD HALL</b>	OPTION		
		OPTION		



PROJECT: NVR/WH/05/STRATFORD HALL 11900 - 01/Sheets/Modeler: SAJ/Arch: M. Weather. S&P/Arch: M. Weather. 08/12/17 - 3:50 PM



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
  2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
  5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
  7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  9. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.

**LEGEND**

	BEARING WALL
	NON BEARING WALL
	INDICATES BEARINGS FROM POINT-LOAD ABOVE
	JACKS
	BEAMHEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J207	JACK - (6) 2X4 SPM		2008	
J208	JACK - (6) 2X4 SPM		2008	
J213	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J214	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J215	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J216	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J217	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS
J218	JACK - (4) 2X6 SFF #2 STUD GRADE		2007	FULL HEIGHT STUDS

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	07/24/11	TM - STANDARD DETAILS 3.0

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SHEET NO.	MODEL	SET NO.	VERSION
A-8	STRATFORD HALL	11500_01\WDE-FF-002A\882718\SheetA of SheetA.dwg	01
OPTION	DRAWN BY	DATE	OPTION
32.1	BIM		
	DRAWING TITLE		
	SECOND FLOOR PLAN		
	OPTION DESCRIPTION		