



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: 815003069

Building Address: 11497 HARDING ROAD
City: LAUREL State: MD Zip Code: _____
Suite/Apt. # _____ SDP/WP/BA #: _____
Subdivision: _____
Lot: _____ Tax Map: 476 Parcel: _____

Existing Use: SFD
Proposed Use: DETACHED GARAGE
Estimated Construction Cost: \$ 75,000
Description of Work: 2 CAR GARAGE WITH
LOFT COVERED SLAB STORAGE
DETACHED GARAGE

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: John + Nancy Wintersham
Address: 11497 HARDING ROAD
City: _____ State: MD Zip Code: _____
Phone: 301 255 1111 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: NEW ENERGY WORKS
Contact Person: JIM BROWN
Address: 1227 OLD CUMBERLAND ROAD
City: COLUMBIA State: MD Zip Code: 21046
License No.: 77138
Phone: 410 777 8705 Fax: _____
Email: Jim@newenergymd.com

Engineer/Architect Company: NEW ENERGY WORKS
Responsible Design Prof.: JIM BROWN
Address: 275 S. W. 10th St
City: COLUMBIA State: MD Zip Code: 21046
Phone: 410 754 4600 Fax: _____
Email: Jim@newenergymd.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
Email Address: _____
Title/Company: _____

Print Name: Jim Brown
Date: 8/28/2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee	\$
State Highways			Front:	Permit Fee	\$
Building Officials			Rear:	Tech Fee	\$
PSZA (Zoning)			Side:	Excise Tax	\$
PSZA (Engineering)			Side St.:	PSFS	\$
Health	<u>8-20-18</u>	<u>Jim Brown</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	Guaranty Fund	\$
			Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Add'l per Fee	\$
			Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total Fees	\$
			Lot Coverage for New Town Zone:	Sub- Total Paid	\$
			SDP/Red-line approval date:	Balance Due	\$
				Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

Bernard, Dana

From: Jim Brumsted <jim@allanhomes.com>
Sent: Monday, September 24, 2018 1:05 PM
To: Bernard, Dana
Subject: RE: 11497 Harding Road

Dana;

We will not need well or septic connections for this project.

Thank you;

Jim Brumsted
Director of Operations
Cellular: 410 977 5705

<http://www.houzz.com/pro/allanhomesunlimited/> public

The BEST Home Improvement Contractor is an EXPERIENCED Home builder.

I am never too busy for you or your referrals!

Allan Homes Unlimited
10260 Old Columbia Road
Columbia, Maryland 21046
M.H.I.C. 77138
Office: 410 381 1414

From: Bernard, Dana [<mailto:dbernard@howardcountymd.gov>]
Sent: Monday, September 24, 2018 10:58 AM
To: Jim Brumsted
Subject: 11497 Harding Road

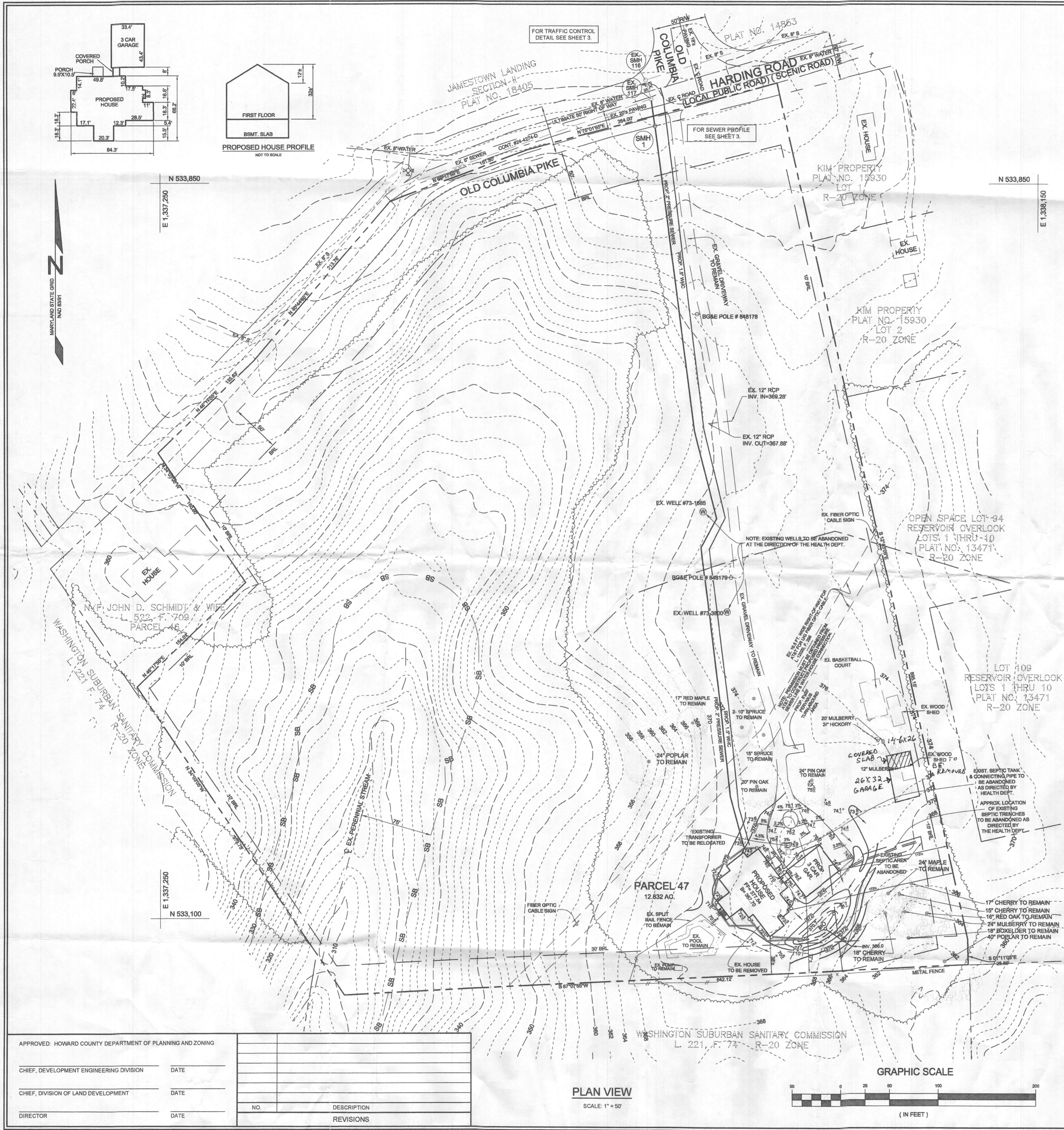
Good Morning Jim,

I am reviewing your building plan for 11497 Harding Road and I just wanted to make sure you will not need and septic or well connections for the garage. Contact me if you have any questions.

Thank you & Have a*""
,.,.,,*""),.,,*""
(.,. (.,. * Wonderful Day !

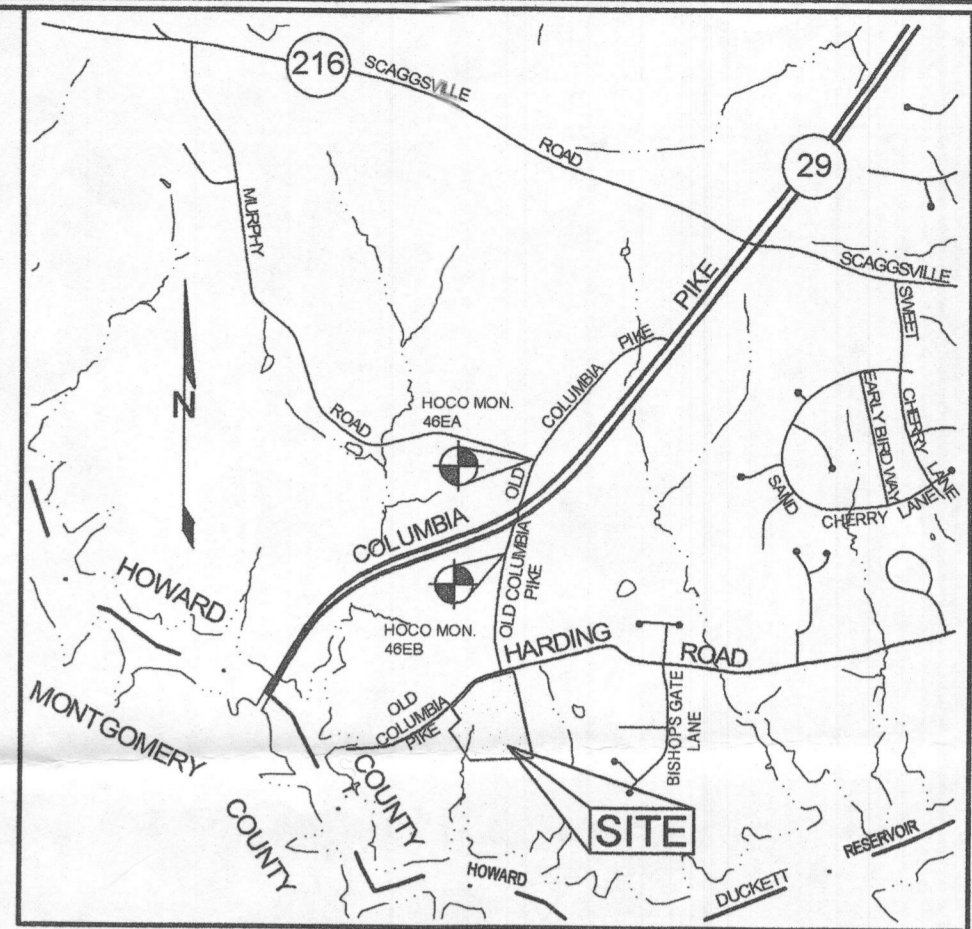
Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program

Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



BENCHMARKS				
NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
48EA	536,185.3768	1,333,091.6777	414.42	SOUTHEAST CORNER OF INTERSECTION OF MURPHY RD & OLD COLUMBIA RD, 17' SOUTH OF ST. 80' WEST
48EB	534,750.2193	1,337,742.7516	412.56	SOUTH SIDE OF OLD COLUMBIA ROAD, 0.18 MILES EAST OF THE INTERSECTION OF OLD COLUMBIA RD & EAST-SEVENTH OF BOABE RD #12847

- GENERAL NOTES**
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2002/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/20/09.
 - GROSS AREA OF THE PROPERTY = 12.832 AC.
 - AREA OF PLAN SUBMISSION = 12.832 AC.
 - LIMIT OF DISTURBED AREA = 0.53462 (24,124 S.F.)
 - EXISTING USE = RESIDENTIAL
 - PROPOSED USE = RESIDENTIAL
 - TOTAL NUMBER OF UNITS ALLOWED = 1
 - TOTAL NUMBER OF UNITS PROPOSED = 1
 - PREVIOUS HOWARD COUNTY FILE NUMBERS: W & S CONTR #24-4274-D AND SCR-12-085
 - BOUNDARY SHOWN HEREON IS BASED ON A DEED PLOTTING FROM L 12920 F. 298, DATED JULY 23, 2009.
 - THE TOPOGRAPHY SHOWN HEREON HAS BEEN FIELD RUN BY BILL ADCOCK & ASSOCIATES, LLC IN MARCH, 2012. THE EXISTING TOPOGRAPHY SHOWN OUTSIDE THE AREA OF DEVELOPMENT IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 2004.
 - COORDINATES BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 48EA AND NO. 48EB.
 - DENOTES APPROXIMATE CONTROL STATION LOCATION (SEE VICINITY MAP).
STATION 48EA N 536,185.3768 E 1,333,091.6777 ELEV. 414.42
STATION 48EB N 534,750.2193 E 1,337,742.7516 ELEV. 412.56
 - THERE ARE NO WETLANDS, STREAMS, OR FOREST CONSERVATION AREAS WITHIN THE LIMIT OF DISTURBANCE. THERE IS A STREAM AND 75 FOOT STREAM BUFFER EXISTING ON THIS PARCEL, OUTSIDE THE LIMIT OF DISTURBANCE. THERE ARE NO FLOODPLAINS OR CEMETERIES LOCATED ON-SITE. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED STREAMS OR THEIR BUFFERS.
 - THIS SITE IS WITHIN A MARYLAND STATE ENVIRONMENT TRUST EASEMENT. APPROVAL FOR THIS PROPOSED DEVELOPMENT HAS BEEN OBTAINED.
 - STORMWATER MANAGEMENT FOR THIS PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES I AND II, AS AMENDED BY THE MARYLAND STORMWATER ACT OF 2007.
 - DEED REFERENCE: LIBER 2000, FOLIO 298
 - EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE EXISTING HOUSE ON THIS PROPERTY (WHICH IS BEING REMOVED) IS CURRENTLY ON WELL & SEPTIC. THIS PROPERTY IS NOW WITHIN THE METROPOLITAN DISTRICT AND WILL UTILIZE THE EXISTING WATER AND SEWER IN OLD COLUMBIA ROAD. THIS EXISTING WATER & SEWER CONTRACT NO. IS 24-4274-D. THE EXISTING WELLS AND SEPTIC MUST BE ABANDONED AS DIRECTED BY THE HEALTH DEPT.
 - STORMWATER MANAGEMENT PRACTICES DESIGNED AND REPRESENTED ON THIS PLAN ARE ONLY FOR IMPROVEMENTS PROPOSED ON THIS PLAN.
 - FOREST CONSERVATION HAS BEEN ADDRESSED BY OBTAINING APPROVAL OF A DECLARATION OF INTENT FOR SINGLE RESIDENTIAL LOT EXEMPTION FOR CLEARING LESS THAN 20,000 SQUARE FEET OF FOREST.
 - THIS PROPERTY IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
 - EFFECTIVE 10/23/09 PER COUNCIL BILL 75-2003
 - PUBLIC WATER AND SEWER WILL BE USED WITHIN THIS SITE. PUBLIC WATER AND SEWER SERVICE WILL BE PROVIDED BY CONTRACT NO. 24-4274-D.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
STATE HIGHWAY ADMINISTRATION 410.531.5533
BOE CONTRACTOR SERVICES 410.850.4620
BOE (UNDERGROUND DAMAGE CONTROL) 410.757.8068
MISS UTILITY 1.800.257.7777
COLONIAL PIPELINE COMPANY 410.795.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410.313.4800
HOWARD COUNTY HEALTH DEPARTMENT 410.313.2640
AT&T 800.252.1153
VERIZON 1.800.743.0033 OR 410.224.9210
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING PERFORMED.
 - ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MARYLAND STATE HIGHWAY AUTHORITY STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
 - ALL HOPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
 - SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE SOIL RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD R-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON TEST, PRIOR TO CONSTRUCTION.
 - ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
 - ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IN ACCORDANCE WITH SECTION 125 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-6.06.
 - DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
1) WIDTH - 12 FEET
2) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TARAND CHIP COATING (1-1/2" MINIMUM)
3) GEOMETRY - MAXIMUM 1% GRADE, MAXIMUM 10% GRADE CHANGE AND 40 FOOT TURNING RADIUS;
4) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H20-LOADING);
5) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
6) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
 - A DESIGN WAIVER FOR A PRESSURE SEWER SERVICE WAS GRANTED ON 07/02/2012 BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 - NO GRAVITY SEWER SERVICE. SEWER SERVICE TO BE PROVIDED BY A PRIVATE ON-SITE PUMP AND PRIVATE LOW PRESSURE SEWER TO BE DESIGNED BY OTHERS.
 - WATER HOUSE CONNECTIONS ARE TO BE 1.5" IN DIAMETER, TO ACCOMMODATE SPRINKLER SYSTEMS THAT ARE REQUIRED AS OF JANUARY 1, 2011.
 - HARDING ROAD IS DESIGNATED AS A SCENIC ROAD. THIS SITE DEVELOPMENT PLAN MEETS THE REQUIREMENTS OF SECTION 16.125 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS FOR PROTECTION OF SCENIC ROADS.
 - THE DEPARTMENT OF PLANNING AND ZONING HAS DETERMINED THAT LANDSCAPING IS NOT REQUIRED FOR THIS PROJECT BECAUSE NO NEW LOTS ARE BEING CREATED AND THE PROPOSED DWELLING IS BEING PLACED OVER TOP OF THE EXISTING HOME'S FOOTPRINT.



HOWARD COUNTY, MARYLAND ADC #MAP 5052, GRID D10
VICINITY MAP
SCALE: 1"=2000'

LEGEND

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	+
PROPOSED SPOT ELEVATION	+
DIRECTION OF FLOW	---
EXISTING TREELINE	---
EXISTING TREES	---
PROPOSED BIORETENTION	---
EXISTING SLOPES 15% OR GREATER	---
PROPOSED ROOF LEADER (P PVC TYP. WITH DOWNSPOUT)	---
STREAM BUFFER	SB

NOTE: ALL ROOFTOP DRAINAGE MUST BE CONVEYED TO THE BIORETENTION FACILITY.

SEWER HOUSE CONNECTION SCHEDULE

PARCEL #	INVERT @ MAIN	INVERT @ RW	MIN. CELLAR ELEV.
47	364.39	362.80	N/A

ADDRESS CHART

LOT	STREET ADDRESS
PARCEL 47	11487 HARDING ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	PARCEL #
N/A	N/A	47
DEED L 12020 F. 298	GRID # 9 ZONING R-20 TAX MAP # 46 ELECT. DIS. 6 CENSUS TRACT 9068.02	

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA	PRESENT ZONING
12.832 AC.	12.832 AC.	0.61 AC	R-20
PROPOSED USE SFD	FLOOR SPACE PER USE N/A	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED 1
MAX. # EMPLOYEES/N/A	PARKING SPACES REQ. 2	PARKING SPACES PROV. 4	HC SPACES PROVIDED N/A
OPEN SPACE REQUIRED N/A	OPEN SPACE PROVIDED N/A	REC. O.S. REQUIRED N/A	REC. O.S. PROVIDED N/A
BUILDING COVERAGE 0.7%	FLOOR AREA RATIO N/A	DPZ FILE REFERENCES SEE GENERAL NOTE #3	

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT & EROSION CONTROL AND STORMWATER MANAGEMENT PLAN
3	SEDIMENT & EROSION CONTROL NOTES & DETAILS

SITE DEVELOPMENT PLAN
WHITTINGHAM PROPERTY
SINGLE FAMILY DETACHED DWELLING
LIBER 12020 FOLIO 298

TAX MAP 46 GRID 9 ELECTION DISTRICT 6 PARCEL 47 HOWARD COUNTY, MARYLAND

OWNER
JON WHITTINGHAM & WANDA FORREST
9812 SEA VALLEY WAY
LAUREL, MD 20723
C/O ALLAN WASCHAK
ALLAN HOMES UNLIMITED
PHONE: 301-854-2155

DEVELOPER
ALLAN HOMES UNLIMITED
10260 OLD COLUMBIA ROAD
COLUMBIA, MARYLAND 21046
PHONE: 301-854-2155

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

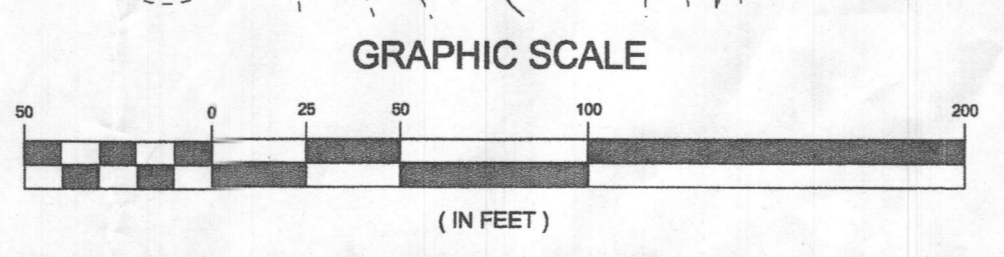
DESIGN BY: DH
DRAWN BY: DH
CHECKED BY: PS
SCALE: AS SHOWN
DATE: OCTOBER 9, 2012
PROJECT #: 12-007
SHEET #: 1 of 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

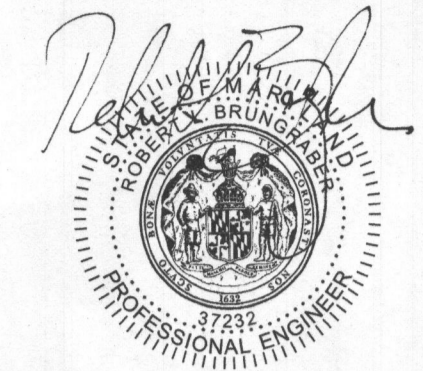
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

REVISIONS

NO.	DESCRIPTION



NOTE:
The heavy timber elements shown in these drawings are fully detailed and specified in the timber frame shop drawings produced by New Energy Works.
The timber frame shop drawings include all timber sizes, species, grades, and connections required for the timber elements depicted herein to resist the anticipated design loads at the project site.



FIRE TOWER
ENGINEERED TIMBER
27 Sims Ave., Unit 2R 401.654.4600
Providence, RI 02909 ben@fiet.com
Robert L. Brungraber, Ph.D., P.E.
2018.07.20 15:01:10-04'00"



The Whittingham-Forrest Residence

Laurel, Maryland

LIST OF DRAWINGS:

- A-0.1 COVER SHEET**
- A-1.0 FOUNDATION PLAN
MAIN LEVEL PLAN
UPPER LEVEL PLAN**
- A-3.0 EXTERIOR ELEVATIONS**
- A-4.0 BUILDING SECTIONS
A-7.0 WINDOW & DOOR SCHEDULES**

CODE & GENERAL NOTES

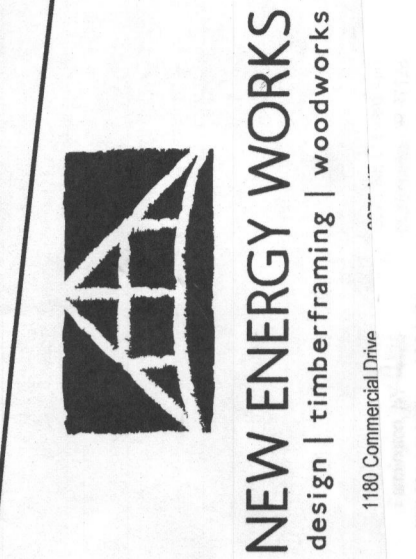
- ALL WORK SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE STATE OF MARYLAND AND MEET OR EXCEED THE STATE OF MARYLAND ENERGY CONSERVATION CONSTRUCTION CODE.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- BEAMS TO FOUNDATION POCKETS SHALL HAVE 1/2" CLEARANCE FROM MASONRY - (1/2" AIRSPACE (3) SIDES w/ 1/2" PT PLATE UNDER w/ SOLID CMU CORES)
- STAIRWAYS PER R314, R316
 - CLOSED RISERS UNLESS NOTED OTHERWISE
 - 6"8" MINIMUM HEADROOM ABOVE NOSING
 - PROVIDE HANDRAILS FOR (2) OR MORE RISERS, 1 1/4"2" DIAMETER WITH 1 SIDE CONTINUOUS FROM TOP TO BOTTOM RISER, RETURN TO WALL OR NEWELL POST.
 - 34"-38" IN HEIGHT ABOVE NOSING w/ 1 1/2" CLEARANCE TO WALL OR OBSTRUCTION.
 - OPEN SIDES OF STAIRS GREATER THAN 30" OF HEIGHT SHALL HAVE GUARDS AT 34" MINIMUM HEIGHT ABOVE NOSING
- ELECTRICAL AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION
- ALL TIMBER FRAME ELEMENTS SHOWN IN THESE CONSTRUCTION DOCUMENTS IS FOR CONCEPTUAL PURPOSES ONLY. ALL TIMBER SIZING, JOINERY, & ENGINEERING IS THE RESPONSIBILITY OF THE TIMBER FRAME MANUFACTURER.
- PLAN VIEWS ARE DIMENSIONED AS FOLLOWS:
 - PRIMARY STRUCTURAL FRAMING AND SUPPORT ELEMENTS ARE DIMENSIONED TO THE CENTERLINE OF THE INDIVIDUAL OR COMPOSITE MEMBER
 - PROJECTS WHICH ARE TO BE CONSTRUCTED WITH A STRUCTURAL INSULATED PANEL ENCLOSURE SYSTEM ARE DIMENSIONED TO THE OUTSIDE FACE OF THE PANEL FOR EXTERIOR DIMENSIONS AND THE INSIDE FACE OF PANEL FOR INTERIOR DIMENSIONS
 - PROJECTS WHICH ARE TO BE CONSTRUCTED WITH MASONRY WALL OR CONVENTIONALLY FRAME WALL PANELS ARE DIMENSIONED TO THE OUTSIDE OF SHEATHING FOR EXTERIOR DIMENSIONS AND INSIDE FACE OF FRAMING FOR INTERIOR DIMENSIONS
 - WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO THE CENTERLINE OF OPENING, (OR TOP OF R.O. ON ELEVATION VIEWS)
- SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED AND SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MATERIALS, MEANS, METHODS, TECHNIQUES, CRAFTSMANSHIP, SEQUENCE AND SAFETY ISSUES.
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE AND INTERNATIONAL BUILDING CODE (IBC) WHERE REQUIRED AND AT ROOF CHANGES, HORIZONTAL ABUTMENTS (POR. & DECKS), PROJECTIONS, VALLEYS, OPENINGS, ETC.
- CARBON MONOXIDE DETECTORS (BATTERY OPERATED OR DIRECT WIRED) SHALL BE INSTALLED ON ANY STORY HAVING A SLEEPING AREA.
- CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS
- PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL PER INTERNATIONAL BUILDING CODE (IBC)
- THE PRESUMPTIVE LOAD BEARING CAPACITY OF THE SOIL IS 2000 PSF
- RAILING OR RISER OPENINGS SHALL NOT PERMIT THE PASSING OF A 4" DIAMETER SPHERE. A 6" OPENING IS PERMITTED AT TRIANGULAR OPENINGS AT RISER, TREAD & BOTTOM RAIL (R314.2.1 & R316.2)
- FINAL FOAMING & AIR SEALING BY GENERAL CONTRACTOR TO MEET OR EXCEED LOCAL & NATIONAL CODES. ALL WALL, ROOF, BLOCKING, TRANSITIONS, INTERSECTIONS TO BE AIR & FOAM SEALED AS REQUIRED. NATURAL AIR CHANGES PER HOUSE SHALL BE LESS THAN OR EQUAL TO 0.35 AIR CHANGES PER HOUR (ACH). ACH SHALL BE DETERMINED BY A BLOWER DOOR TEST IN ACCORDANCE W/ ASTM STD. E779-87. HOME SHALL MEET MIN. VENTILATION REQUIREMENTS OF ASHRAE 62-1999 (35 SCH BY NATURAL OR MECHANICAL VENTILATION.)
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING / BRACING TO BE CERTIFIED BY THE MANUFACTURER
- GUARD RAILS & HAND RAILS SHALL RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP (TABLE R301.5)

■ STRUCTURAL DESIGN LOADS:

	DEAD LOAD	LIVE LOAD
ATTIC AREAS (w/ LIMITED STORAGE)	16 PSF	20 PSF
SLEEPING AREAS	13 PSF	30 PSF
OTHER	10 PSF	40 PSF
DECKS	10 PSF	40 PSF
ROOFS	16 PSF	20 PSF

■ CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA - HOWARD COUNTY, MD
TABLE R301.2(1).

GROUND SNOW LOAD (psf)	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE		
25	115	A	SEVERE	30	MODERATE TO HEAVY	YES	MINIMAL



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NO.	REVISION INFORMATION	BY	DATE

CLIENT INFORMATION

The Whittingham-Forrest Detached Garage

11497 Harding Road
Laurel, Maryland

DRAWING INFORMATION

Cover Sheet

ISSUE DATE: **07.19.18**

DRAWN BY: DG

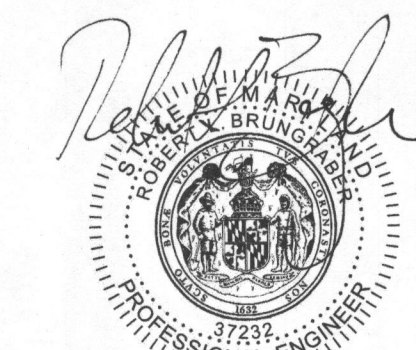
REVIEWED BY: TA

PROJECT - DRAWING NUMBER

18-043

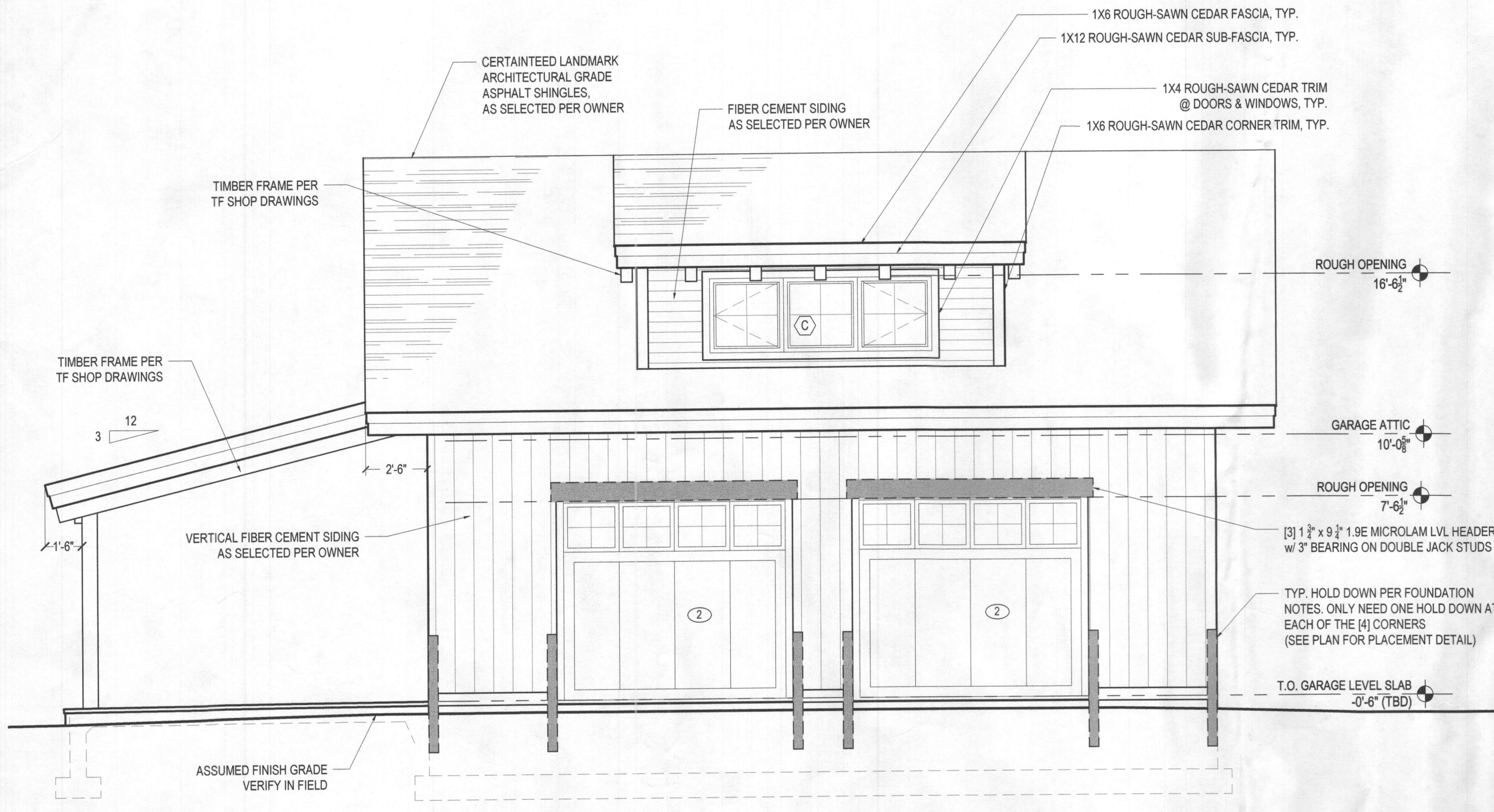
A-0.1

PERMIT SET

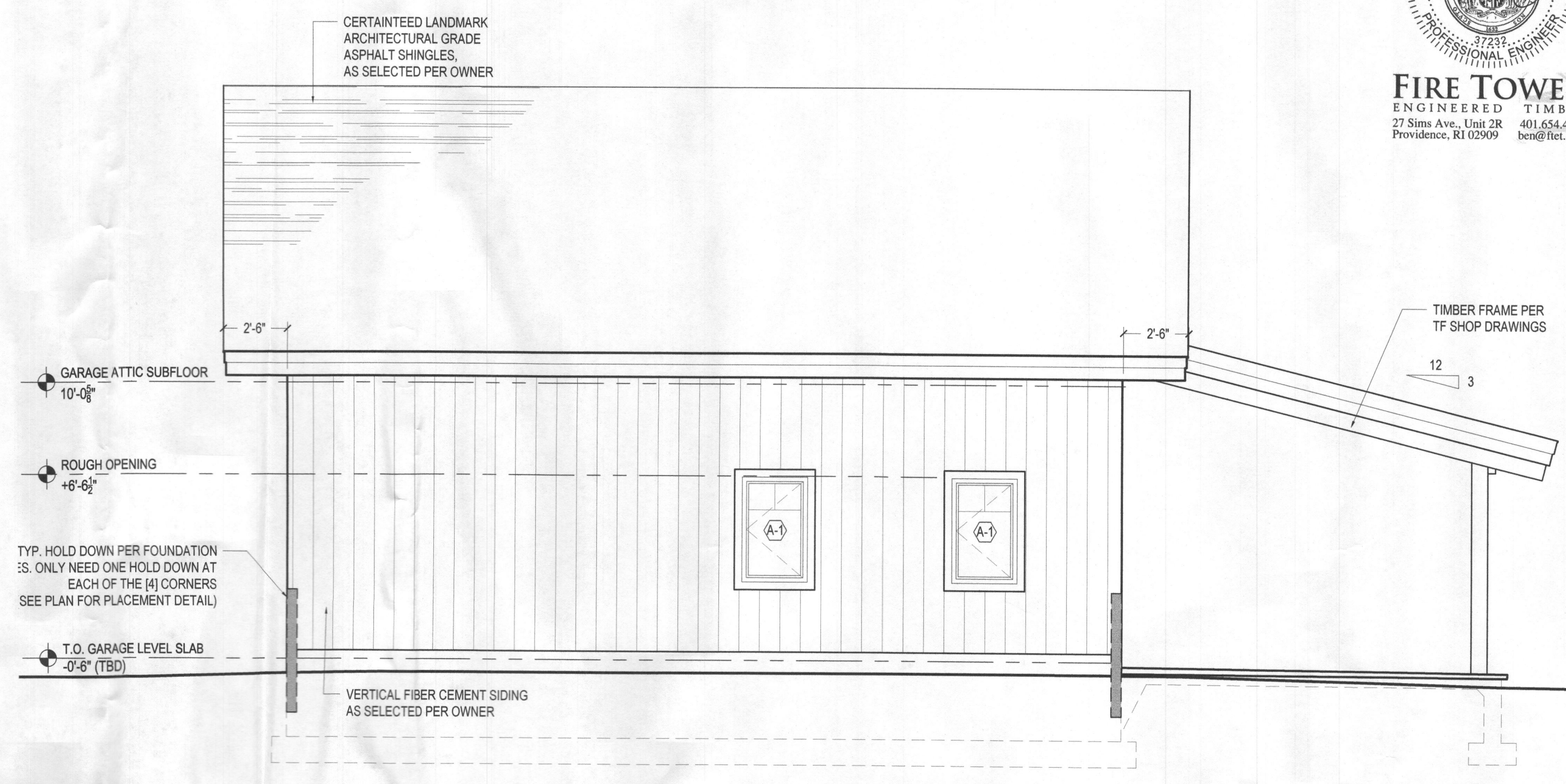


FIRE TOWER
ENGINEERED TIMBER
27 Sims Ave., Unit 2R 401.654.4600
Providence, RI 02909 ben@firtex.com

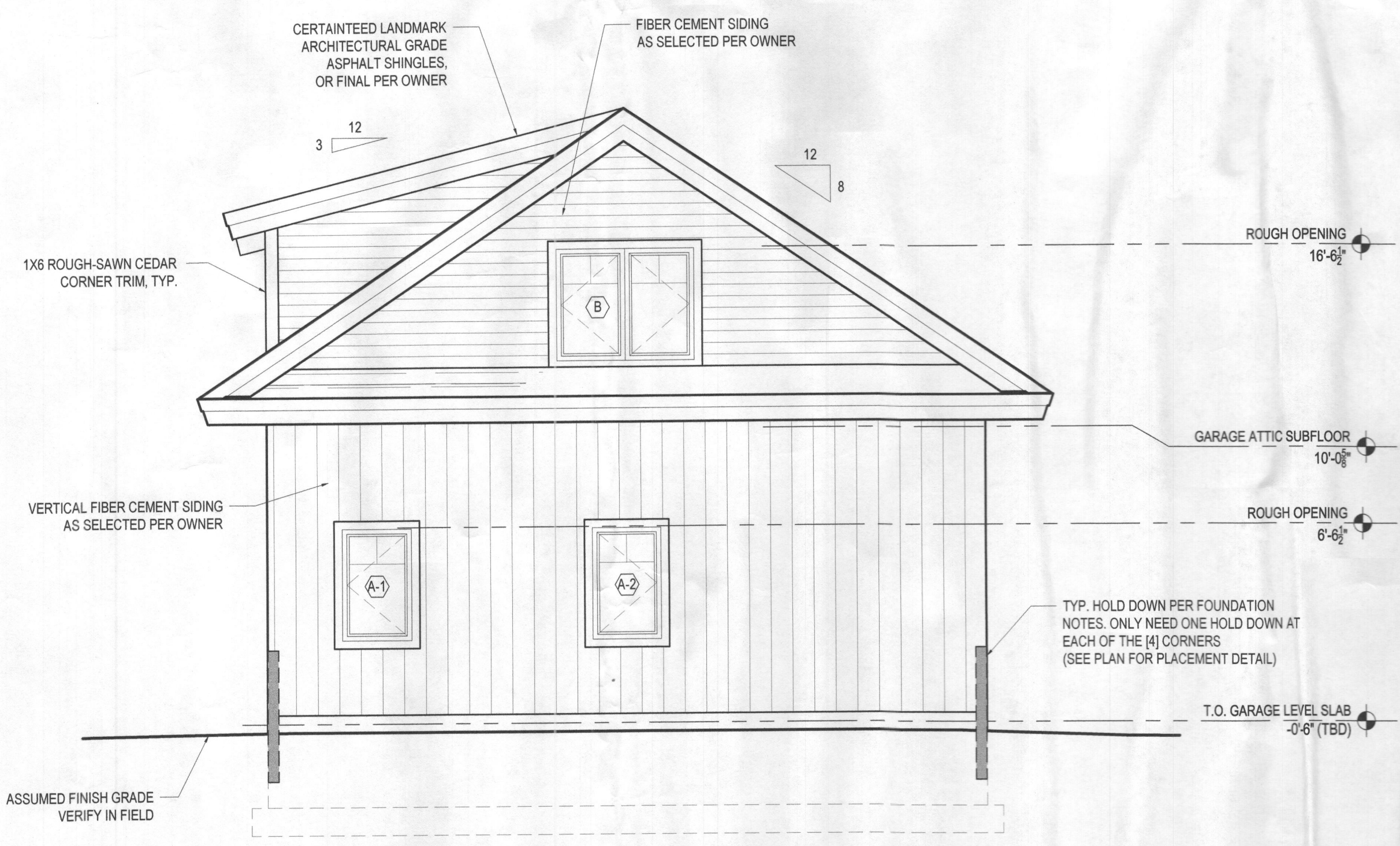
NEW ENERGY WORKS
design | timber framing | woodworks
1100 Commercial Drive
Farmington, CT 06030
p. 860.674.3800 f. 860.674.9992 e. newenergyworks.com



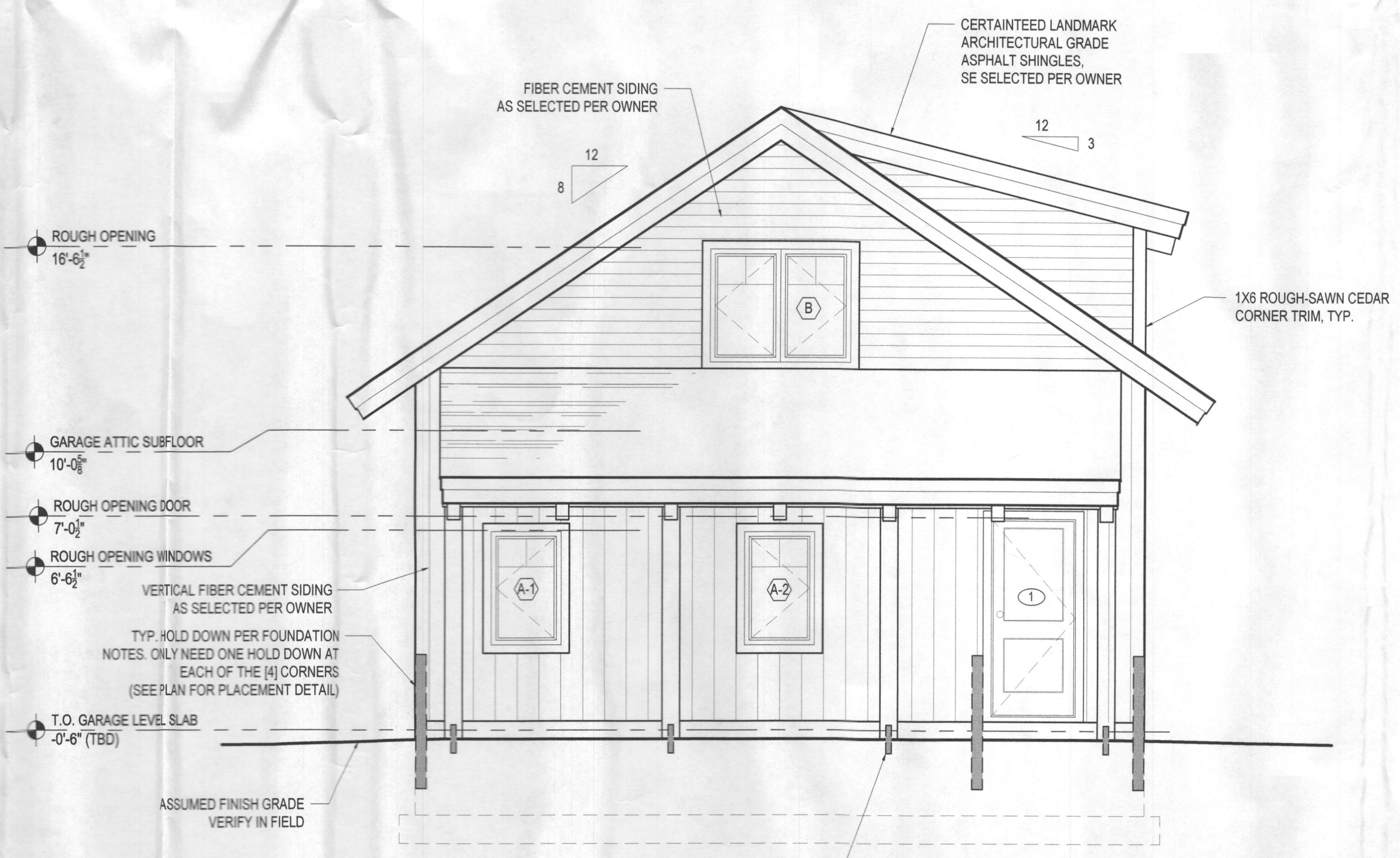
1 Front Elevation
A-3.0 1/4"=1'-0"



2 Back Elevation
A-3.0 1/4"=1'-0"



3 Side Elevation
A-3.0 1/4"=1'-0"



4 Side Elevation
A-3.0 1/4"=1'-0"

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NO.	REVISION INFORMATION	DATE

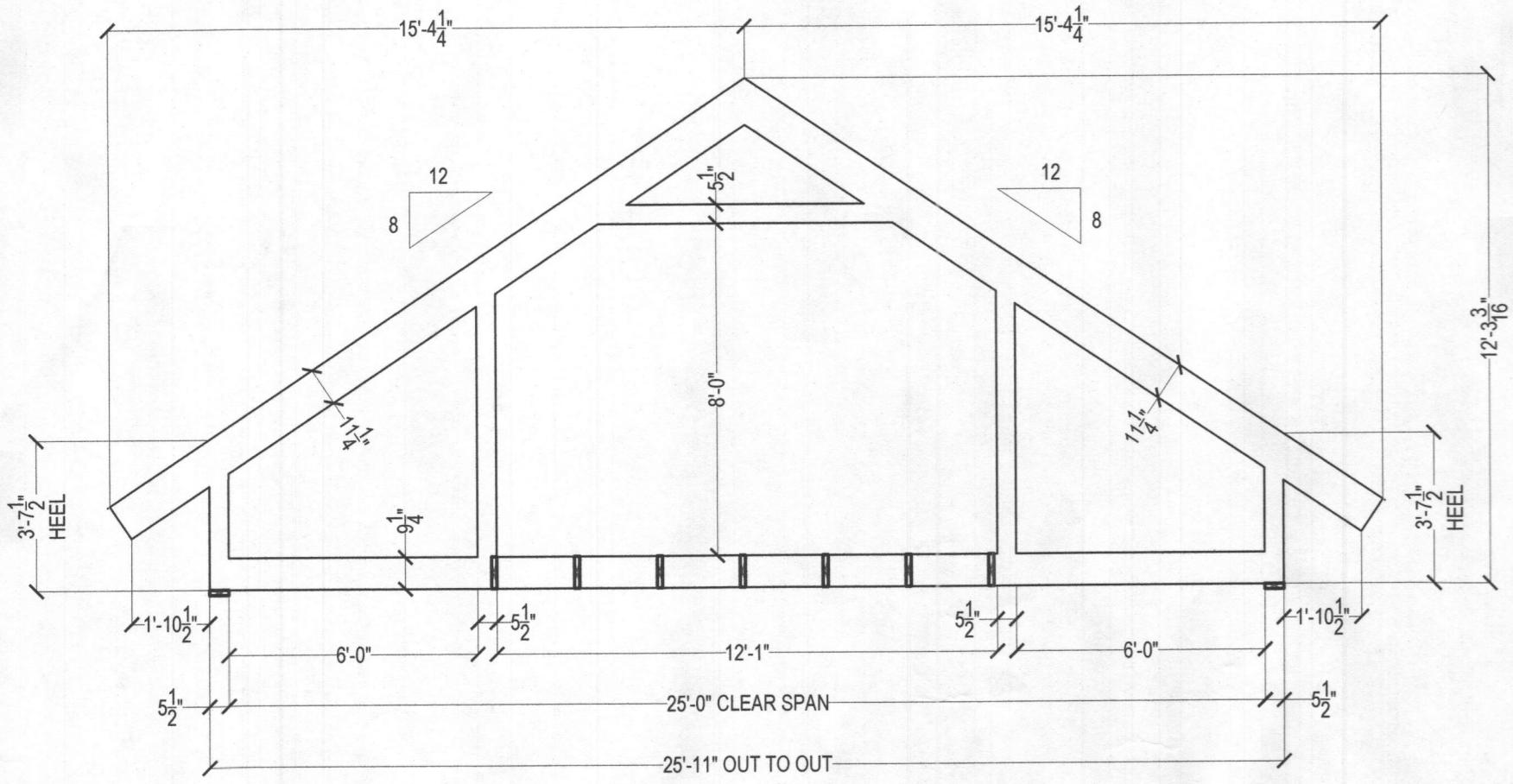
NO.	REVISION INFORMATION	DATE

The Whittingham-Forrest Detached Garage
11497 Harding Road
Laurel, Maryland

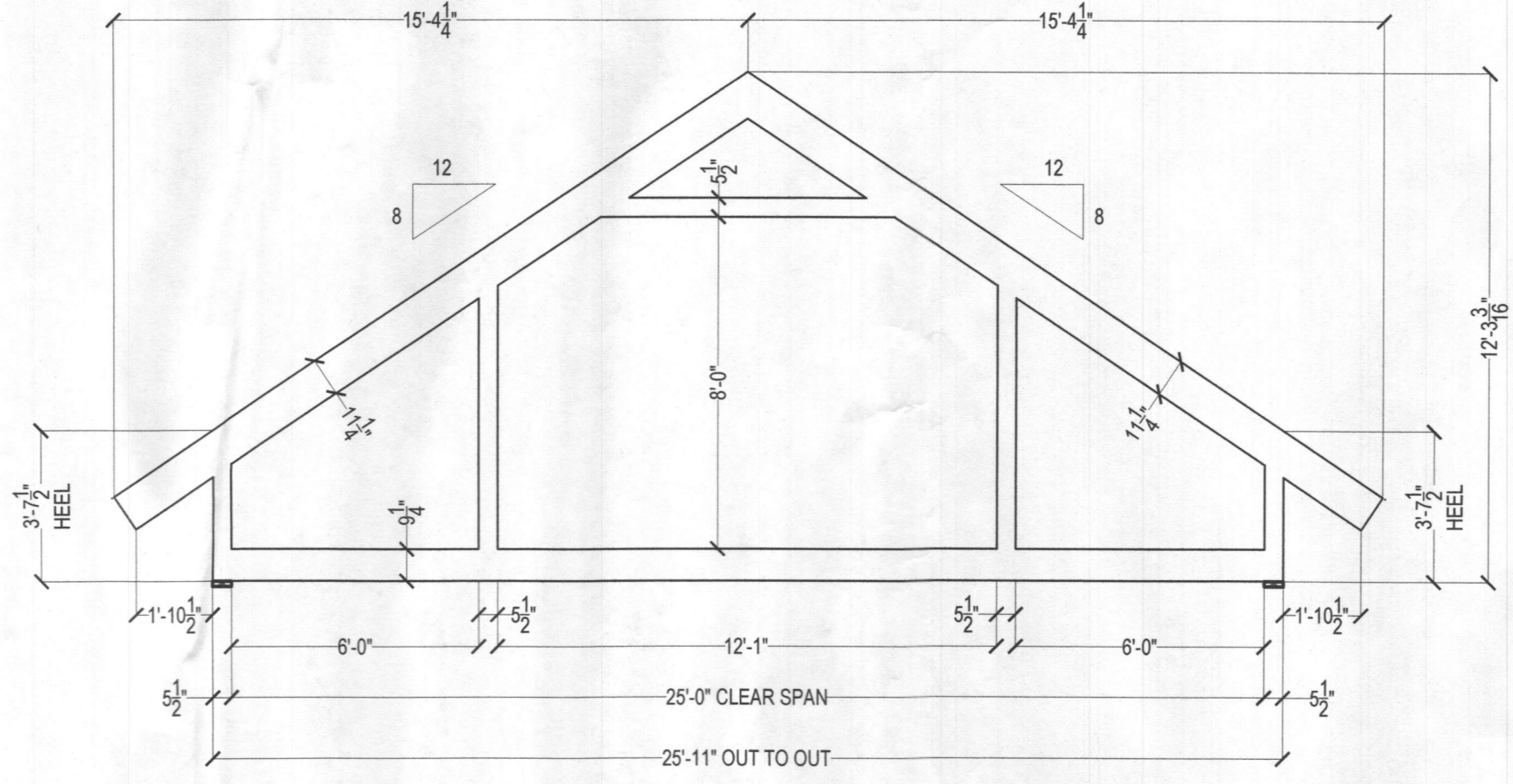
Exterior Elevations
ISSUE DATE: 07.19.18
DRAWN BY: DG
REVIEWED BY: TA

PROJECT - DRAWING NUMBER
18-043
A-3.0

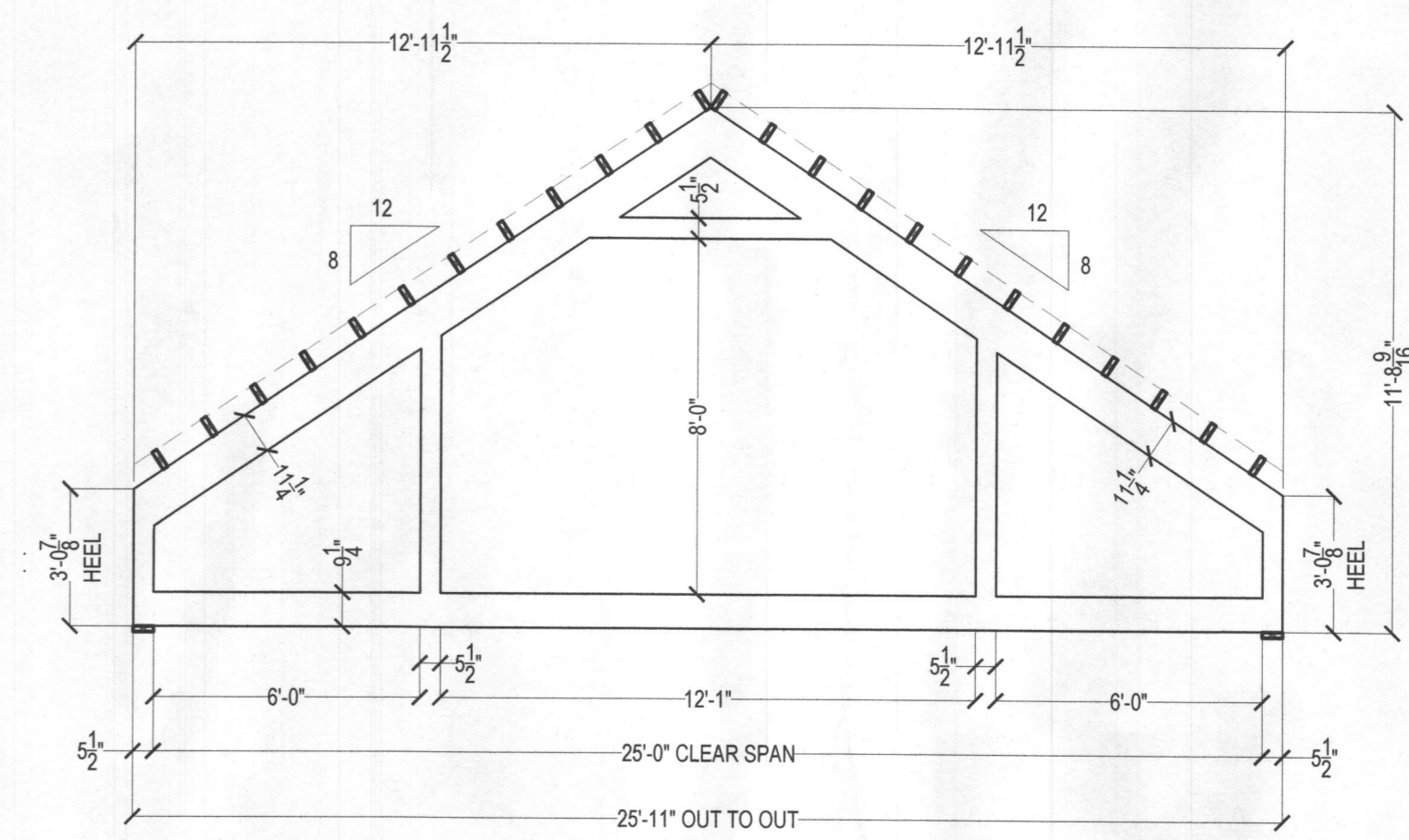
PERMIT SET



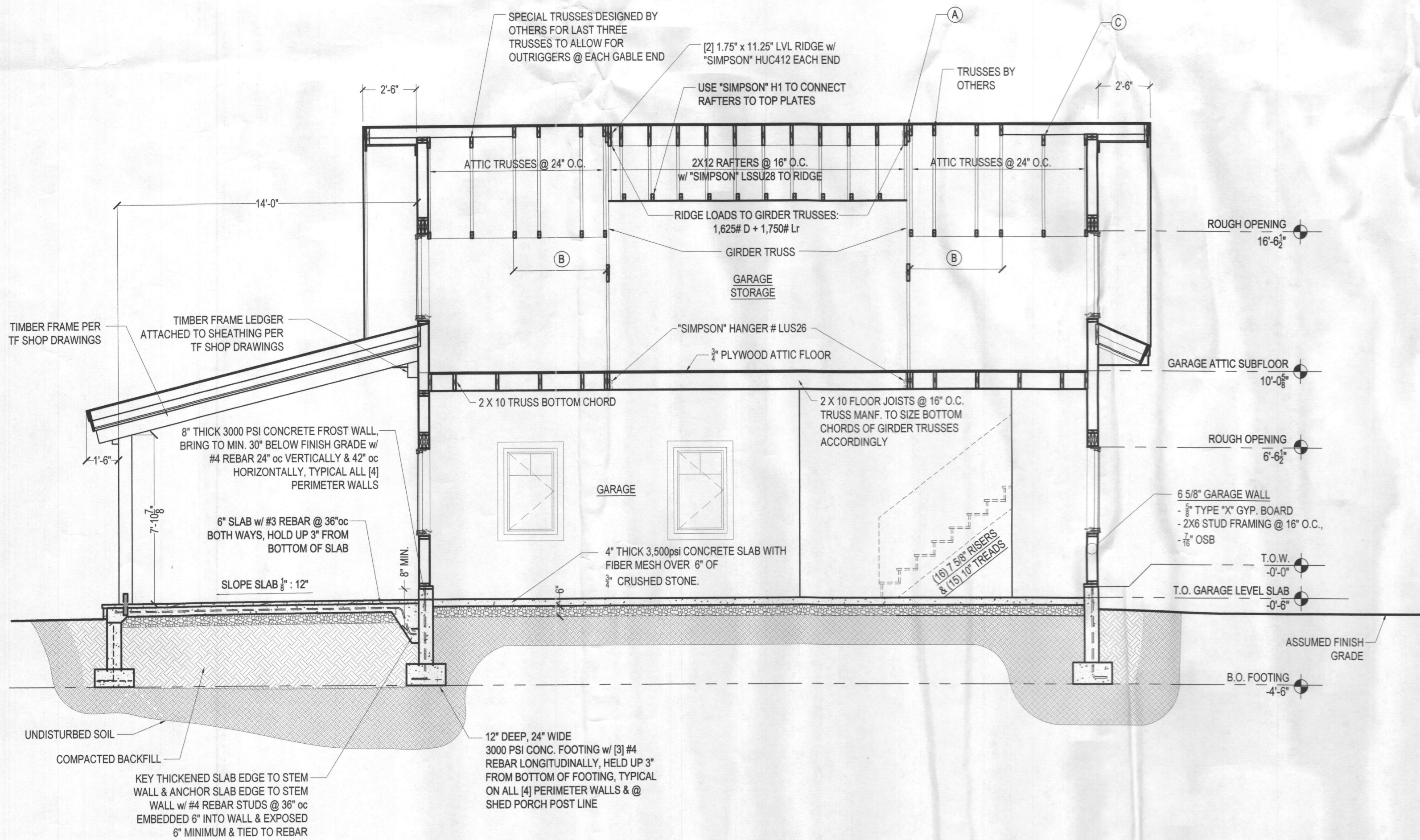
A **3** Girder Truss
A-4.0 1/4"=1'-0"



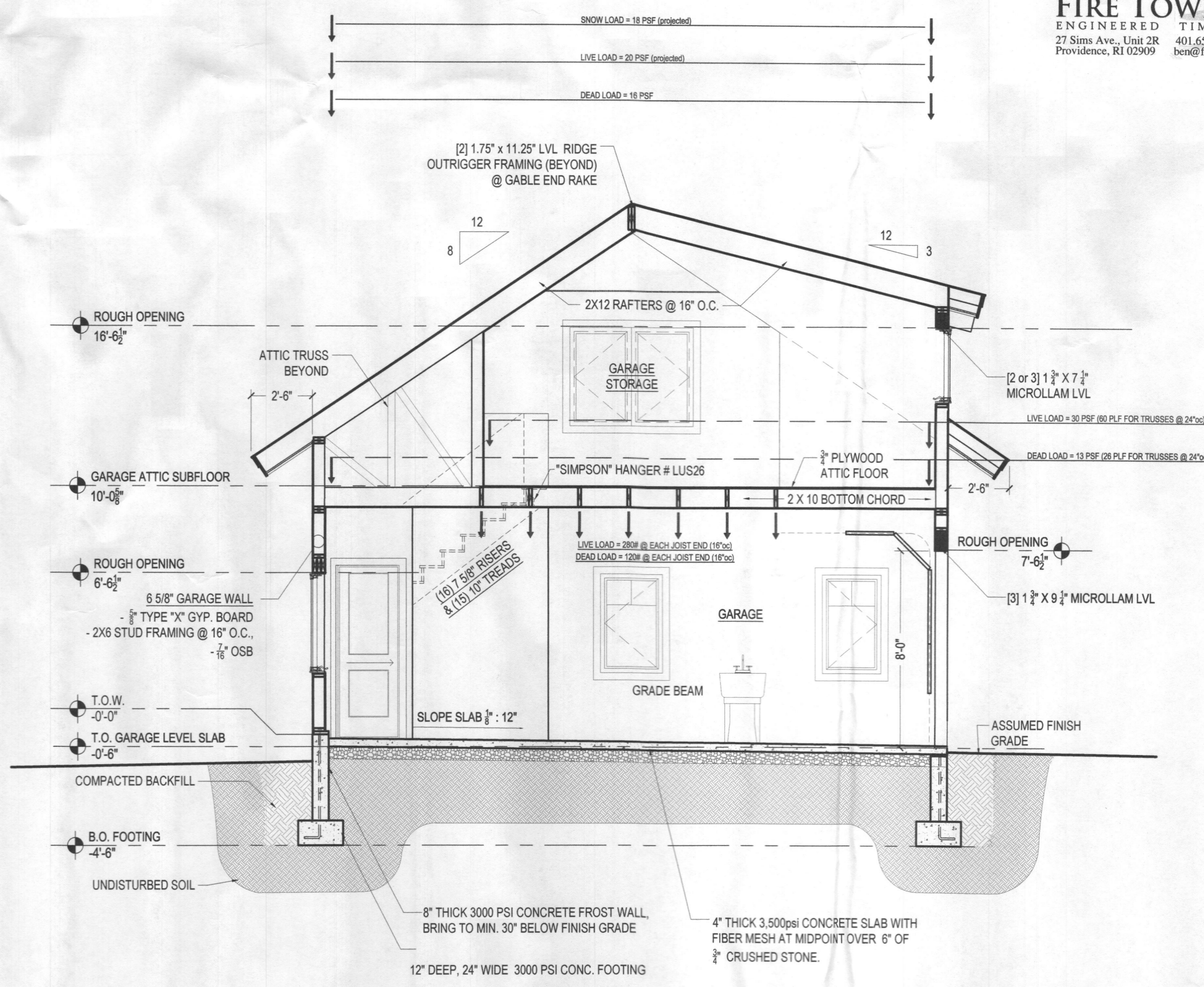
B **4** Truss T-1
A-4.0 1/4"=1'-0"



C **5** Truss T-1 Dropped
A-4.0 1/4"=1'-0"



1 Building Section
A-4.0 1/4"=1'-0"



2 Building Section
A-4.0 1/4"=1'-0"



REVISION INFORMATION

NO.	DATE	DESCRIPTION

CLIENT INFORMATION

The Whittingham-Forrest Detached Garage

11487 Harding Road
Laurel, Maryland

DRAWING INFORMATION

Building Sections

ISSUE DATE: 07.19.18
DRAWN BY: DG
REVIEWED BY: TA

PROJECT - DRAWING NUMBER

18-043

A-4.0

PERMIT SET

WINDOW SCHEDULE (Windows are "Eagle", unless noted otherwise)												
SYM.	QTY	R.O. WxH	MODEL #	TYPE	NOTES	COLOR	MUNTIN TYPE	CLADDING	SPECIES	SCREEN COLOR MATERIAL	HARDWARE	REMARKS
A-1	4	2'-7" x 4'-1"	CCMTS 2640	CASEMENT	LEFT HAND, EGRESS	-	* CRAFTSMAN	ALUMINUM	MIX GRAIN FIR	FIBERMESH		
A-2	2	2'-7" x 4'-1"	CCMTS 2640	CASEMENT	RIGHT HAND, EGRESS	-	* CRAFTSMAN	ALUMINUM	MIX GRAIN FIR	FIBERMESH		
B	2	5'-1" x 4'-1"	CCMTS	CASEMENT	MULLED, TEMPERED AT LOFT	-	* CRAFTSMAN	ALUMINUM	MIX GRAIN FIR	FIBERMESH		
C	1	9'-1" x 3'-1"	CCMTS	FIXED CENTER / CASEMENT	MULLED, TEMPERED AT LOFT	-	* CRAFTSMAN	ALUMINUM	MIX GRAIN FIR	FIBERMESH		

FOR SWING ON CASEMENT WINDOWS SEE ELEVATIONS AND SCHEDULE DRAWINGS

GENERAL NOTES:

1. ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
2. ALL WINDOWS TO BE LOW E ARGON FILLED, WHERE SHOWN ON ELEVATIONS.
3. CONTRACTOR TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING.
4. ALL SCHEDULED WINDOW AND DOORS MEASURED TO ROUGH OPENING DIMENSIONS.

*CLEAR OPENING REQUIRED PER IRC RESIDENTIAL BUILDING CODE = 5.70 sq. ft.

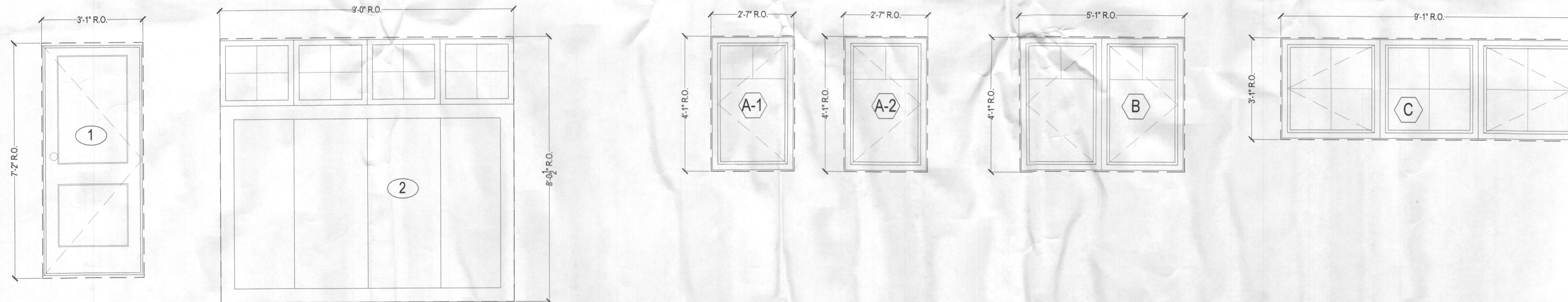
*FOR GRADE FLOOR OPENINGS = 5.0 sq. ft.

1 Window Schedule
A-7.0

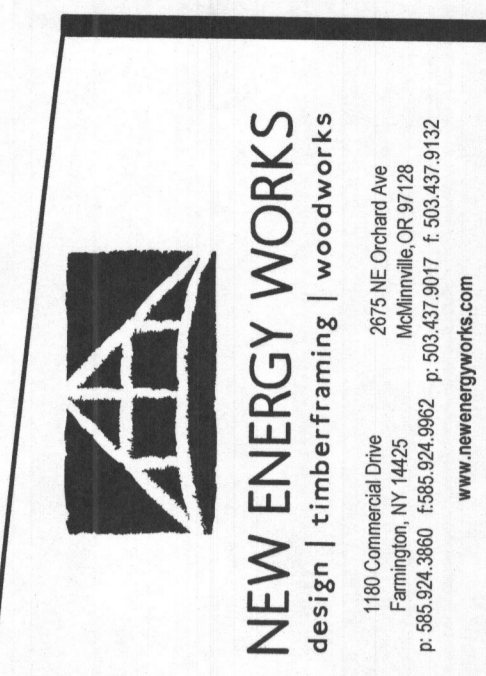
EXTERIOR DOOR SCHEDULE : (Doors are "Eagle", unless noted otherwise)												
SYM.	QTY	DOOR SIZE R.O.	MANUFACTURER	MODEL #	TYPE	FINISH	COLOR	CLADDING	SPECIES	SCREEN COLOR MATERIAL	HARDWARE	REMARKS
1	1	3'-1" X 8'-0"	TBD		LEFT HAND							
2	2	9'-0" X 8'-0"	TBD		GARAGE DOORS							ADD 1" TO TOP R.O.

EXTERIOR DOOR MANUFACTURER TO BE DETERMINED BY OWNER.
 ***(M.O.) = MASONRY OPENING
 NOTE: FOR MASONRY OPENINGS, ADD 6" IN TO WIDTH AND HEIGHT OF R.O.

2 Door Schedule
A-7.0



3 Window & Door Types
A-7.0 1/2" = 1'-0"



NO.	REVISION INFORMATION	BY	DATE

WET SEAL & DATE

CLIENT INFORMATION
The Whittingham-Forrest Detached Garage
 11497 Harding Road
 Laurel, Maryland

DRAWING INFORMATION
 Window & Door Schedules
 ISSUE DATE: 07.19.18
 DRAWN BY: DG
 REVIEWED BY: TA

PROJECT - DRAWING NUMBER
 18-043
A-7.0

PERMIT SET