



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2017 JUL 14 PM 12:5

Date Received: \_\_\_\_\_

Permit No.: **B17002681**

Building Address: **13900 Old Frederick Rd**  
City: **Sykesville** State: **MD** Zip Code: **21784**  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: **GP 17-092**  
Census Tract: \_\_\_\_\_ Subdivision: **Five Hills Farm**  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: **3**  
Tax Map: **9** Parcel: **117** Grid: **7**  
Zoning: **RC-D20** Map Coordinates: \_\_\_\_\_ Lot Size: **3.12Ac**

Existing Use: **VACANT LOT**  
Proposed Use: **New S.F.D.**  
Estimated Construction Cost: \$ **399,000**  
Description of Work: **New 2 Story w/ BSMT, 3 car Garage  
Five BRMS, 3 Full B, 1 Powder RM and  
Fin RecRM and Full Bath in BSMT, DEN**  
Occupant or Tenant: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: **Molly Fredette, & Chris Esposito**  
Address: **13605 Old Frederick Rd**  
City: **West Friendship** State: **MD** Zip Code: **21794**  
Phone: **410 381-2259** Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: **Vicky Meyer**  
Address: **1602 Pinnacle Rd**  
City: **TOWSON** State: **MD** Zip Code: **21286**  
Phone: **410 296-6900** Fax: \_\_\_\_\_  
Email: **MD Bldg Permits @ Comcast.net**

Contractor Company: **JMB HOMES LLC**  
Contact Person: **John Berger**  
Address: **5880 Ten Estates Dr**  
City: **WOODBINE** State: **MD** Zip Code: **21797**  
License No.: **6141**  
Phone: **240-372-3571** Fax: \_\_\_\_\_  
Email: **JMB SMB @ MSN.COM**

Engineer/Architect Company: **FCC**  
Responsible Design Prof.: **STEPHANIE**  
Address: **10272 BATHS NAT'L PK.**  
City: **Columbia** State: **MD** Zip Code: **21042**  
Phone: **410 461-2855** Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling	<input type="checkbox"/> SF Townhouse
No. of stories:	<b>Depth</b>	<b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input checked="" type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Submitted on 7/11/17	
Grading Permit Number: <b>G7000213</b>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: **V. Meyer**  
Md Bldg Permits @ Comcast.net  
Email Address: **agent, JMB HOMES LLC**  
Title/Company: \_\_\_\_\_

Print Name: **Vicky Meyer**  
Date: **7/14/2017**

**RECEIVED**  
JUL 14 2017  
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<b>8/24/17</b>	<b>[Signature]</b>

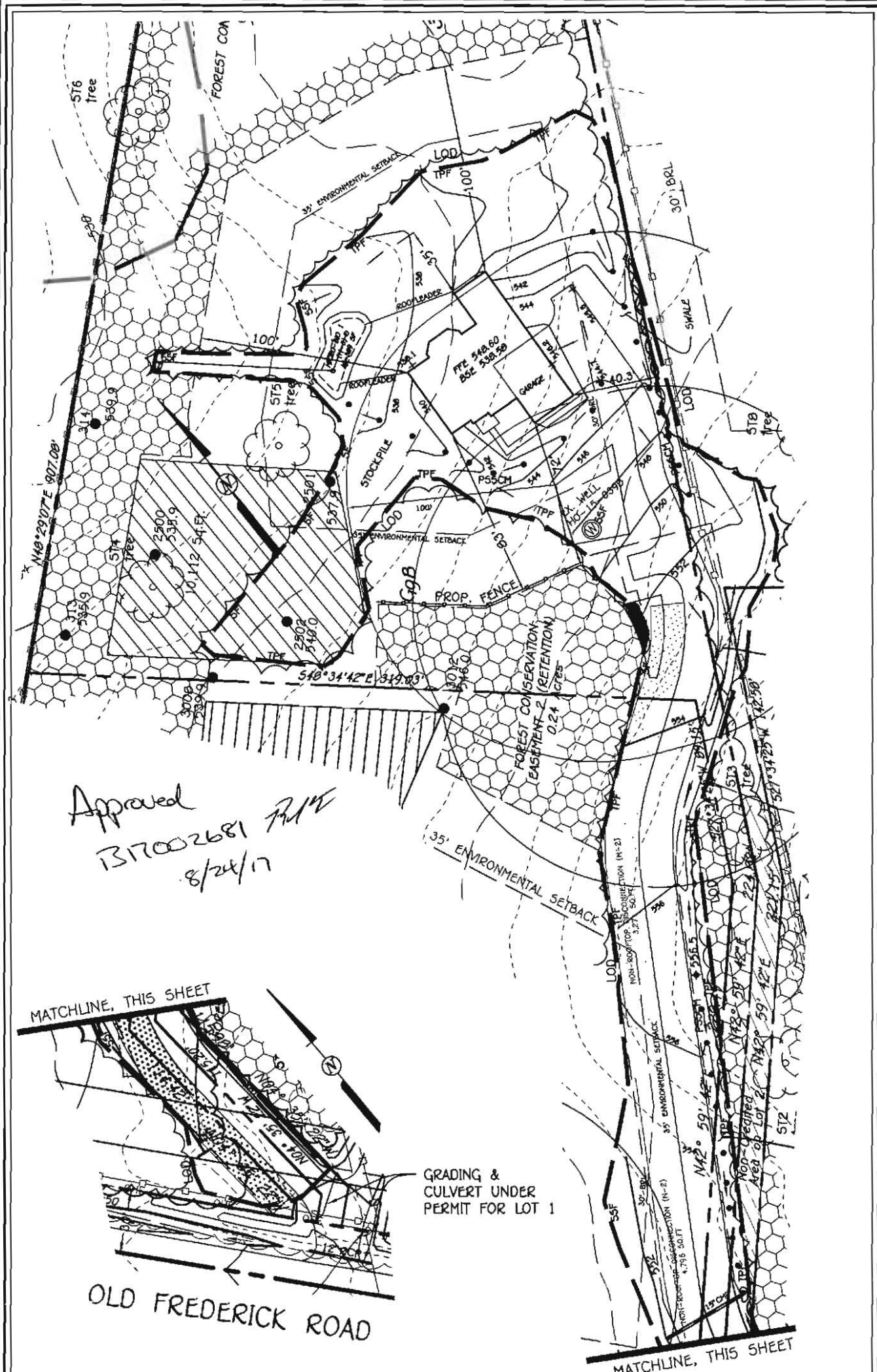
Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

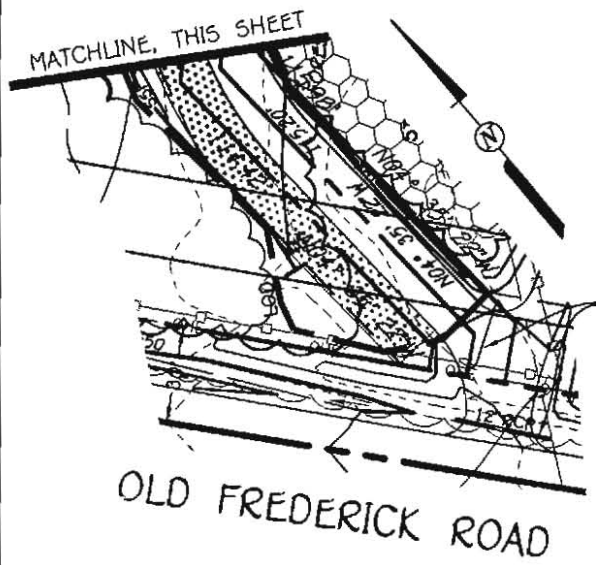
Filing Fee	\$ <b>100</b>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <b>50</b>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <b>1304</b>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

(MINU fees)



Approved  
 137002681 R/W  
 8/24/17



GRADING &  
 CULVERT UNDER  
 PERMIT FOR LOT 1

PERMIT PLAN  
**FIVE HILLS FARM, LOT 3**

13900 OLD FREDERICK ROAD

ZONED RC-DEO  
 TAX MAP No. 9 GRID No. 7 PARCEL No. 117  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1"=60' DATE: JUNE, 2017

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461 - 2855



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

DILP 2018 FEB 12 PM 1:18

Date Received: \_\_\_\_\_

Permit No.: **818000456**

Building Address: 13900 Old Frederick Rd  
 City: Sykesville State: MD Zip Code: 21784  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivisions: Greethillsfan  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 3  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 3AC

Existing Use: SFD  
 Proposed Use: SFD W/TANK  
 Estimated Construction Cost: \$ 4000  
 Description of Work:  
INSTALL A 1000 GAL underground PROPANE TANK

Occupant/Tenant Name: OWNER  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Christopher Esposito  
 Address: 13900 Old Frederick Rd  
 City: Sykesville State: MD Zip Code: 21784  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: APPLIED & APPROVED PERMITS  
 Address: PO BOX 310  
 City: PERRY HALL State: MD Zip Code: 21128  
 Phone: 443-610-7514 Fax: \_\_\_\_\_  
 Email: MICHELLE@APPLIEDANDAPPROVED.COM

Contractor Company: TEVIS OIL  
 Contact Person: C NEVIN HAINES  
 Address: 1618 N MAIN STREET  
 City: HAMPSTEAD State: MD Zip Code: 21074  
 License No.: 468  
 Phone: 410-984-0399 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: CONTRACTOR  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<b>Depth</b>	<b>Width</b>
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
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Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
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<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

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MICHELLE CLANCY  
 Applicant's Signature  
 MICHELLE@APPLIEDANDAPPROVED.COM  
 Email Address  
 PERMITS  
 Title/Company

**RECEIVED**  
 FEB 12 2018  
 LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/22/18</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

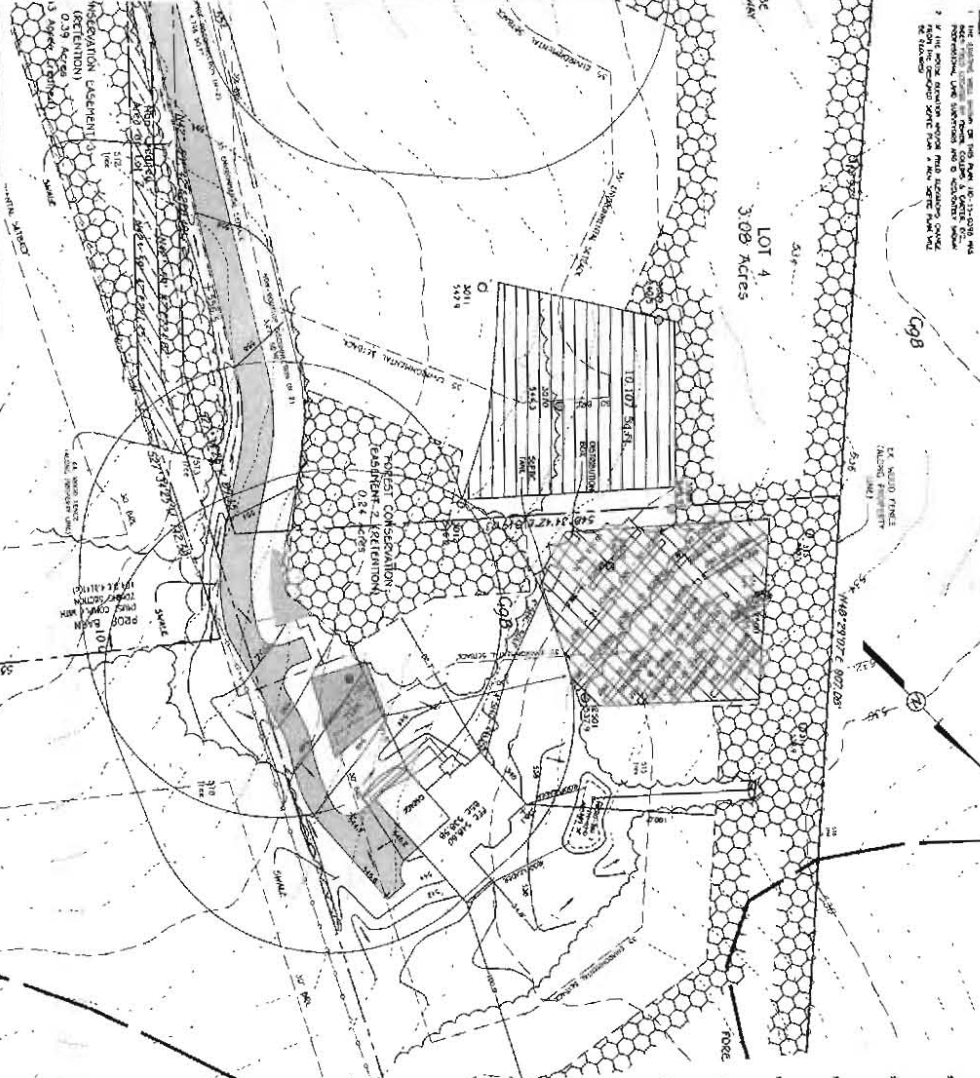
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Rear:	
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Side St.:	
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Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>110.00</u>
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>6516</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

**GENERAL NOTES:**

1. THIS PLAN IS TO BE LOCATED OR SETTING IN ANY COMMUNITY DEVELOPMENT PROJECT IN THE COUNTY OF HOWARD COUNTY, MARYLAND.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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9. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
10. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

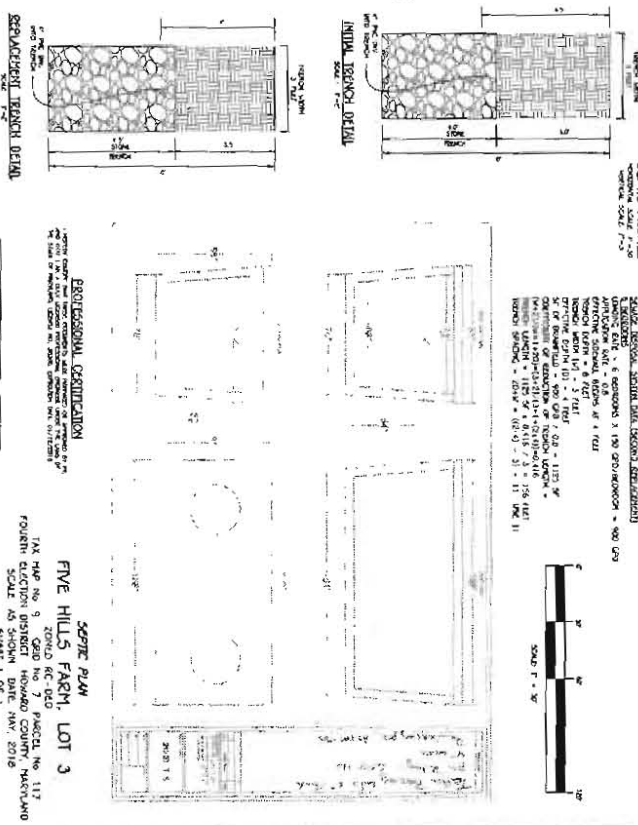
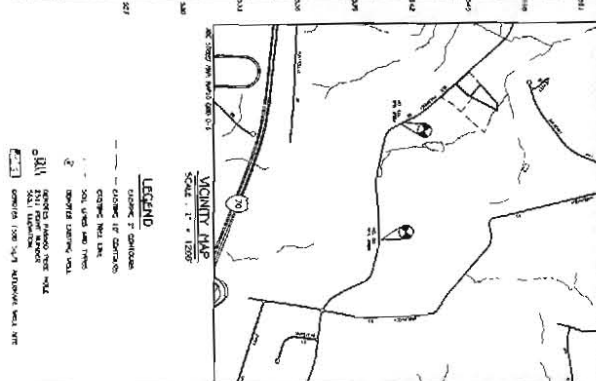
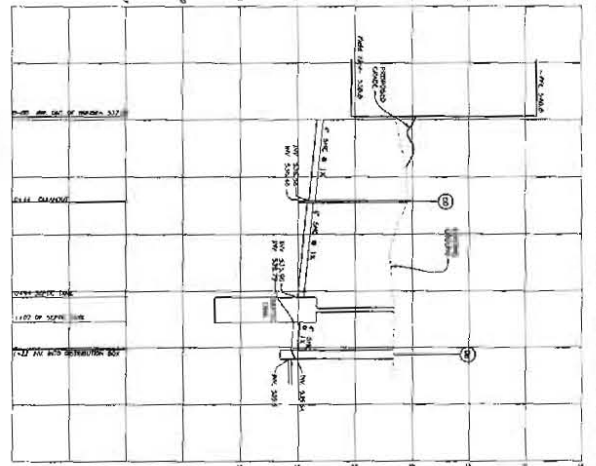


**SOILS LEGEND**

Symbol	Soil Type	Area (sq. ft.)
1	CLAY	10,000
2	SAND	5,000
3	SILT	15,000
4	GRAVEL	20,000
5	ROCK	30,000

**TECHNICAL DESIGN**

Item	Quantity	Unit	Notes
1	1	sq. ft.	Foundation
2	1	sq. ft.	Foundation
3	1	sq. ft.	Foundation
4	1	sq. ft.	Foundation
5	1	sq. ft.	Foundation
6	1	sq. ft.	Foundation
7	1	sq. ft.	Foundation
8	1	sq. ft.	Foundation
9	1	sq. ft.	Foundation
10	1	sq. ft.	Foundation



**PROFESSIONAL CERTIFICATION**

**FIVE HILLS FARM LOT 3**

TAX MAP No. 9 Q88 No. 7 PAREL No. 117

FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE AS SHOWN DATE NOV. 2016

SHEET 1 OF 1

## Williams, Jeffrey

---

**From:** Collins, Sarah  
**Sent:** Friday, May 25, 2018 3:22 PM  
**To:** Williams, Jeffrey  
**Cc:** Freemon, Robert  
**Subject:** Fwd: Five Hills Farm, Lot 3 - Old Frederick Road  
**Attachments:** image001.jpg; ATT00001.htm; Stephanie Tuite.vcf; ATT00002.htm; Five Hills Farm Lot 3 Draft Septic Plan 052518.pdf; ATT00003.htm

Hi Jeff,

Spencer is out of the office next week and it looks like Stephanie wants to meet on Tuesday. I can fill you in on the previous revisions.. but from looking at this briefly it looks similar to her previous proposal, which couldn't make a 5' inlet at the top trench.

Thanks,  
Sarah

Sarah Collins, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
8930 Stanford Blvd.  
Columbia, MD 21045  
[SCollins@howardcountymd.gov](mailto:SCollins@howardcountymd.gov)  
410-313-6287

### CONFIDENTIALITY NOTICE

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Begin forwarded message:

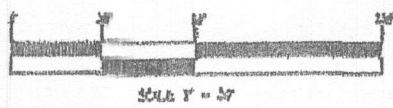
**From:** Stephanie Tuite <[Stephanie@fcc-eng.com](mailto:Stephanie@fcc-eng.com)>  
**Date:** May 25, 2018 at 2:47:24 PM EDT  
**To:** "Collins, Sarah" <[SCollins@howardcountymd.gov](mailto:SCollins@howardcountymd.gov)>, "Freemon, Robert" <[rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)>  
**Cc:** John Berger <[jberger@jmbhomes.com](mailto:jberger@jmbhomes.com)>  
**Subject:** Five Hills Farm, Lot 3 - Old Frederick Road

Is it worth having one of our field crews to go out and locate what has been installed (tank and such) or can I assume the distances from the attached memo are pretty close and the tank and distribution box were installed in the locations I am showing on the plans?

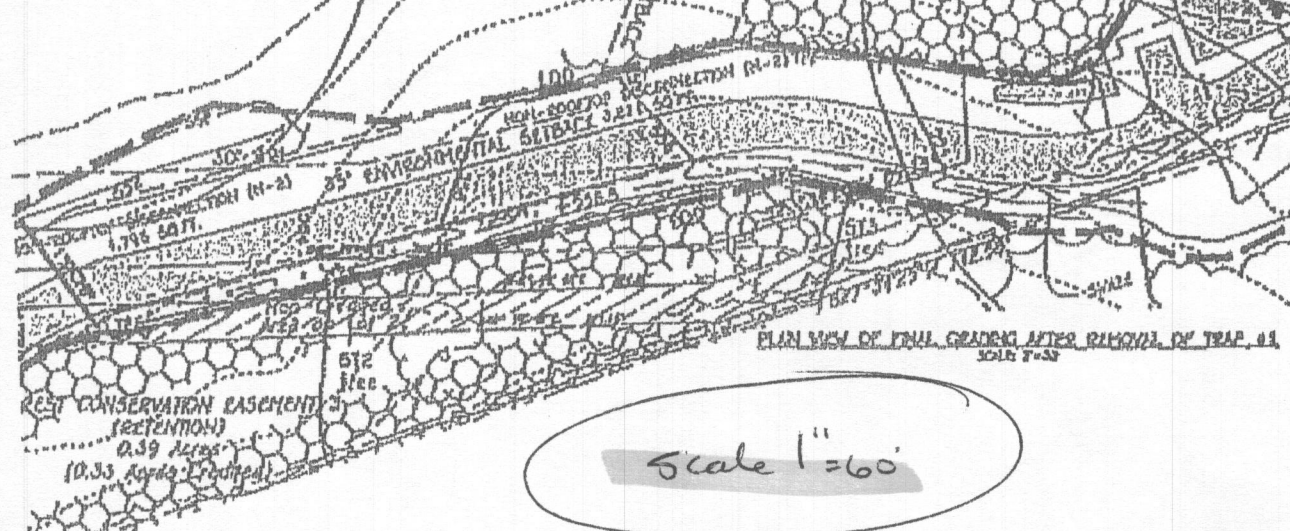
I have managed to modify the trench layout to change everything by about a foot. See attached.

If need be, I can come down Tuesday to discuss to see if this could be an acceptable alternative to a pump tank. See attached.





OLD FREDERICK ROAD  
50' WIDE  
HARD COLLECTOR  
SIDEWALK

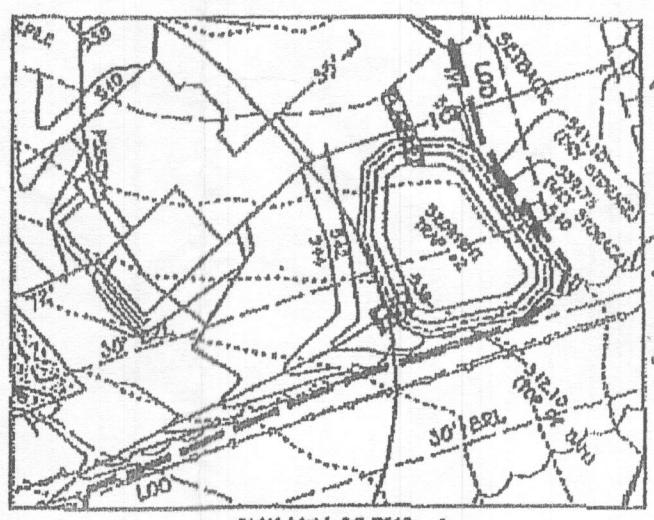


Scale 1" = 60'  
13900 Old Frederick Rd

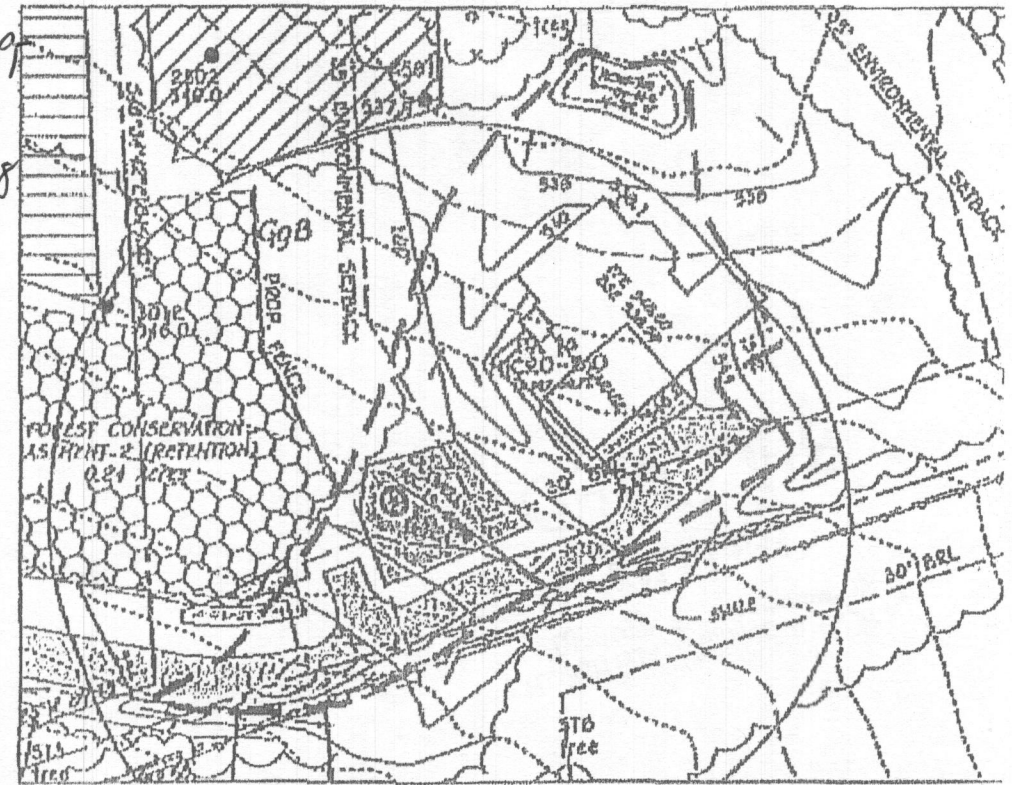
**SOILS LEGEND**

Soil	Symbol	Depth	% FACTOR
Clay	(Symbol)	0 to 8 percent clay	0.25
Clay	(Symbol)	0 to 18 percent clay	0.50
Clay	(Symbol)	0 to 35 percent clay	0.75

**STORM DRAIN SEDIMENT TRAP #2**  
 TRAP SIZE = 10' x 10'  
 TRAP WALLS = 12" x 12" CONCRETE  
 TRAP FLOOR = 12" x 12" CONCRETE  
 TRAP INLET = 18" x 18" CONCRETE  
 TRAP OUTLET = 18" x 18" CONCRETE  
 TRAP DEPTH = 4' 0"  
 TRAP COVER = 12" x 12" CONCRETE  
 TRAP PROTECTED DEPTH = 16' 0"  
 TRAP INLET PROTECTED DEPTH = 16' 0"



PLAN VIEW OF TRAP #1  
SCALE 1" = 30'



PLAN VIEW OF GRADING AND SEDIMENT CONTROL  
SCALE 1" = 30'

Approved for OP  
B18000456  
R/L 2/22/8

PROPOSED 1000 GAL TRAP (10' OFF FENCE)

**OWNER / DEVELOPER**  
 Joe B. Sorensen III  
 P.O. Box 1173  
 Washington, DC 20004  
 202-371-2344

This development plan is approved for soil erosion and sediment control by the Howard County Conservation District.

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these calculations were prepared and approved by me for the purpose of this plan. I am a duly licensed Professional Engineer in the State of Maryland.

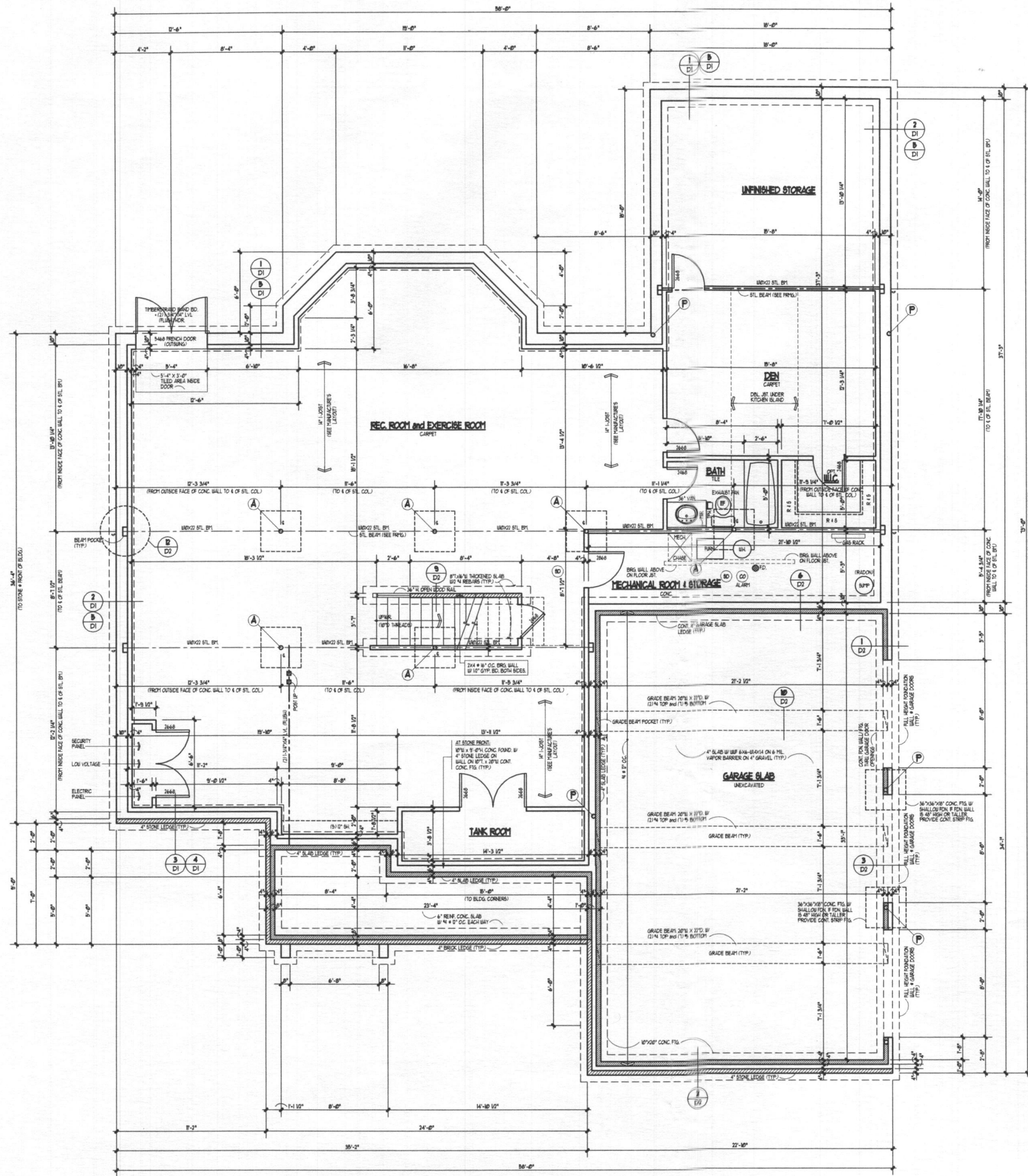


**ENGINEER'S CERTIFICATE**  
 I certify that this plan for sediment and erosion control represents a practical and suitable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Standard Soil Conservation District.

**DEVELOPER'S CERTIFICATE**  
 I hereby certify that all construction and maintenance of this site for sediment and erosion control shall be in accordance with the Standard Soil Conservation District's plan and that I am responsible for the construction and maintenance of this site in accordance with the requirements of the Standard Soil Conservation District's plan.

**GRADING & SEDIMENT AND EROSION CONTROL**  
**FIVE HILLS FARM, LOT 3**  
 13900 OLD FREDERICK ROAD  
 ZONED RC-DEO  
 TAX MAP No. 9 GRID No. 7 PARCEL No. 167  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: JUNE, 2017  
 SHEET 2 OF 3





**FOUNDATION and BASEMENT PLAN**  
 2241 SQ. FT. SCALE: 1/4" = 1'-0"

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 CSE Design, Inc. EXPLICITLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CSE Design, Inc.

- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. CSE DESIGN, INC. MAY NOT BE HELD RESPONSIBLE FOR THE SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
- THE OWNER AND BUILDER AGREE TO HOLD THE AUTHOR OF THESE DRAWINGS HARMLESS FOR ANY AND ALL ERRORS, OMISSIONS OR OTHER PROBLEMS ARISING FROM THE USE OF THESE PLANS.
- THESE DRAWINGS ARE ABSTRACTED AND ARE NOT INTENDED TO SPECIFY ALL STRUCTURAL DETAILS, MATERIAL SIZES OR CONDITIONS NECESSARY FOR CONSTRUCTION. THE BUILDER AND/OR THE OWNER WILL MAKE ANY AND ALL DECISIONS AND SELECTIONS NECESSARY FOR CONSTRUCTION.
- EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DEPTH WITH LOCAL ENGINEER.
- VERIFY ALL STRUCTURAL ELEMENTS FOR DESIGN AND SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.
- BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW FROST-LINE VERIFY DEPTH.
- ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE APPLICABLE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS (FEDERAL, STATE AND LOCAL).

**PLAN AND FRAMING NOTES:**  
 1. REFER TO SHEET A-0 FOR ADDITIONAL CODE COMPLIANCE INFORMATION NOT SHOWN ON THIS SHEET. THE NOTES ON SHEET A-0 ARE APPLICABLE TO THIS SHEET IN CONJUNCTION WITH THESE DRAWINGS TO ENSURE CODE COMPLIANCE.

- (A) 3-1/2" STRL. STEEL PIPE COLUMN (SCHEDULE 40) MAX. BUDDOP LOAD - 30'X38'X8" CONC. FIG.
- (P) 3-1/2" STRL. STEEL PIPE COLUMN (SCHEDULE 40) MAX. BUDDOP LOAD - HELD SOIL BEAM TO POST - ANCHOR POST BASE TO CONC. W/ (2) 1/2" CONC. EXP. BOLTS.

**ALL FOOTINGS DESIGNED FOR 2000 PSF MINIMUM SOIL BEARING.**

**NOTE:**  
 ALL FOUNDATIONS HAVE BEEN DESIGNED FOR A MINIMUM 2000 PSF SOIL BEARING VALUE. THE BUILDER IS RESPONSIBLE FOR VERIFYING THAT THE SOIL AT THE SITE CAN PROVIDE A MINIMUM BEARING CAPACITY OF 2000 PSF. IF IT IS FOUND THAT THE SOIL CANNOT PROVIDE THIS VALUE, THE BUILDER MUST CONTACT THE ARCHITECT SO THAT THE FOOTINGS CAN BE RE-DESIGNED FOR THE LOWER SOIL BEARING VALUE THAT HAS BEEN DETERMINED BY THE SITE INSPECTION. PLEASE PROVIDE TO THE ARCHITECT THE LOWER SOIL BEARING VALUE TO BE USED FOR THE FOOTING RE-DESIGN.

Date: April 9, 2011

Revisions:

JMB Homes

The Esposito-Fredette Residence

Sheet Title: Foundation & Basement Plan

CSE Designs, Inc.  
 7371 Atlas Walk Way,  
 Suite 110,  
 Gainesville, Virginia 20155  
 Ph: 703-969-2878  
 Fax: 703-754-9317

CSE

Scale:

Drawing No. A-1

April 9, 2017

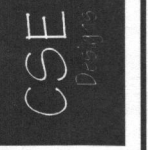
Revisions

JMB Homes  
The Esposito-Fredette Residence

Sheet Title

First Floor Plan

CSE Designs, Inc.  
7371 Atlas Walk Way,  
Suite 110,  
Gainesville, Virginia 20155  
Ph: 703-968-2576  
Fax: 703-754-9317



Scale

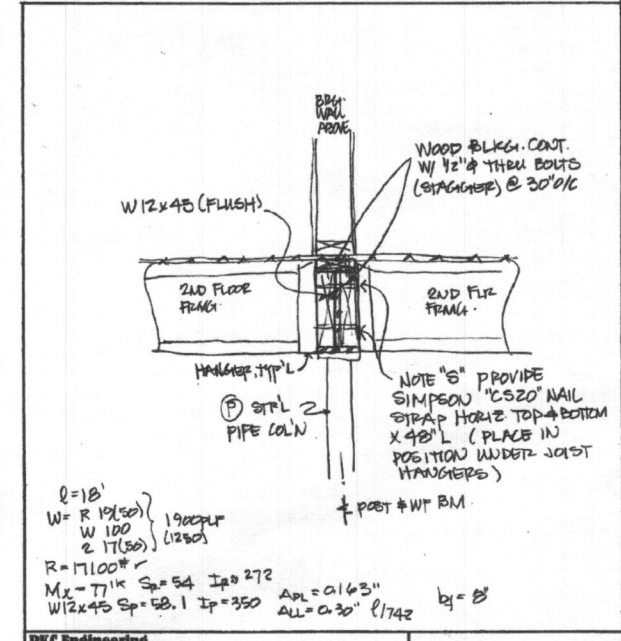
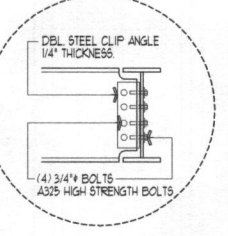
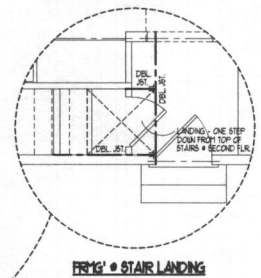
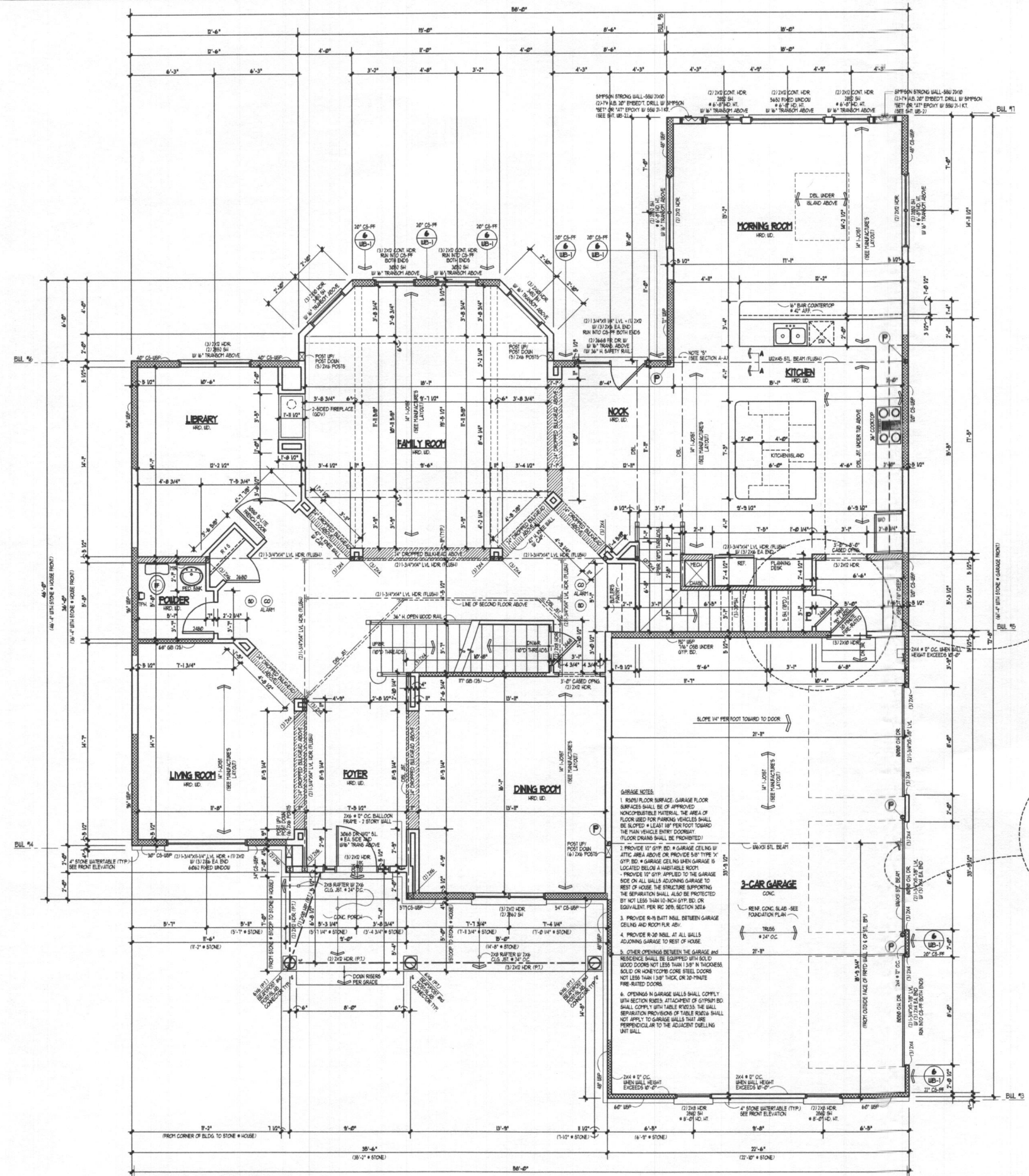
Drawing No.

A-2

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- VERIFY ALL STRUCTURAL ELEMENTS FOR DESIGN AND SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.
- VERIFY DEPTH.
- ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE APPLICABLE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS (FEDERAL, STATE AND LOCAL).

PLAN AND FRAMING NOTES:  
REFERENTS PLEASE SEE ALL PLAN AND FRAMING NOTES ON SHEET A-0 FOR ADDITIONAL CODE COMPLIANCE INFORMATION NOT SHOWN ON THIS SHEET. THE NOTES ON SHEET A-0 AS APPLICABLE MUST BE USED IN CONNECTION WITH THESE DRAWINGS TO ENSURE CODE COMPLIANCE.

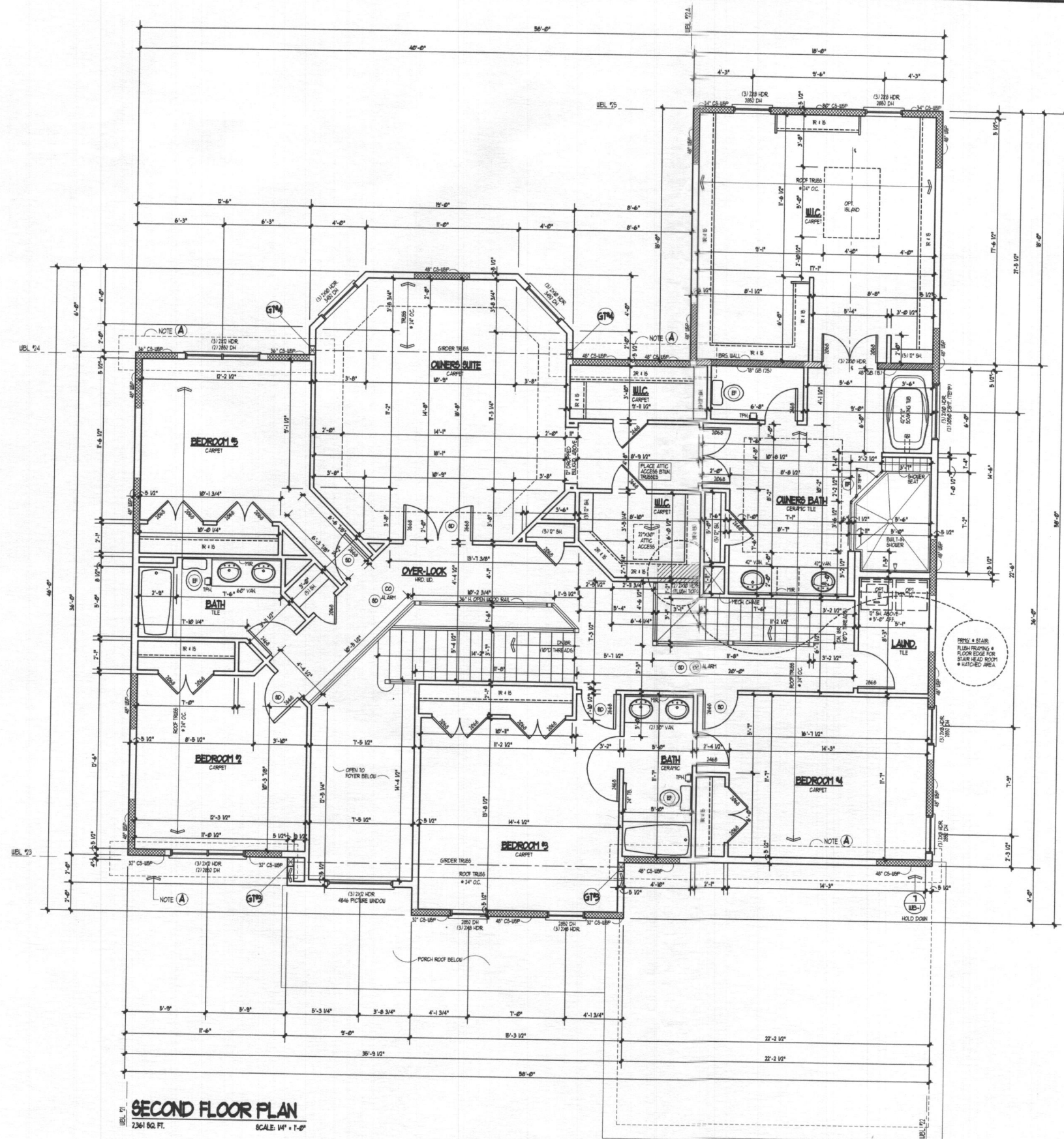


$R=18'$   
 $W=R 19(50) \left\{ \begin{array}{l} 19(200) \\ W 100 \\ 2 17(50) \end{array} \right\} 12(50)$   
 $R=11(00) \#$   
 $M_x=711k \quad S_x=54 \quad I_x=272 \quad A_{FL}=0.163" \quad b_f=8"$   
 $W12x45 \quad S_x=58.1 \quad I_x=350 \quad A_{FL}=0.30" \quad l_f=742$

**RKC Engineering**  
 P.O. BOX 1065, GAINESVILLE, VA 20156 - 703-753-9207  
 Job Name: JMB  
 Job Title: SECTION A-A  
 Date: 3/2017  
 Computed: RMF  
 Page: of

SECTION A-A  
(FLUSH BEAM IN KITCHEN / MORNING ROOM) SCALE: N/A

FIRST FLOOR PLAN  
2241 SQ. FT. (Garage 161 SQ. FT.) SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
2361 SQ. FT. SCALE: 1/4" = 1'-0"

- GT1 (3) 2x4 STUDS (SFF 2) W/ 6YP TOP SILL PLATES SIMPSON "TBE4" BOTH SIDES AND "LGT3" HOLD DOWN
- GT2 (4) 2x6 STUDS (SFF 2) AND "LGT3" HOLD DOWN

NOTE (A)  
SIMPSON 150P SILL PLATE TO STUD CONNECTOR STARTING BOTH CORNERS PLACE 3 CONNECTORS # 3" O.C. BALANCE BRACE # 48" O.C. (PLACE ONLY ON CONTINUOUS STUDS THAT EXTEND FROM 2nd FLOOR PLATE TO DOUBLE TOP PLATE)

- GT3 (6) 2x4 STUDS (SFF 2) W/ 6YP TOP SILL PLATES SIMPSON "TBE4" BOTH SIDES AND "LGT4" HOLD DOWN
- GT4 (5) 2x6 STUDS (SFF 2) AND "LGT4" HOLD DOWN

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5. VERIFY ALL STRUCTURAL ELEMENTS FOR DESIGN AND SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.
6. BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW FROST LINE. VERIFY DEPTH.

1. ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE APPLICABLE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS (FEDERAL, STATE AND LOCAL).

**PLANS AND FRAPING NOTES:**  
REFERENCED: PLEASE SEE ALL PLAN AND FRAPING NOTES ON SHEET A-0 FOR ADDITIONAL CODE COMPLIANCE INFORMATION NOT SHOWN ON THIS SHEET. THE NOTES ON SHEET A-0 ARE APPLICABLE AND MUST BE USED IN CONJUNCTION WITH THESE DRAWINGS TO ENSURE CODE COMPLIANCE.

UP/LIFT LOAD (NOT TO EXCEED)	FASTENER (SIMPSON OR EQUAL)		
	ITEM #	TO RAFTERS/ TRUSS	TO PLATES/ STUDS
100 LBS.		2 - 16d TOE NAILS - PER CODE	
340 LBS.	H25	5 - 8d	5 - 8d
640 LBS.	(2) H25	10 - 8d	10 - 8d
800 LBS.	H150	1 - 10d	1 - 10d
1250 LBS.	(2) L150	0 - 10d	0 - 10d
1484 LBS.	(2) H40	16 - 8d X 1-1/2	16 - 8d X 1-1/2
1640 LBS.	(2) H150	TO WALL FRAPING	TO TRUSS
		4 - 10d	4 - 10d
<b>GRIDER TRUSS</b>			
1305 LBS.	LGT7 (3-PLY)	16 - 16d	4 - 16d
2455 LBS.	LGT3 (3-PLY)	0 - 80d 1/2"	26 - 16d
2505 LBS.	LGT4 (4-PLY)	0 - 80d 1/2"	38 - 16d
USE 16d SPINNERS			
* LOADS MODIFIED FOR SPRUCE PINE FRAPING MATERIAL			

Date: **April 9, 2011**

Revisions:

Product Name: **The Esposito-Fredette Residence**

Sheet Title: **Second Floor Plan**

CSE Designs, Inc.  
7571 Atlane Walk Way,  
Suite 110,  
Surreyville, Virginia 20155  
PH: 703-969-2378  
FAX: 703-754-9317

**CSE** Design, Inc.

Drawing No.: **A-3**

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- ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE APPLICABLE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS (FEDERAL, STATE AND LOCAL).

**PLAN AND FRAMING NOTES**  
 (REFERENCED) PLEASE SEE ALL PLAN AND FRAMING NOTES ON SHEET A-0 FOR ADDITIONAL CODE COMPLIANCE INFORMATION NOT SHOWN ON THIS SHEET. THE NOTES ON SHEET A-0 ARE APPLICABLE AND BE USED IN CONJUNCTION WITH THESE DRAWINGS TO ENSURE CODE COMPLIANCE.

Date  
 April 3, 2017

Revisions


Product Name  
**JMB Homes**  
**The Esposito-Fredette Residence**

Sheet Title  
**Front Elevation**

CSE Designs, Inc.  
 7377 Atlee Walk Way,  
 Suite 110,  
 Gainesville, Virginia, 20155  
 Ph: 703-968-2878  
 Fax: 703-754-8517



Scale  
 Drawing No.

**A-4**



**FRONT ELEVATION**  
 (STONE WATERTABLE and SIDING) SCALE: 1/4" = 1'-0"

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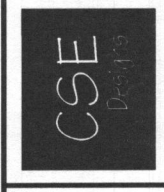
Date  
**April 9, 2011**

Revisions


Product Name  
**JMB Homes**  
**The Esposito-Fredette Residence**

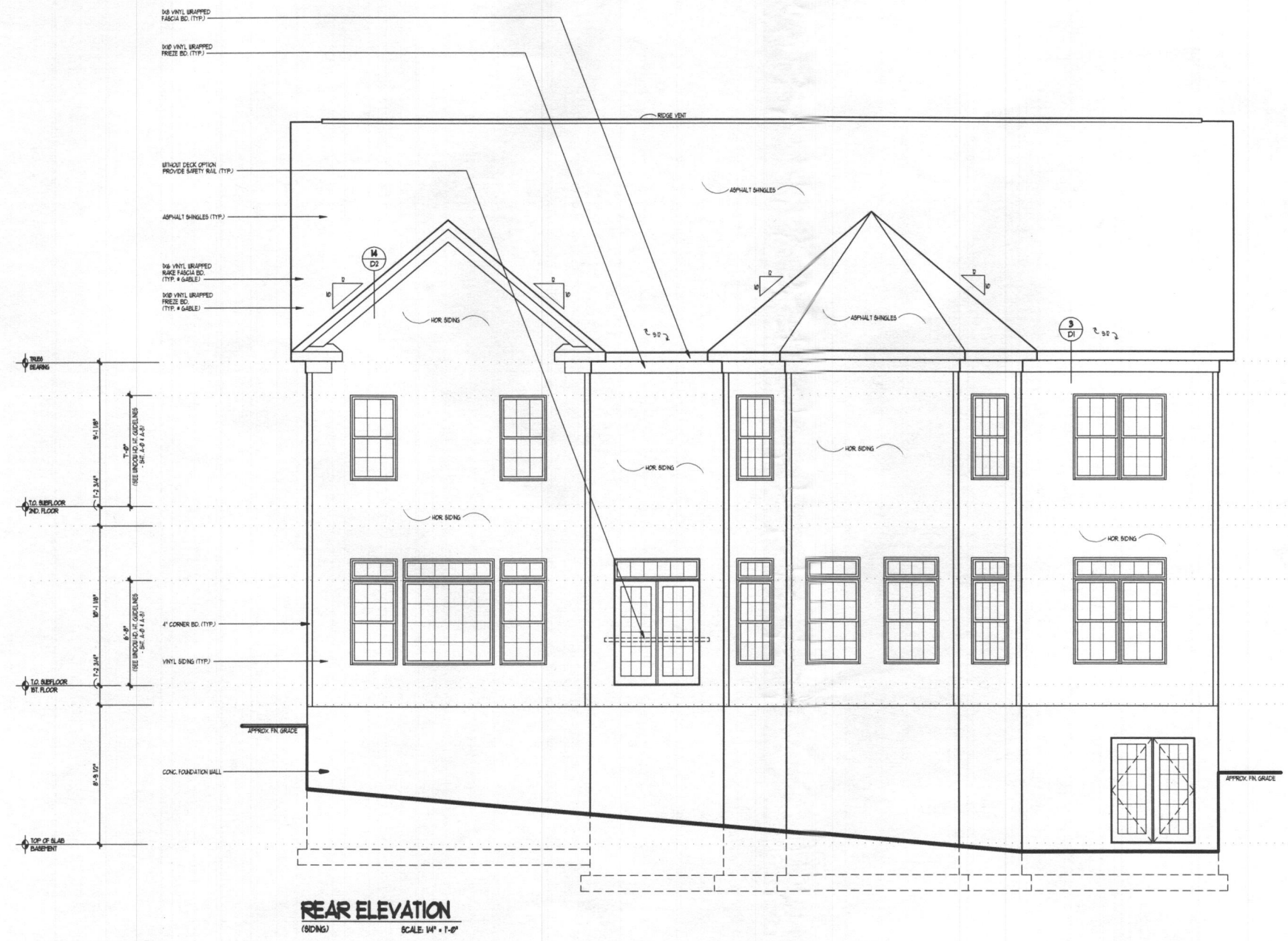
Sheet Title  
**Rear Elevation**

CSE Designs, Inc.  
 7071 Azalea Walk Way,  
 Suite 110,  
 Gainesville, Virginia 20155  
 Ph: 703-669-2876  
 Fax: 703-754-9317



Scale

Drawing No.  
**A-5**



**REAR ELEVATION**  
 (SIDING) SCALE: 1/4" = 1'-0"

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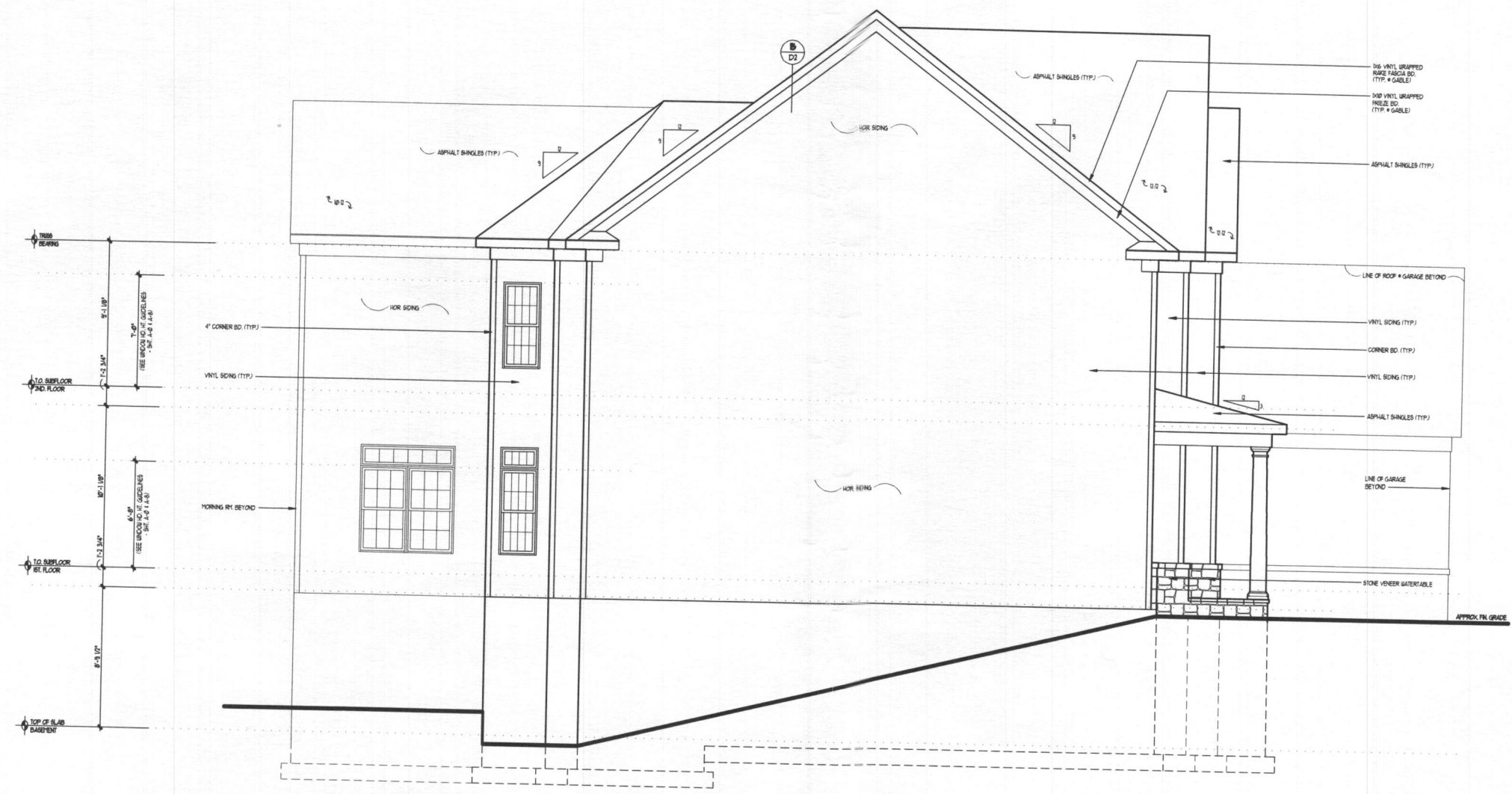
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Date  
**April 3, 2011**

Revisions

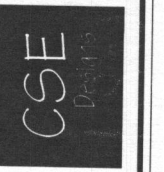

Product Name  
**JMB Homes**  
**The Esposito-Fredette Residence**



**LEFT SIDE ELEVATION**  
 (SICING) SCALE: 1/4" = 1'-0"

Sheet Title  
**Left Side Elevation**

CSE Designs, Inc.  
 7371 Arden Walk Way,  
 Suite 110  
 Gainesville, Virginia 20155  
 Ph: 703-969-2878  
 Fax: 703-754-9317



Seal

Drawing No.  
**A-6**

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Date  
**April 9, 2017**

Revisions


Product Name  
**JMB Homes**  
**The Esposito-Fredette Residence**

Sheet Title  
**Right Side Elevation**

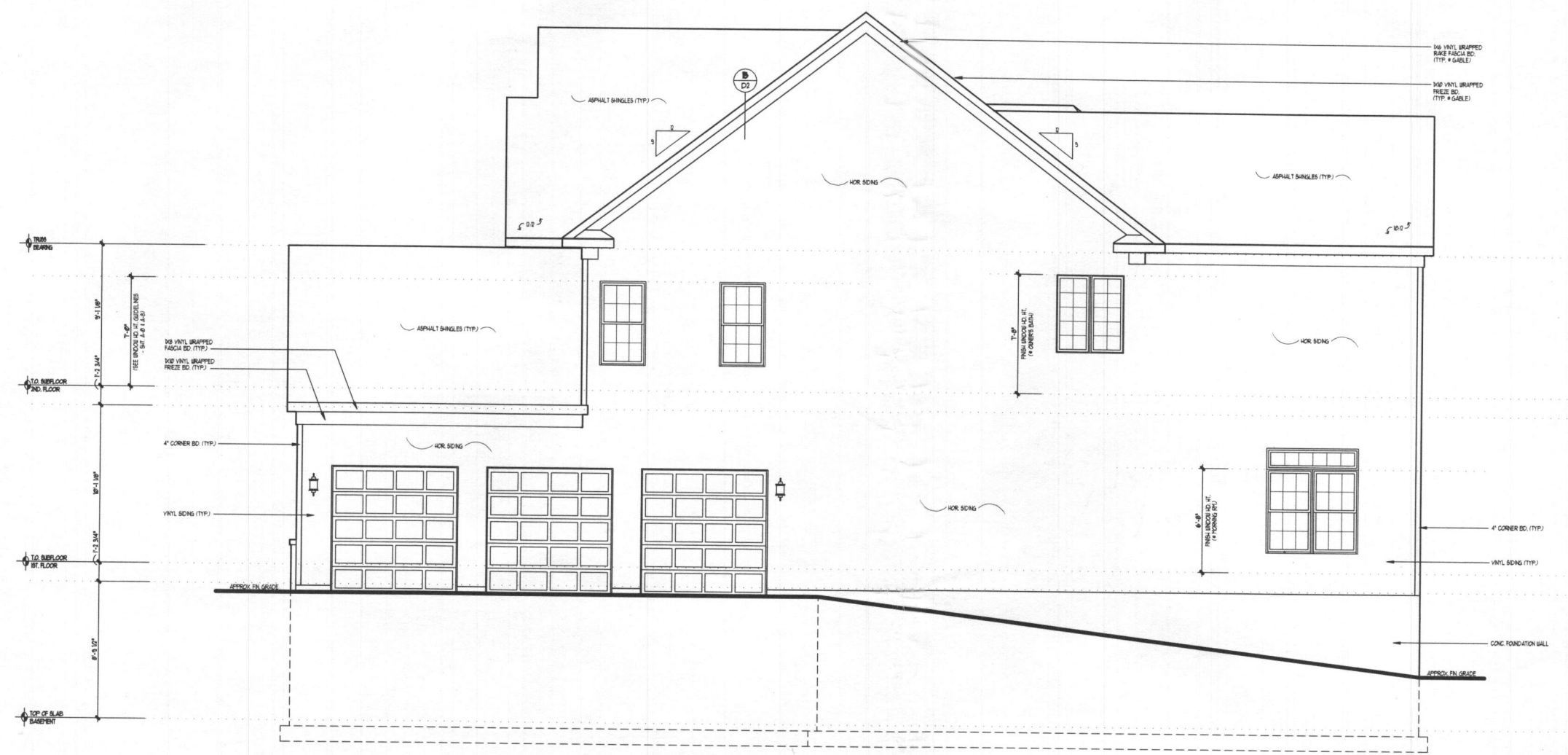
CSE Designs, Inc.  
 7371 Atlas Walk Way,  
 Suite 110,  
 Gainesville, Virginia 20155  
 Ph: 703-969-2878  
 Fax: 703-754-9317



Scale

Drawing No.

**A-7**



**RIGHT SIDE ELEVATION**  
 (SIDE) SCALE: 1/4" = 1'-0"