



# HEALTH

## Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2018 APR 23 PM 12:13

Date Received: \_\_\_\_\_

Permit No.: **B18001297**

Building Address: 15325 Galaxy Dr.  
 City: Woodbine State: MD Zip Code: 21797  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Fairlane Farms  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 7  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: Vacant lot  
 Proposed Use: Single family house  
 Estimated Construction Cost: \$ 230,000  
 Description of Work: New 2 story "longwood" with ELV 'L', 2 car garage, covered porch, and finished lower level (rec room + bathroom)  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: NVR Inc  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: Decatur Building Services  
 Address: PO Box 552  
 City: Woodbine State: MD Zip Code: 21797  
 Phone: 443-309-7792 Fax: \_\_\_\_\_  
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes  
 Contact Person: Clat Cagle  
 Address: 9720 Patuxent Woods Drive  
 City: Columbia State: MD Zip Code: 21046  
 License No.: 56  
 Phone: 410-379-5956 Fax: \_\_\_\_\_  
 Email: ccagle@NVRInc.com

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>47</u> X <u>50</u>	
Area of construction (sq. ft.):	2 <sup>nd</sup> floor: <u>39</u> X <u>50</u>	
Use group:	Basement: <u>47</u> X <u>50</u>	
<b>Construction type:</b>	<input type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> State Certified Modular	No. of efficiency units:	
	No. of 1 BR units:	
	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin  
 Applicant's Signature  
Jim@DecaturbuildingServices.com  
 Email Address  
AGENT NV Homes  
 Title/Company

Jim Kerwin  
 Print Name  
4/23/2018  
 Date

**RECEIVED**  
 APR 23 2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

LICENSES & PERMITS  
 DIVISION

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/3/18</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>177153</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

*DED dont review*  
 (NA) Grading permit Det.



# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: 15325-0210

Building Address: 15325 Galaxy Drive  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Fairlane Farm  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 7  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_  
 Proposed Use: \_\_\_\_\_  
 Estimated Construction Cost: \$ \_\_\_\_\_  
 Description of Work: \_\_\_\_\_  
 \_\_\_\_\_  
 Occupant/Tenant Name: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
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 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: \_\_\_\_\_  
 Contact Person: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 License No.: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
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Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	<b>Depth</b> <b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
Area of construction (sq. ft.):	2 <sup>nd</sup> floor:
Use group:	Basement:
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature \_\_\_\_\_  
 Email Address \_\_\_\_\_  
 Title/Company \_\_\_\_\_

Print Name \_\_\_\_\_  
 Date \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	7/25/18	<i>[Signature]</i>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 11250
Tech Fee	\$ 100
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 11350
Sub- Total Paid	\$
Balance Due	\$
Check	#

Health Dept

15325 Galaxy Drive Lot 7

Fairlane Farms

LONGWOOD

HEALTH DEPT

B18001297



NVR, Inc.
Architectural Services
Architects
5285 Westview Drive, Suite 100
Frederick, MD 21703

Main grid table with columns for 'FULL BASEMENT', 'STD. DWGS.', and 'STANDARD DETAILS'. It lists various construction items and their corresponding drawing numbers.

FIRST FLOOR SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes rows for 1ST FLOOR (BASE SF), 1ST FLOOR ELEV. 'L' OR 'R' (ADD SF), and a total of 1670 SF.

SECOND FLOOR SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes rows for 2ND FLOOR (BASE SF), 2ND FLOOR ELEV. 'L' (ADD. SF), 2ND FLOOR ELEV. 'L' AT OWNERS BEDROOM (ADD. SF), and a total of 1861 SF.

GARAGE SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes a row for GARAGE with a total of 460 SF.

BASEMENT SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes a row for FINISHED BASEMENT with a total of 880 SF.

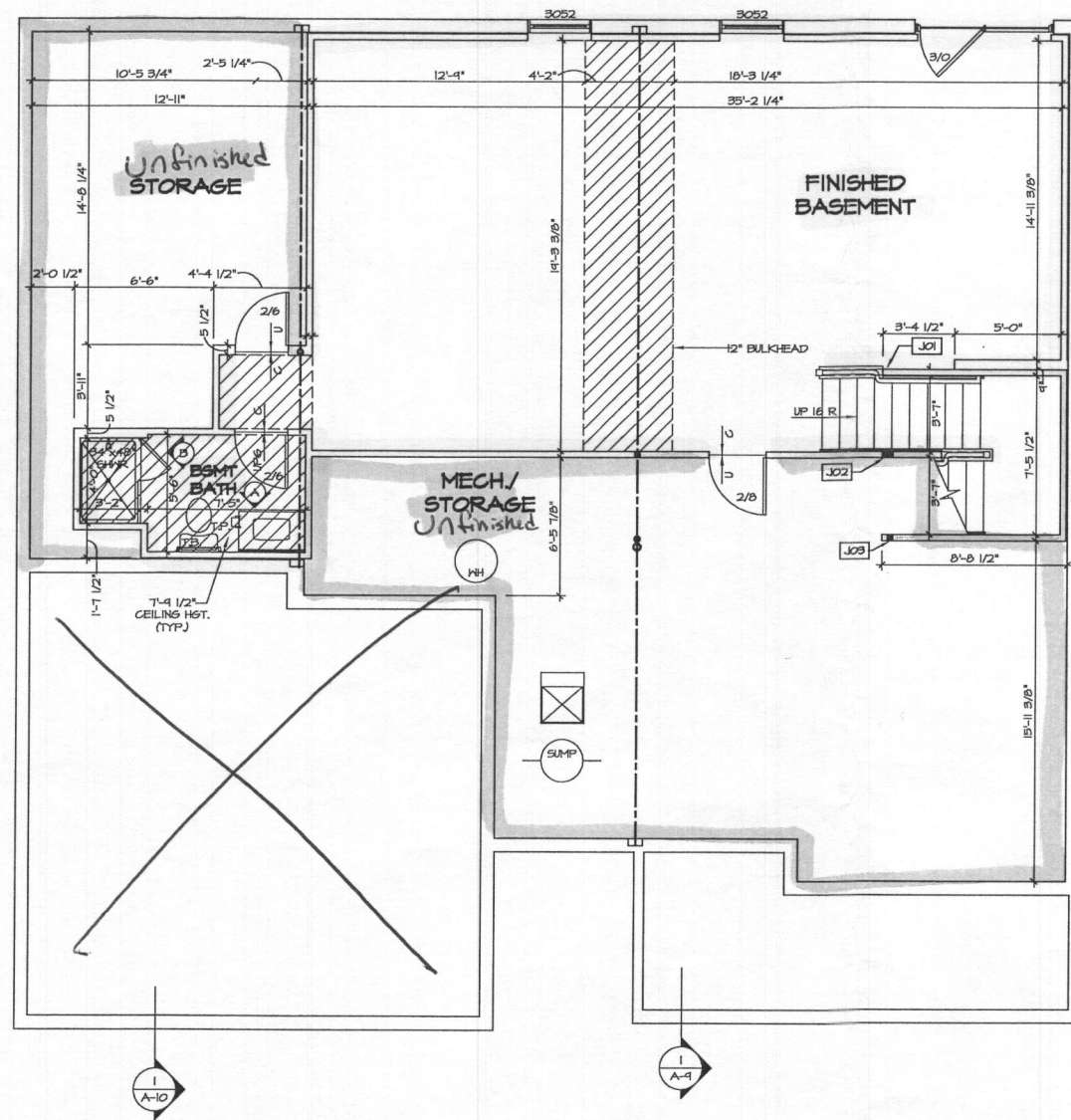
UNFINISHED SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes rows for UNFINISHED BASEMENT STORAGE W/ ELEV. 'L' OR 'R', STORAGE, and MECHANICAL, with a total of 1163 SF.

TOTAL FINISHED SQUARE FOOTAGE table with columns for DESCRIPTION and TOTAL SQ. FT. Includes rows for 1ST FLOOR (BASE SF), 1ST FLOOR ELEV. 'L' OR 'R' (ADD SF), 2ND FLOOR (BASE SF), 2ND FLOOR ELEV. 'L' (ADD. SF), 2ND FLOOR ELEV. 'L' AT OWNERS BEDROOM (ADD. SF), and a total of 3671 SF.

SET - VERSION
14000 - 01

CS-1

Vertical text on the right edge: c:\nvr\soves\LONGWOOD\_14000\_01\ME--FF-000757354\Sheets\Lot Specific\CS-1 COVER SHEET.dwg 04/17/18 -- 2:45 am



**1**  
A-6  
**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED. SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
5. SEE STANDARD DETAIL CATEGORY "I" SHEET(S) FOR INTERIOR TRIM DETAILS.
6. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
7. ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
8. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

**GYPSON NOTES**

**AT GARAGE:**  
5/8" DRYMALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

**AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET

**WITH OPTION "SCI" - DRYMALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYMALL HAS BEEN OMITTED.

**LEGEND**

- BEARING WALL
  - NON BEARING WALL
  - INDICATES BEARING FROM POINT-LOAD ABOVE
  - JACKS
  - BEAM-HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TRUSS
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

**BASEMENT JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
JO1	JACK - (2) 2X4 SFF STUD GRADE	MAC	BO020	
JO2	JACK - (4) 2X4 SFF STUD GRADE	MAC	BO016, BO018	
JO3	JACK - (2) 2X4 SFF STUD GRADE	MAC	BO016	

REMARKS

NVR, Inc., owner, expressly warrants that the drawings and specifications are a true and correct copy of the original drawings and specifications. These drawings and specifications are not to be used for any other project without the written consent of NVR, Inc.



NVR, Inc.  
Architectural Services  
21 Bay Center Plaza  
Frederick, MD 21702

SET NO. 14000  
VERSION 01

DRAWN BY NGB

DATE:

OPTION

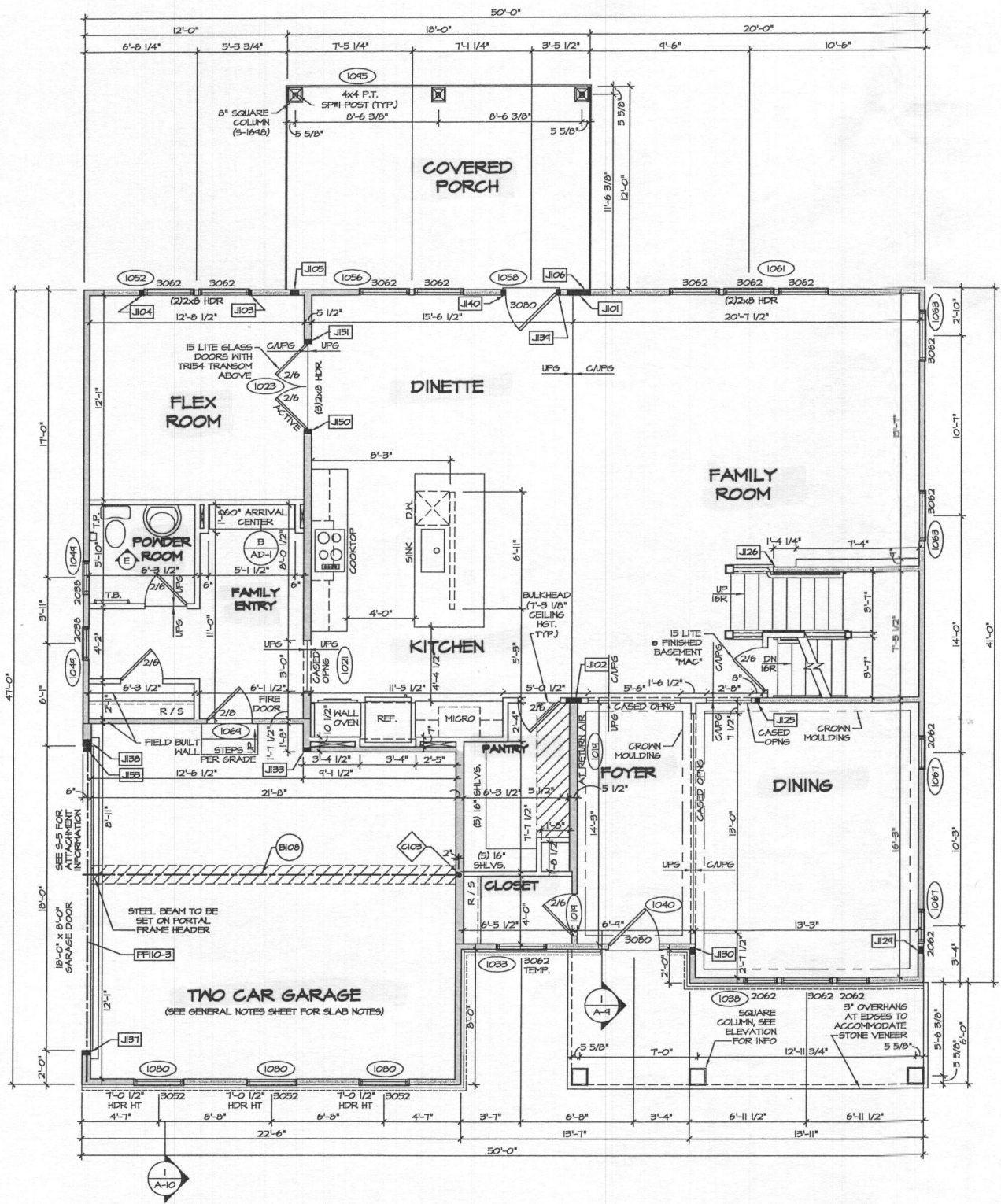
MODEL: LONGWOOD  
DRAWING TITLE: BASEMENT FLOOR PLAN

OPTION DESCRIPTION

SHEET NO. A-6

22

ALL WINDOWS HAVE 8'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
- HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE BRACED WALL PANEL DETAIL SHEET FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

**GYPSUM NOTES**

**AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.

**AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.

**WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA**

**NOTES:**

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- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

- BEARING WALL
  - NON BEARING WALL
  - INDICATES BEARING FROM POINT-LOAD ABOVE
  - JACK
  - BEAM/HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TRUSS
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

**LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)**

- 1A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C.
- 2A - (2) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C.
- 3A - (2) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C.
- 4A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL: FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 5A - (3) PLY 14" TO AND 18" TALL (INCLUSIVE): FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE
- 6A - (3) PLY 20" TALL AND OVER: FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE

**FIRST FLOOR BEAM/HEADER SCHEDULE**

IDENTIFIER	DESCRIPTION	LENGTH	OPTIONS	ENG. NUM.	REMARKS
B101	BEAM STEEL - W10X41	22'-5"	6CC	1071, 1075, 1078	
PF10-3	LVL - 22	20'-2 1/2"	6CC/ZDK	1087, 1089, 1091	PORTAL FRAME - 6.A

**STEEL COLUMN SCHEDULE**

IDENTIFIER	STYLE	HEIGHT	OPTIONS	ENG. NUM.	REMARKS
C103	STANCHION - 3 IN SCHED 40	8'-4 5/8"	6CC	1071, 1075, 1078	

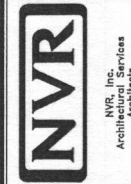
**FIRST FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J101	JACK - (1) 2X4 SFF#		1024	
J102	JACK - (1) 2X4 SFF# STUD GRADE		1024	
J103	JACK - 2X4 SFF# STUD GRADE		1022	
J104	JACK - (2) 2X4 SFF# STUD GRADE		1022	
J105	JACK - (4) 2X4 SFF# STUD GRADE	EPPE	1045	
J106	JACK - (4) 2X4 SFF#	EPE	1045	
J125	JACK - (2) 2X4 SFF# STUD GRADE		1011	
J126	JACK - (2) 2X4 SFF# STUD GRADE		1013	
J124	JACK - (3) 2X4 SFF#	ELL	2008	
J130	JACK - (3) 2X4 SFF#	ELL	2008	
J133	JACK - (2) 2X6 SFF# STUD GRADE	ELB, ELK, ELL, ELR	1011	
J137	JACK - (2) 2X6 SFF# STUD GRADE	6CC	1087, 1089, 1091	
J138	JACK - (3) 2X6 SFF# STUD GRADE	6CC	1087, 1089, 1091	
J134	JACK - (2) 2X4 SFF# STUD GRADE		1026	
J140	JACK - (2) 2X4 SFF# STUD GRADE		1026	
J150	JACK - (2) 2X6 SFF# STUD GRADE	MCF	1023	
J151	JACK - (2) 2X6 SFF# STUD GRADE	MCF	1023	
J153	JACK - (2) 2X6 SFF# STUD GRADE	6CC, ELB, ELK, ELL, ELR	1011	CRIPPLES

REMARKS

REV. NO. DATE

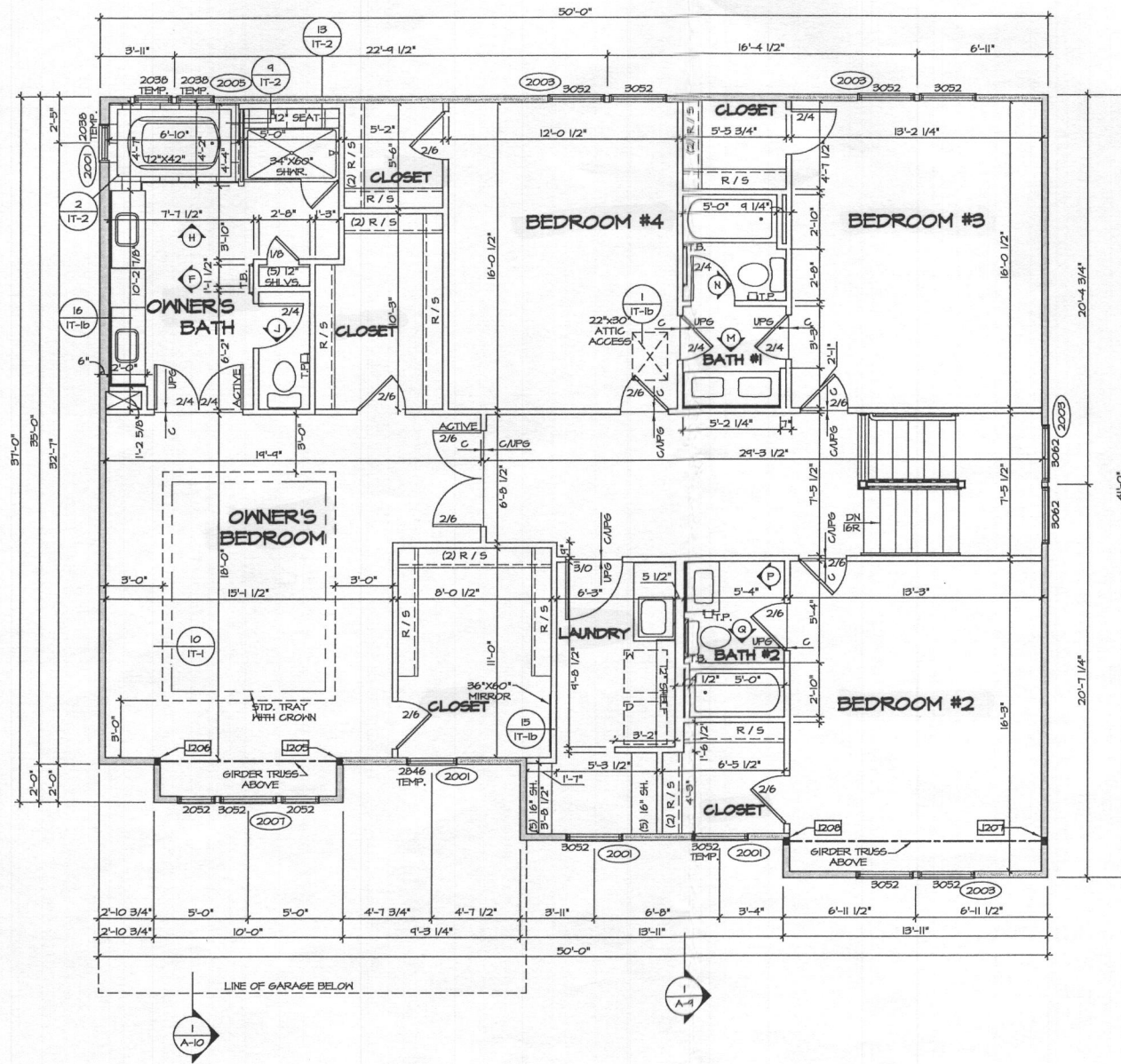
NVR, Inc. owns, expressly reserves its common law copyright in this drawing and all the information contained herein. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of NVR, Inc.



SET NO. 14000  
VERSION C1  
DRAWN BY NSB  
DATE: \_\_\_\_\_  
OPTION \_\_\_\_\_

MODEL: LONGWOOD  
DRAWING TITLE: FIRST FLOOR PLAN  
OPTION DESCRIPTION:

SHEET NO. A-7  
24



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

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2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
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4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5. SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 1'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

**GYPSUM NOTES**

- AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**  
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET

**LEGEND**

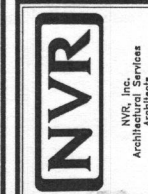
- BEARING WALL
  - - - NON BEARING WALL
  - ⊙ INDICATES BEARING FROM POINT-LOAD ABOVE
  - J JACKS
  - B BEAM/HEADER
  - F PAD FOOTINGS
  - C STEEL COLUMN
  - X PORTAL FRAME
  - X JOIST/TRUSS
  - L L.V.
  - ⊙ ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J205	JACK - (3) 2X4 SFF STUD GRADE	ELL	2008	
J206	JACK - (3) 2X4 SFF STUD GRADE	ELL	2008	
J207	JACK - (3) 2X4 SFF	ELL	2008	EXTEND THRU TOP PLATE
J208	JACK - (3) 2X4 SFF	ELL	2008	EXTEND THRU TOP PLATE

REV. NO. DATE

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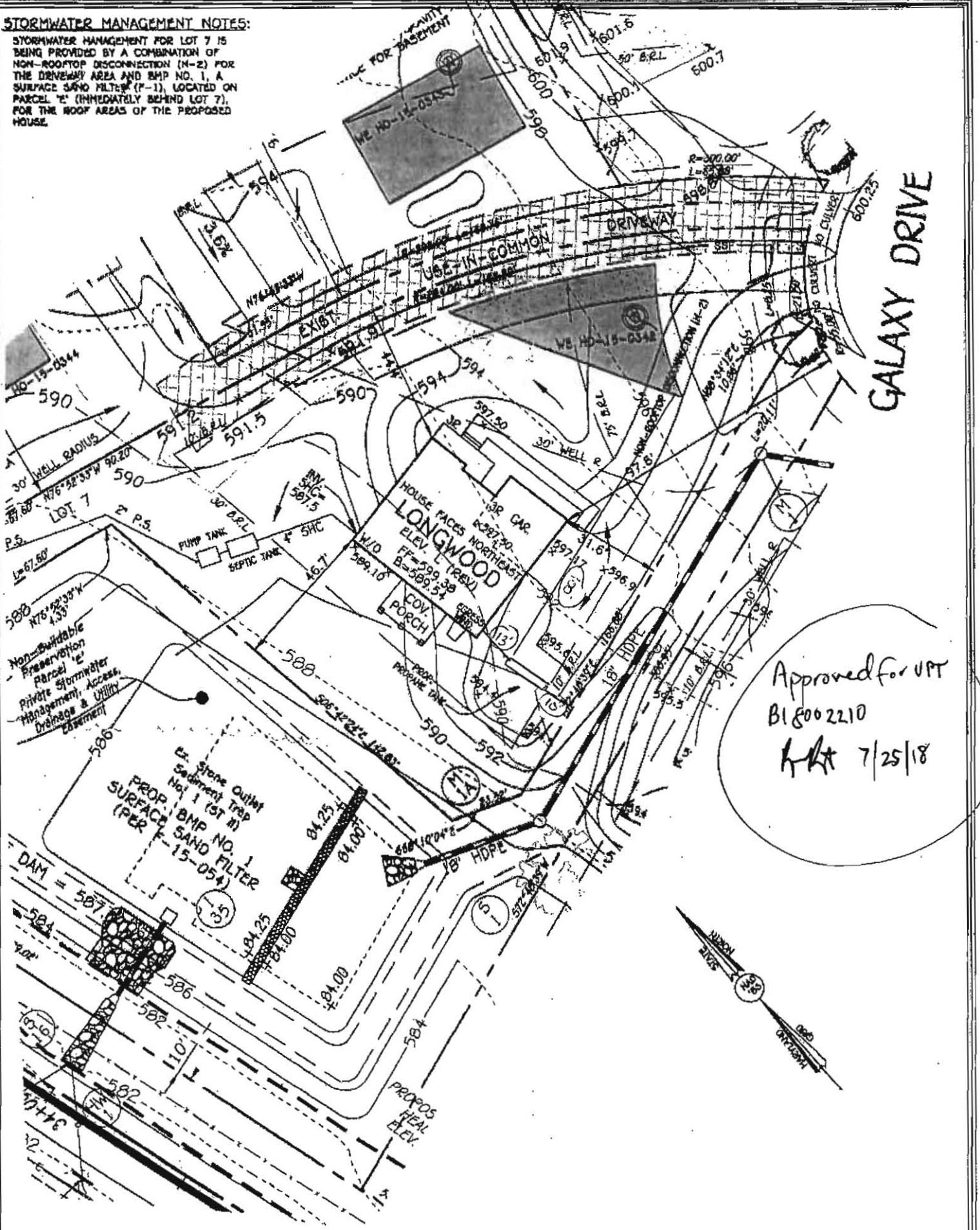
SET NO. 14000  
VERSION 01  
DRAWN BY CAP  
DATE:  
OPTION

MODEL: LONGWOOD  
DRAWING TITLE: SECOND FLOOR PLAN  
OPTION DESCRIPTION

SHEET NO. A-8  
26

**STORMWATER MANAGEMENT NOTES:**

STORMWATER MANAGEMENT FOR LOT 7 IS BEING PROVIDED BY A COMBINATION OF NON-ROOFTOP DISCONNECTION (N-2) FOR THE DRIVEWAY AREA AND BMP NO. 1, A SURFACE SAND FILTER (P-1), LOCATED ON PARCEL 'E' (IMMEDIATELY BEHIND LOT 7), FOR THE ROOF AREAS OF THE PROPOSED HOUSE.



GALAXY DRIVE

Approved for UPT  
 B18002210  
 HCA 7/25/18

**OWNER/DEVELOPER**

WY HOMES  
 9720 PATENT WOODS DRIVE  
 COLUMBIA, MD 21046  
 410-374-9998

NOTE: THE EXISTING WELL SHOWN ON THIS PLAN, HO-15-0342, HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTRAL INQUIRY OFFICE: 10673 BALDWIN NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 441-6895

**PLAN**

SCALE: 1" = 40'

**PERMIT SITE PLAN  
 LOT 7**

15325 GALAXY DRIVE

**FAIRLANE FARMS**

PHASE ONE

ZONED: RC-DBO

TAX MAP NO.: 8 GRID NO.: 2 PARCEL NO.: 8  
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 40' DATE: APRIL 18, 2018

SHEET 1 OF 1

~~B18002210~~

1000 Gal Under C