



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 11790 OLD FREDERICK ROAD  
City: MARRIOTTVILLE State: MD Zip Code: 21104  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Subdivision: \_\_\_\_\_  
Lot: \_\_\_\_\_ Tax Map: \_\_\_\_\_ Parcel: 0045

Existing Use: RESIDENTIAL  
Proposed Use: RESIDENTIAL  
Estimated Construction Cost: \$ 30,000

Description of Work: CONSTRUCTION OF NEW DECK  
EXPANSION OF EXISTING SUNROOM  
ADDITION OF 1 BATHROOM

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Property Owner's Name: MUHAMMAD SAJID  
Address: 11790 OLD FREDERICK ROAD  
City: MARRIOTTVILLE State: MD Zip Code: 21104  
Phone: 410-800-8974 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: MOHAMMED MUFTI  
Address: 12410 FREDERICK ROAD  
City: W. FRIENDSHIP State: MD Zip Code: 21794  
Phone: 443-604-3127 Fax: \_\_\_\_\_  
Email: brmufti@gmail.com

Contractor Company: OWNER  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
License No.: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>52'</u>	<u>60'</u>
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]  
Print Name: MOHAMMED MUFTI  
Email Address: BRMUFTI@GMAIL.COM  
Title/Company: \_\_\_\_\_

Print Name: MOHAMMED MUFTI  
Date: 5/30/18

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>5/31/18</u>	<u>[Signature]</u>

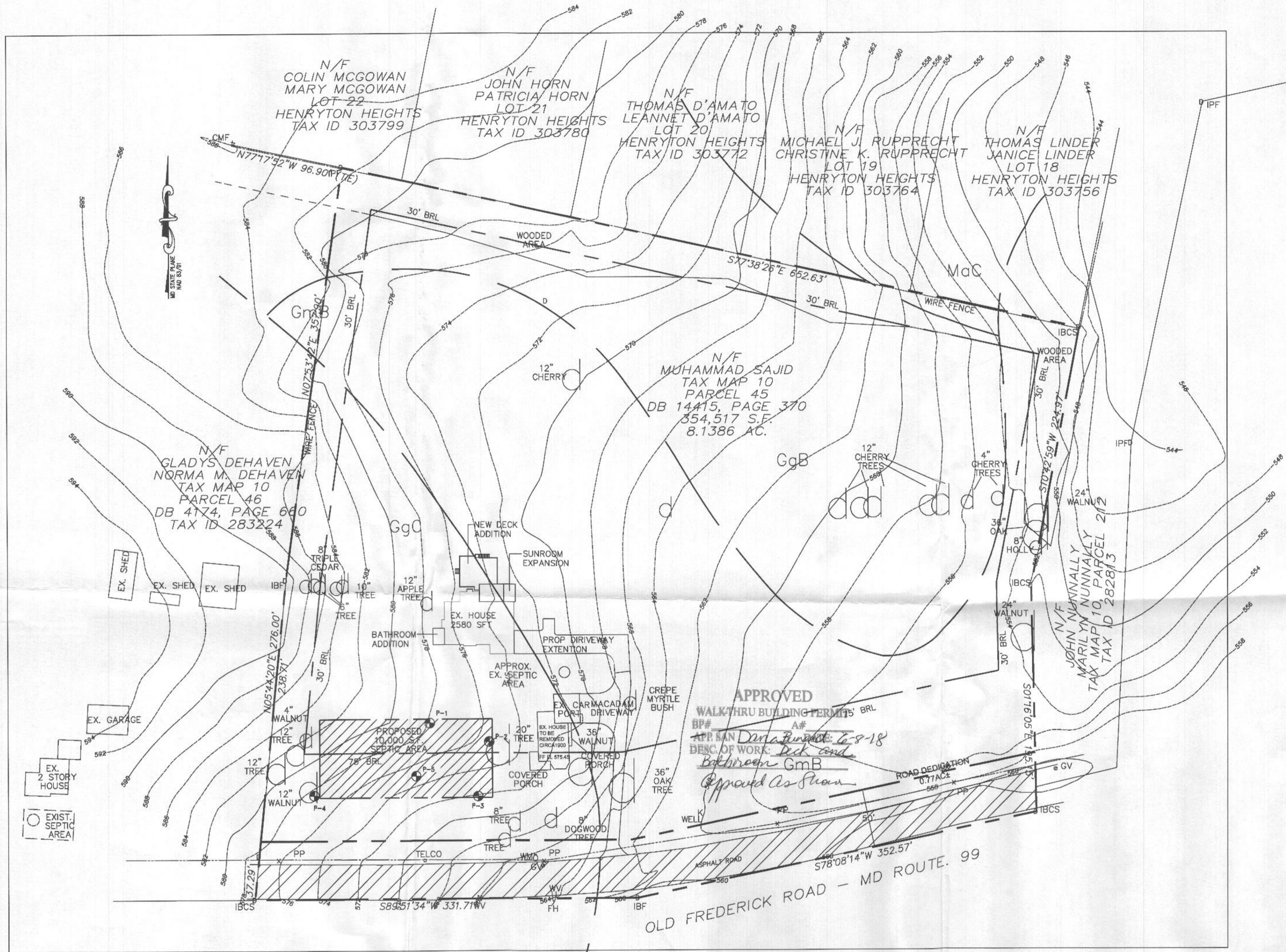
Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#



VICINITY MAP  
SCALE: 1" = 2000'



**GENERAL NOTES:**

1. SUBJECT PROPERTY IS CURRENTLY ZONED RR-DEO.
2. PROPERTY BOUNDARY IS BASED ON A DEED PLOT AND LOCATION IS APPROXIMATE ONLY.
3. TOPOGRAPHY SHOWN IS BASED ON FIELD RUN SURVEY PERFORMED IN SEP 2013.
4. BOUNDARY SHOWN IS BASED ON DEED MOSAIC.
5. CURRENT DWELLING IS NOT IN USE AND SHALL BE DEMOLISHED AFTER CONSTRUCTION OF NEW.
6. PROPOSED HOUSE WILL BE 5 BED ROOM SINGLE FAMILY HOME.
7. SUBJECT PROPERTY HAS PUBLIC WATER.
8. CURRENT HOUSE IS SERVED BY SEPTIC AND NEW PERC TESTS WERE PERFORMED AND OBSERVED BY STATE INSPECTOR ON SEPTEMBER 17, 2013. ALL TESTS PASSED.

OWNER/DEVELOPER  
MUHAMMAD SAJID  
11790 OLD FREDERICK ROAD  
HARRISVILLE, MD 21104  
PHONE: 410-744-4313

Mufti & Associates  
6413 Windsor Mill Rd  
Baltimore, MD 21207

Phone: 410-570-1938  
Fax: 888-444-7248

MUHAMMAD PROPERTY  
11790 OLD FREDERICK ROAD  
TAX MAP 10 GRID 20 PARCEL 45  
3RD ELECTION DISTRICT

**SOILS LEGEND**

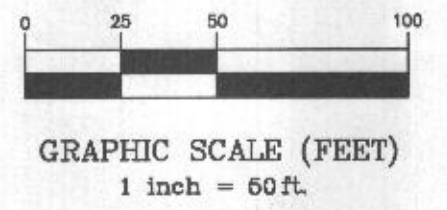
MAP SYMB	SOIL GROUP	SOIL TYPE
GgB	B	GLENELG LOAM, 3-8 % SLOPES
GgC	B	GLENELG LOAM, 8-15% SLOPES
GbC	B	GLADSTONE LOAM, 8-15% SLOPES
GmB*	C	GLENVILLE SILT LOAM, 3-8% SLOPES
MaC	B	MANOR LOAM, 8-15% SLOPES

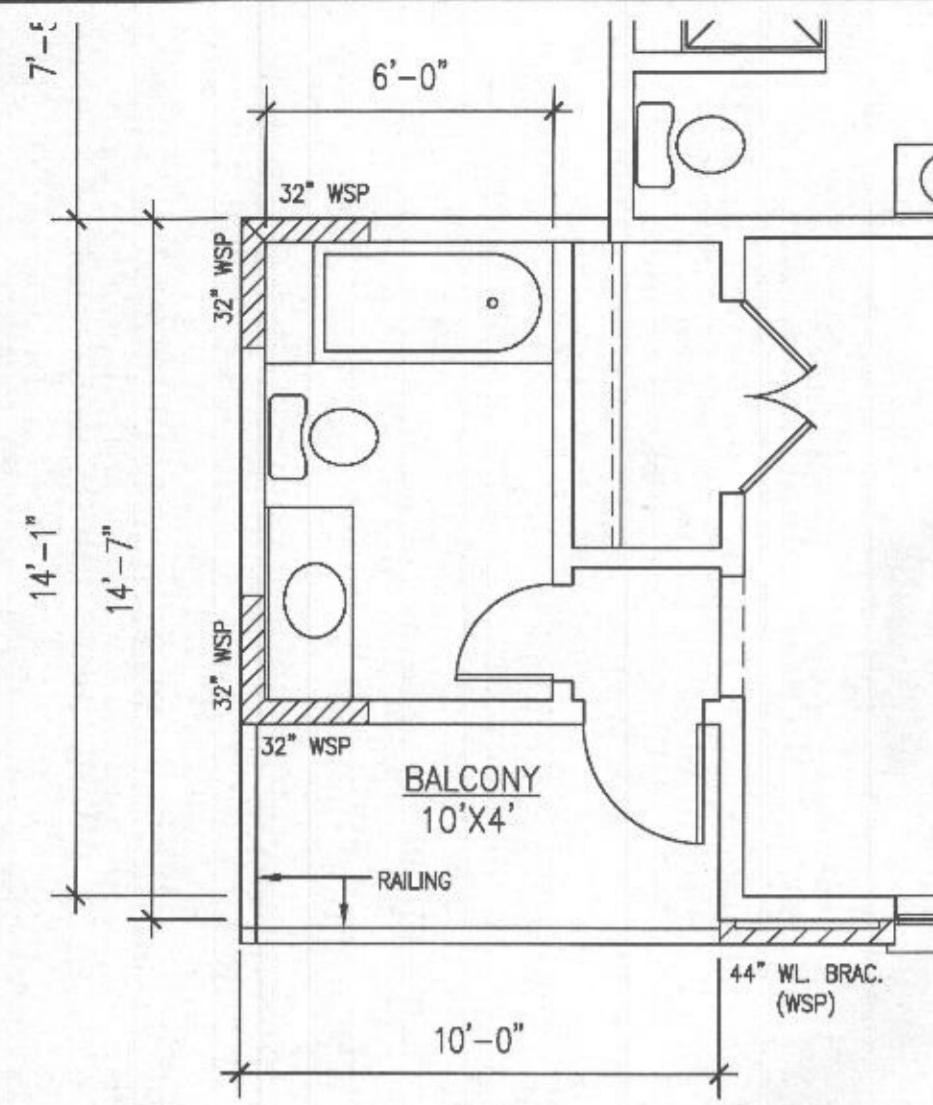
FROM NATURAL RESOURCES CONSERVATION SERVICES WEB SOIL SURVEY 2.0  
\* HYDRIC SOILS

Revisions:	Date:
Drawn by:	RAS 7/29/13
Designed by:	RAS 7/29/13

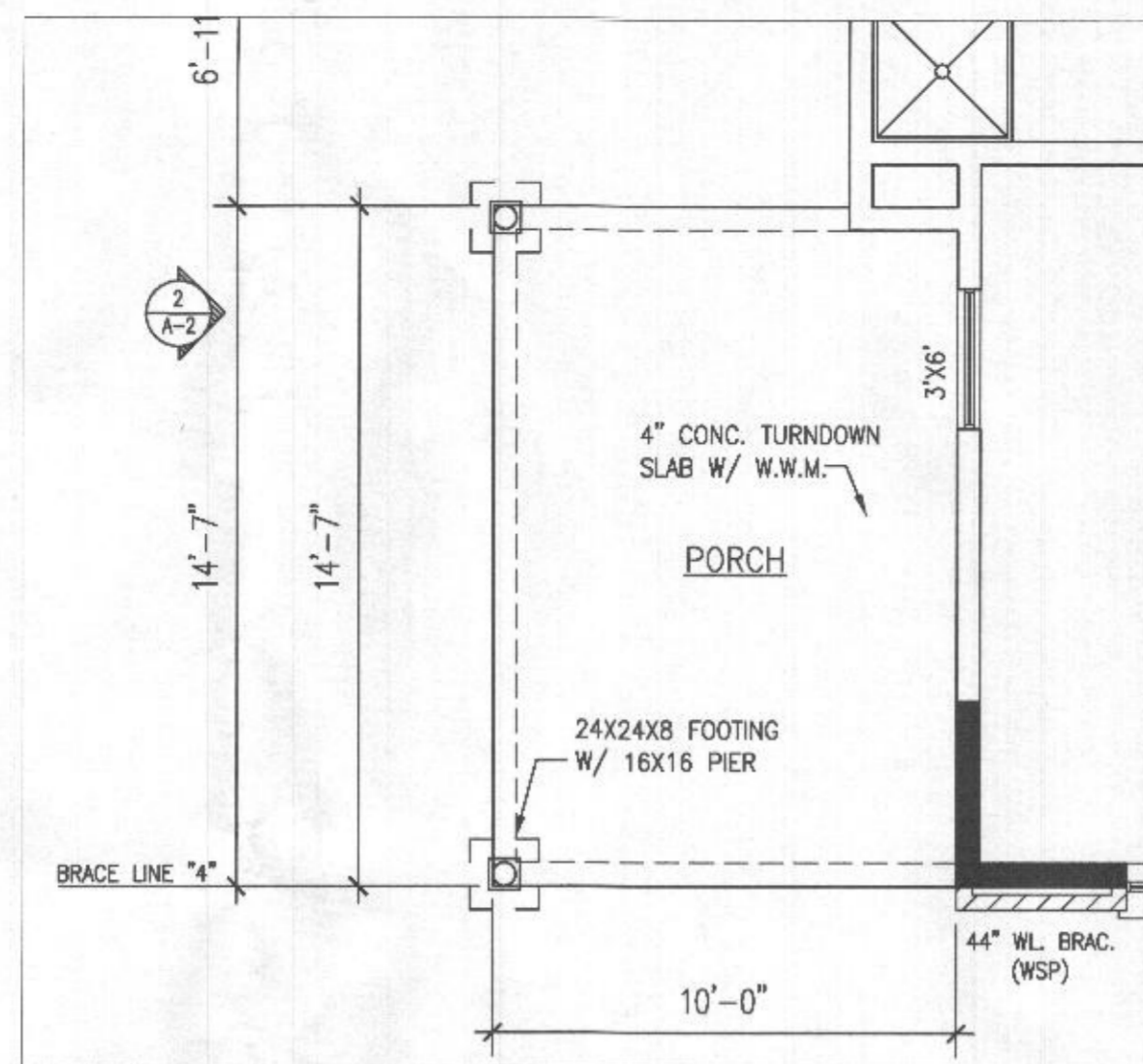
Sheet Title:  
**PERC TEST PLAN**

Scale: AS SHOWN

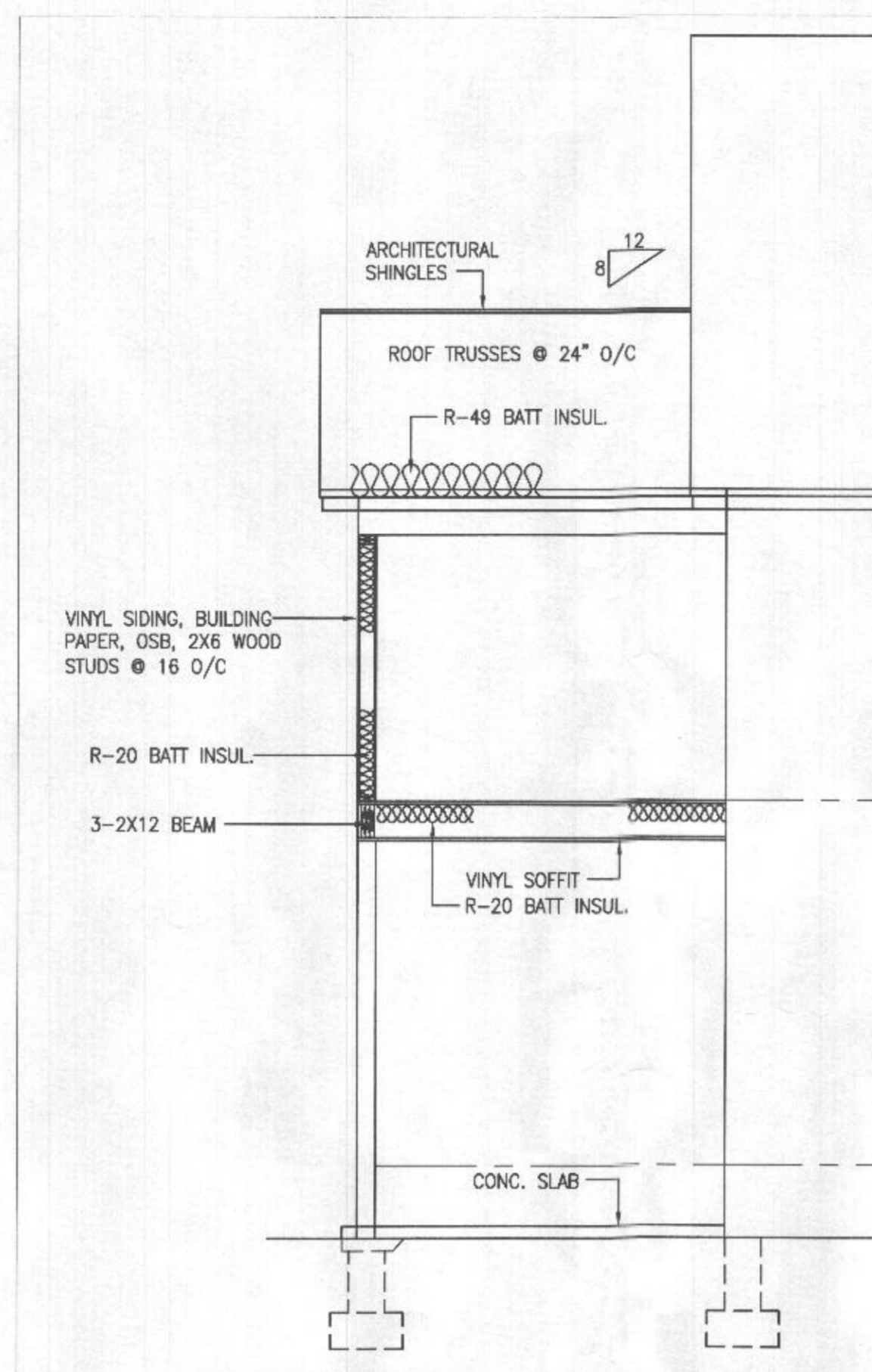




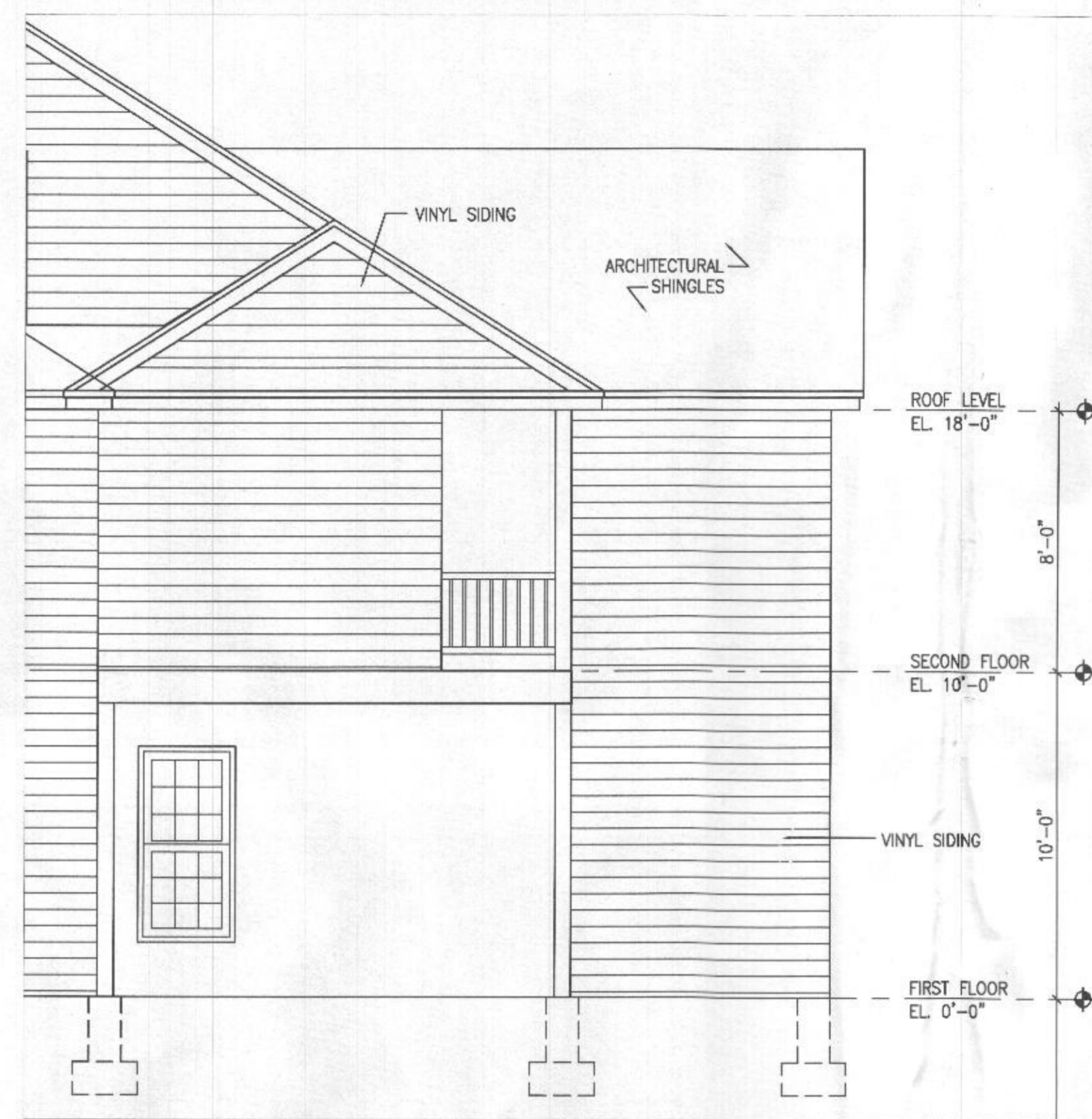
14 S. Floor Plan  
A-1 SCALE: 1/8" = 1'-0"



13 F. Floor Plan  
A-1 SCALE: 1/8" = 1'-0"

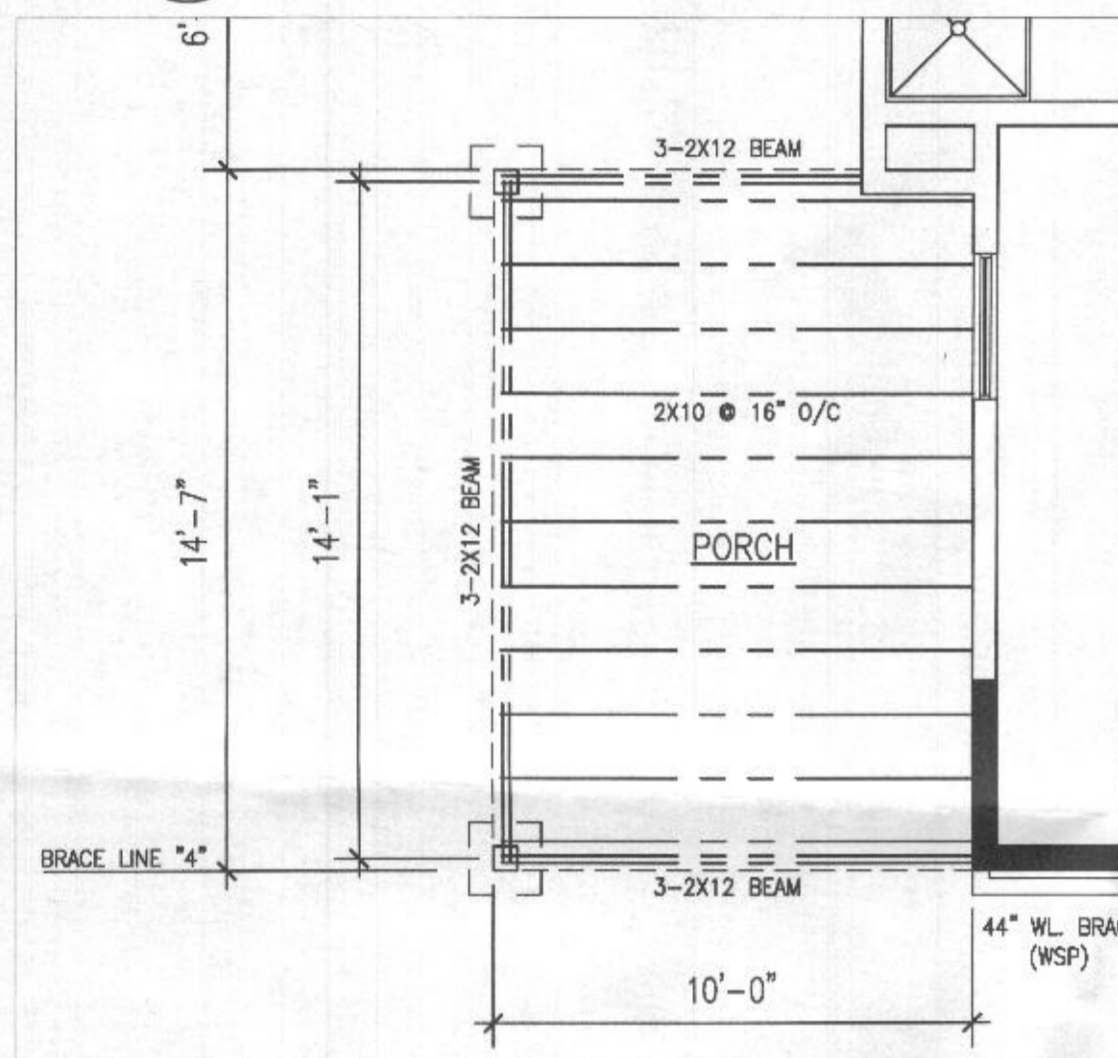


12 Section  
A-1 SCALE: 1/4" = 1'-0"

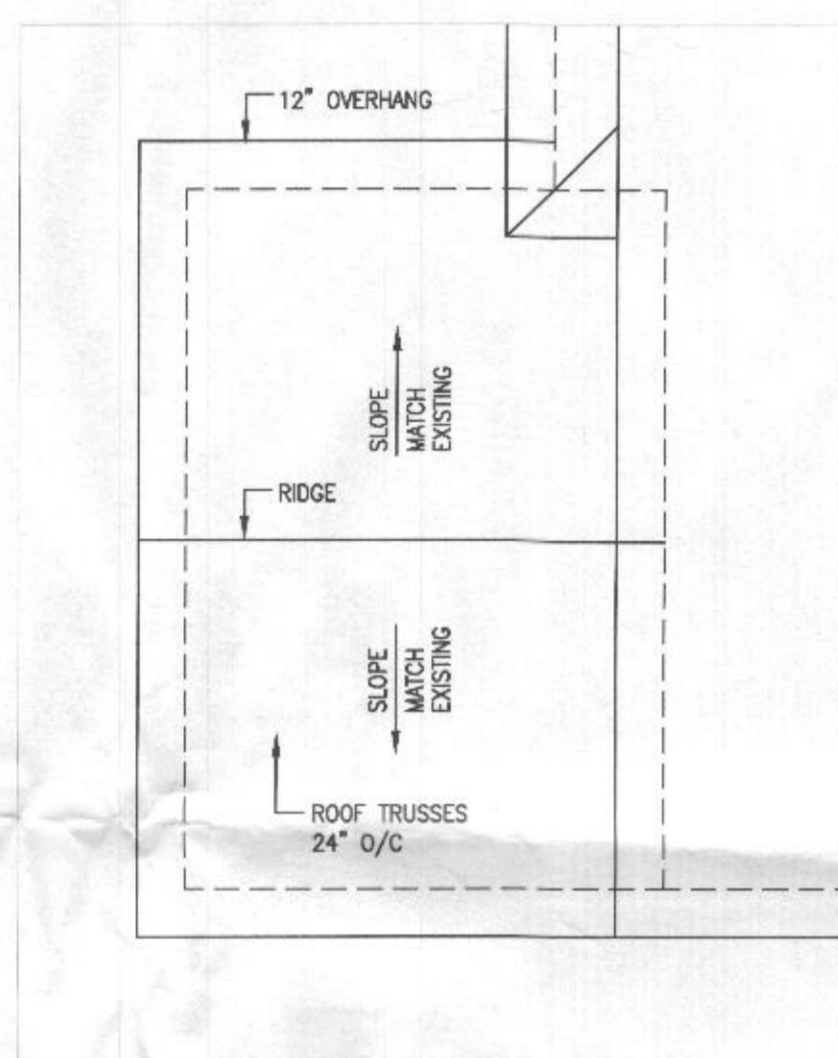


11 Side Elevation  
A-1 SCALE: 1/8" = 1'-0"

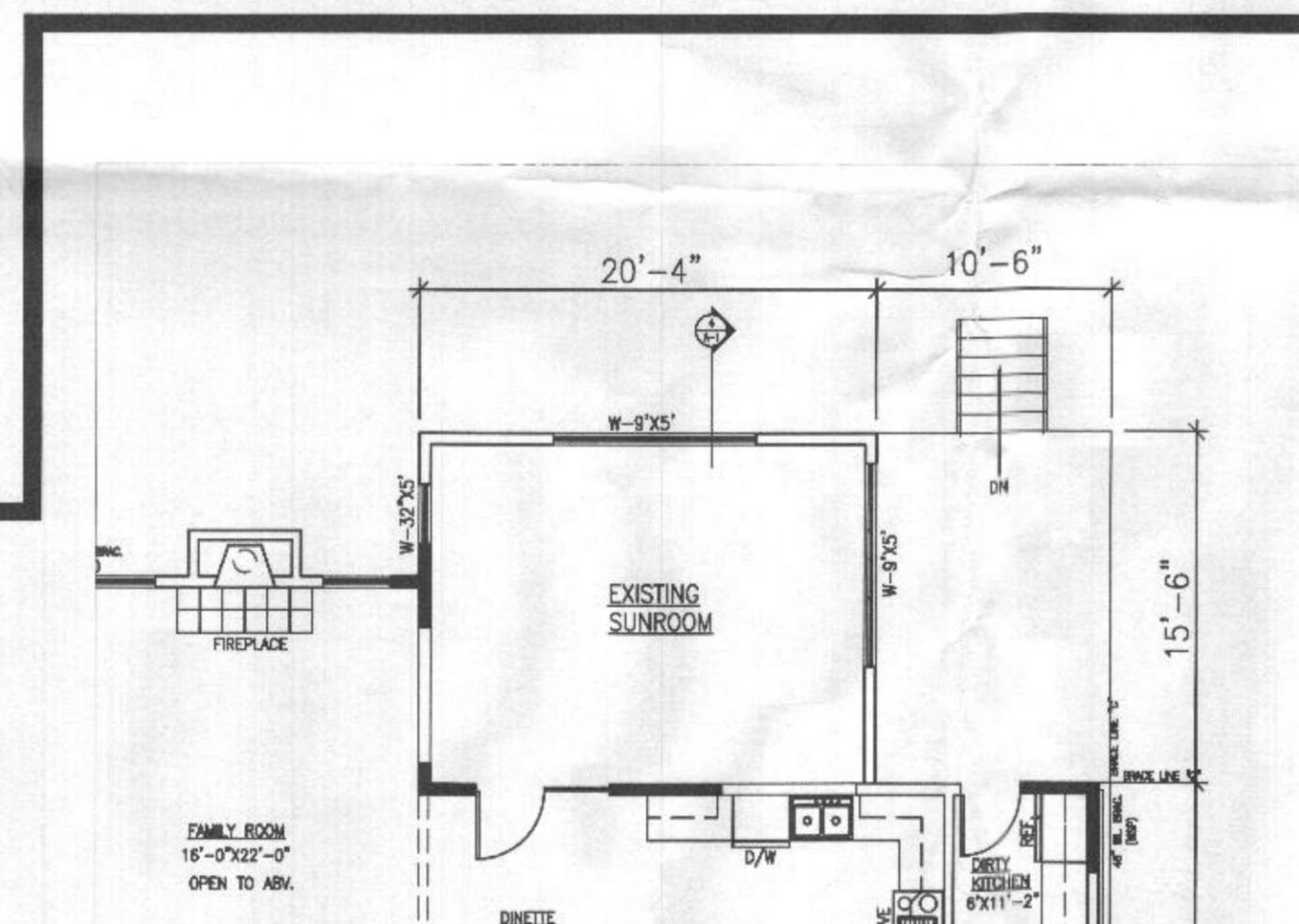
BATHROOM ADDITION



10 Fram. Plan  
A-1 SCALE: 1/8" = 1'-0"

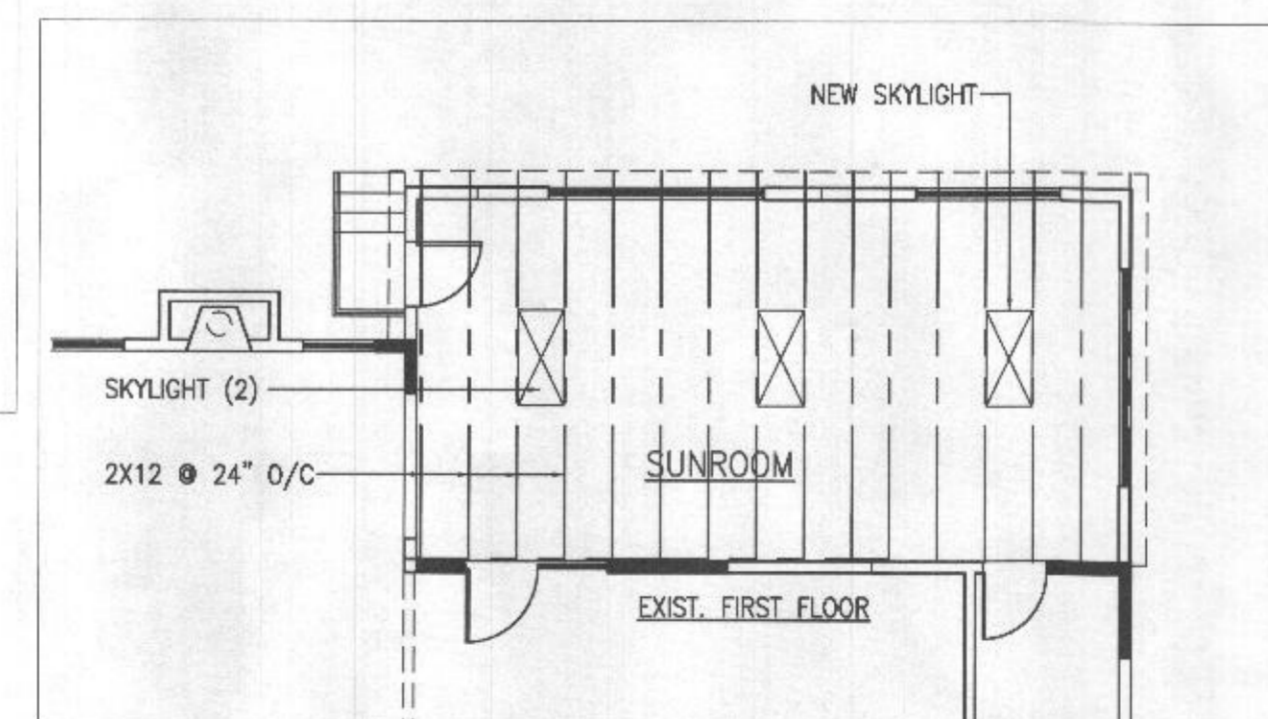


9 Roof Plan  
A-1 SCALE: 1/8" = 1'-0"

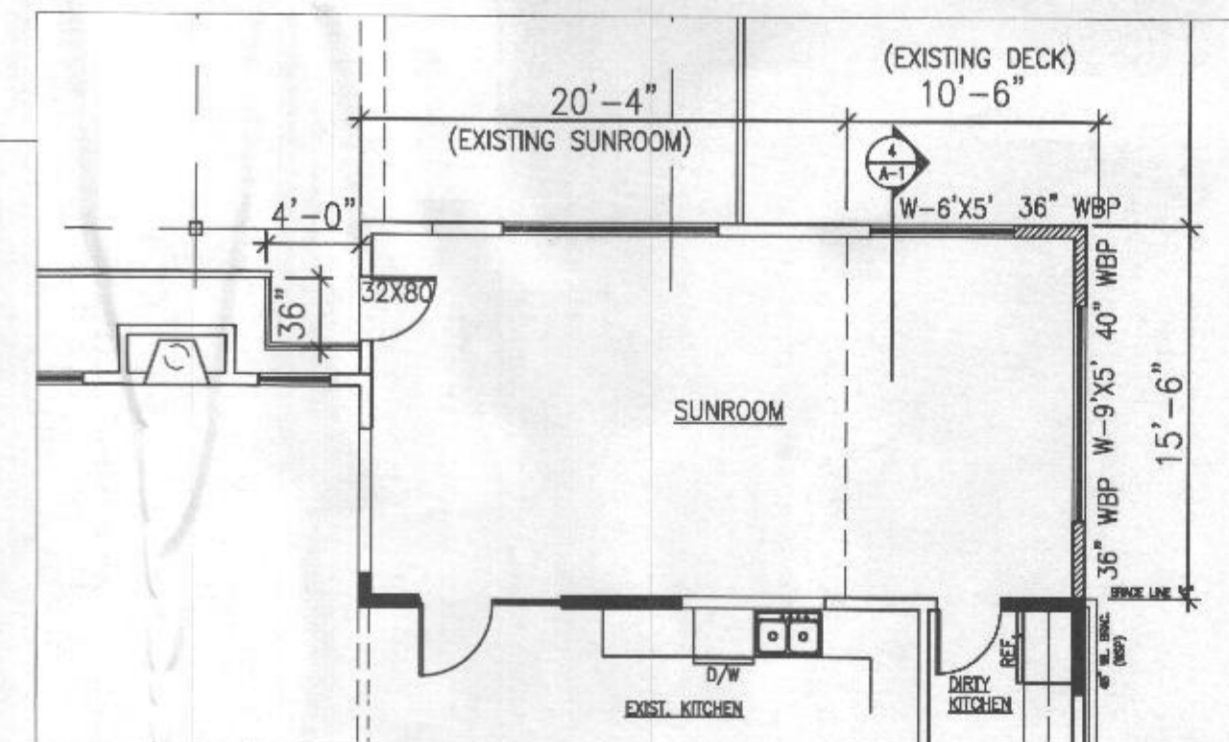


6 Exist. Sunroom Plan  
A-1 SCALE: 1/8" = 1'-0"

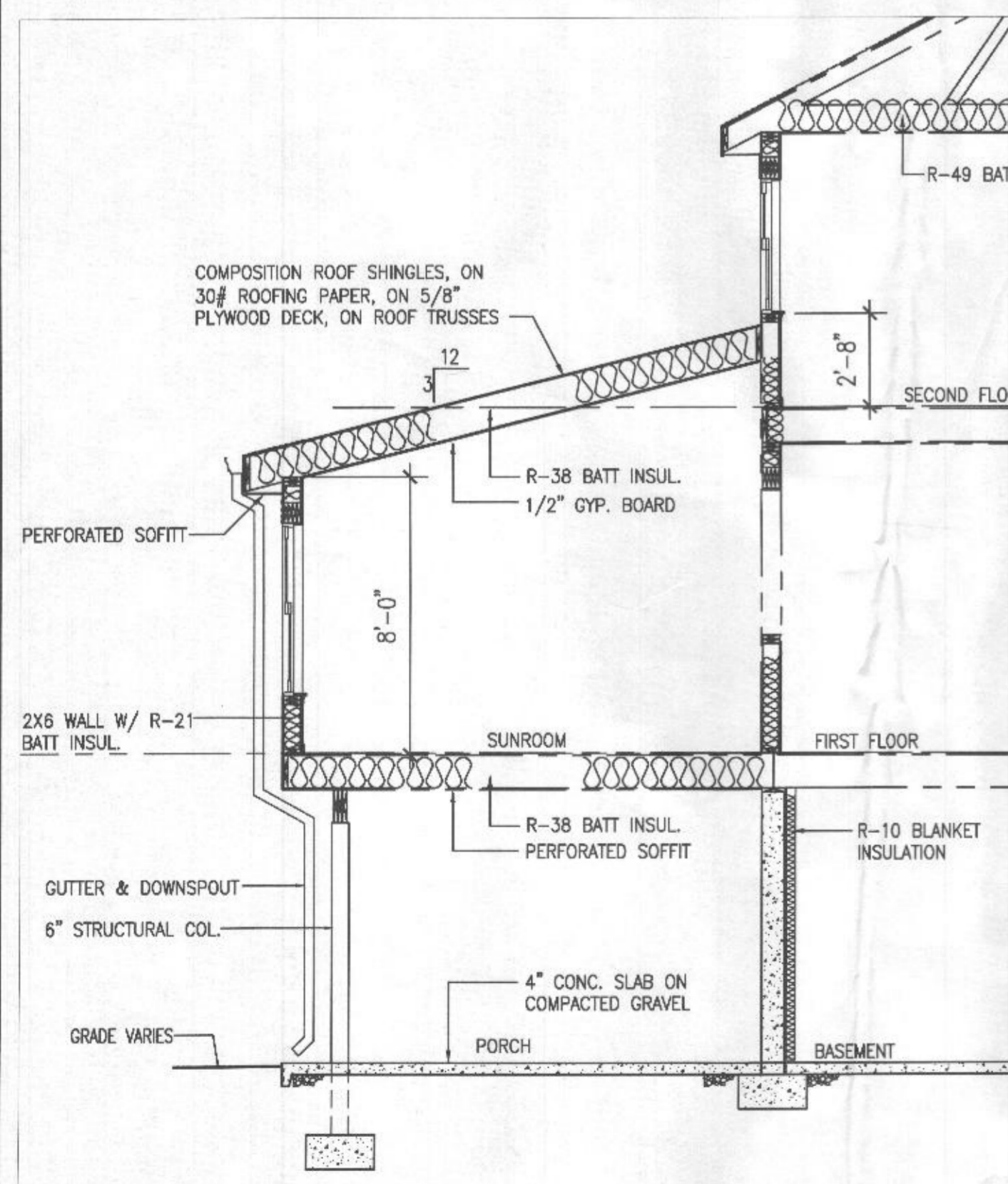
SUNROOM EXPANSION



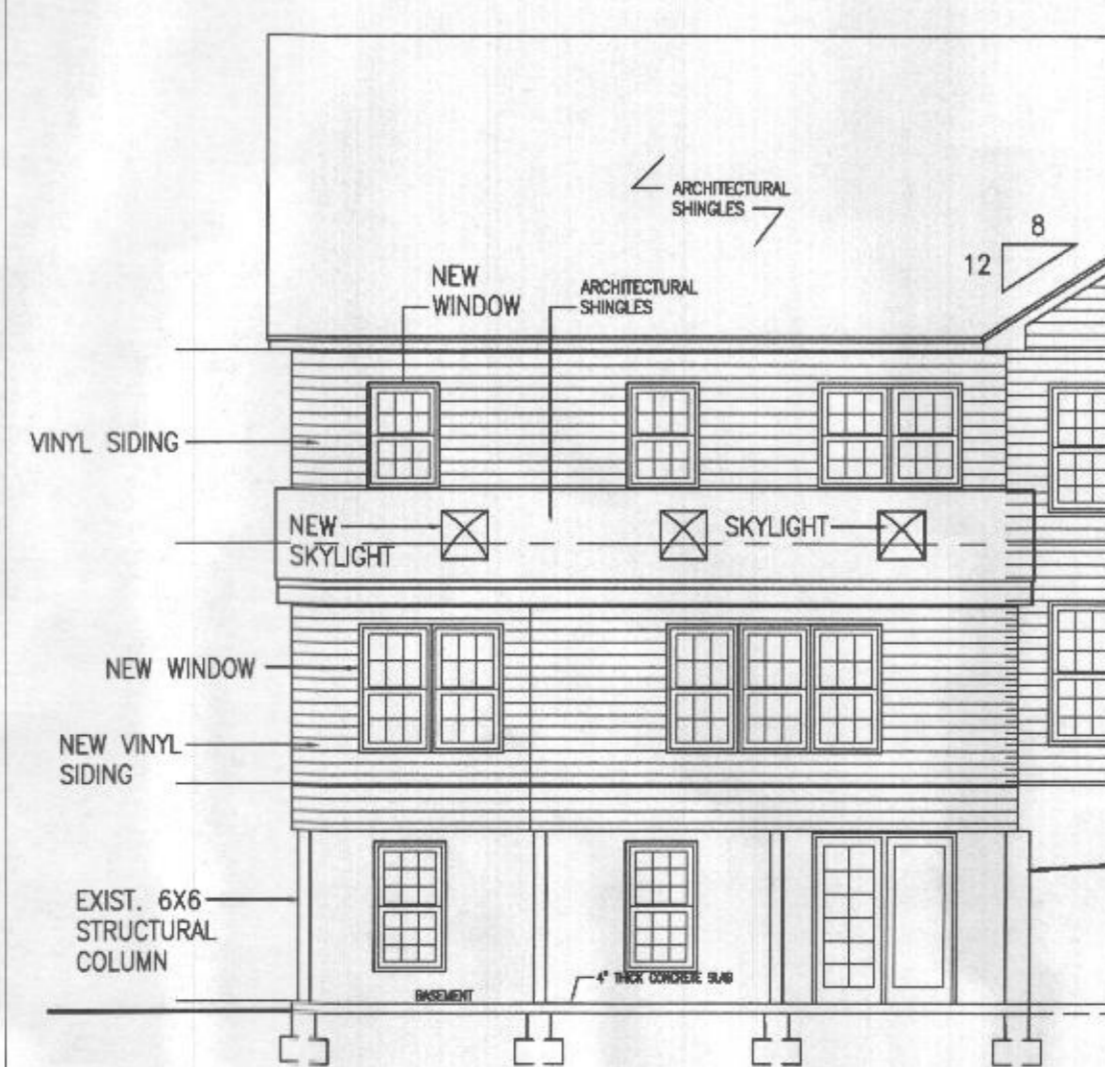
4 Sunroom Roof Framing  
A-1 SCALE: 1/8" = 1'-0"



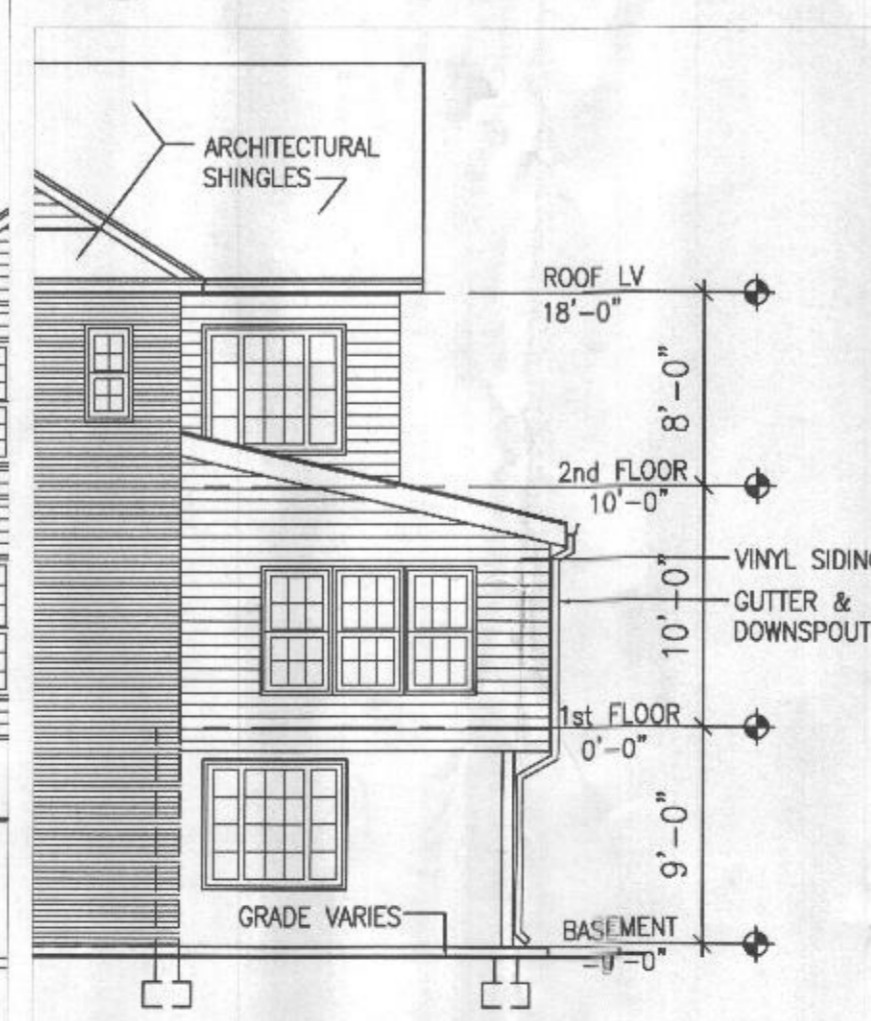
2 F. FLOOR PLAN  
A-1 SCALE: 1/8" = 1'-0"



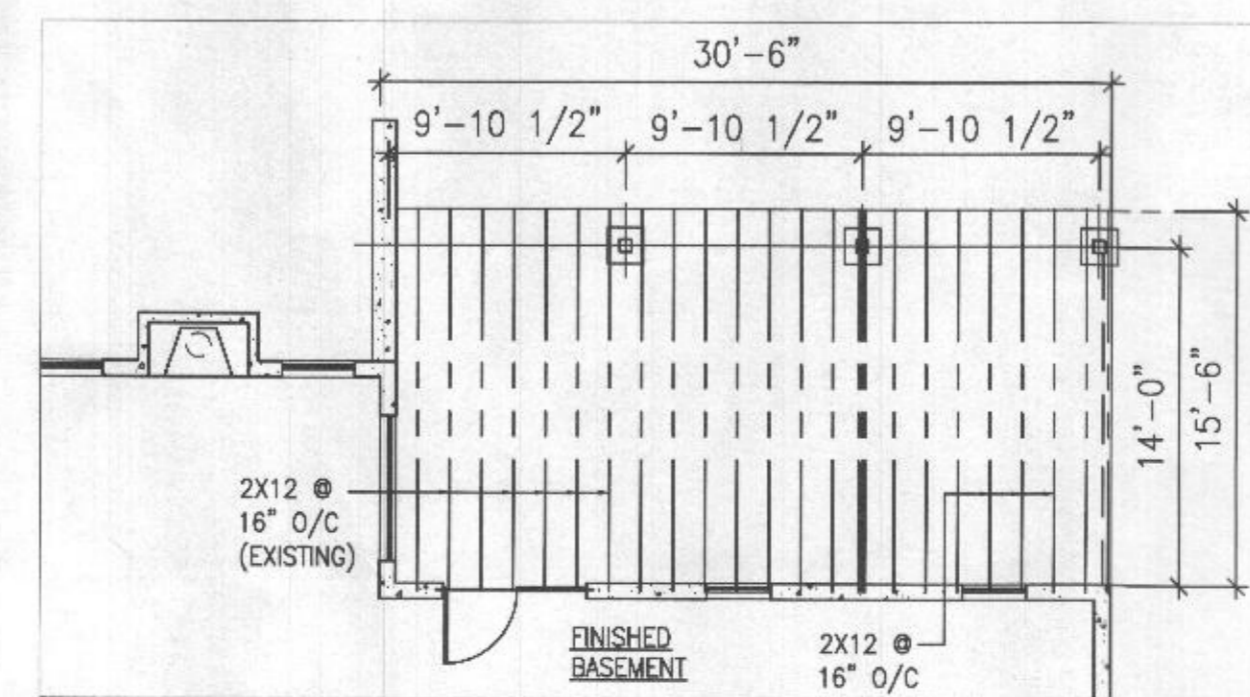
8 Section  
A-1 SCALE: 1/4" = 1'-0"



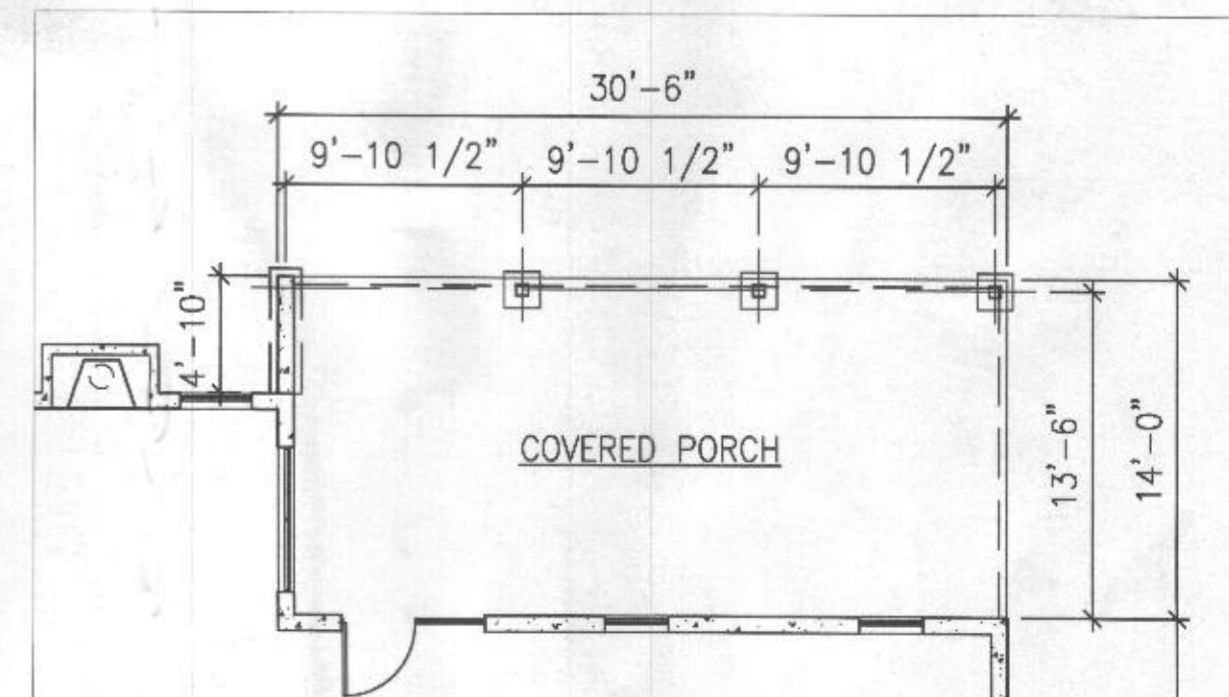
7 Rear Elevation  
A-1 SCALE: 1/8" = 1'-0"



5 Side Elevation  
A-1 SCALE: 1/8" = 1'-0"



3 Sunroom Floor Framing  
A-1 SCALE: 1/8" = 1'-0"



1 BASEMENT PLAN  
A-1 SCALE: 1/8" = 1'-0"

Mufti & Associates, Inc.  
6413 Windsor Mill Road  
Baltimore, Md 21207

Phone: 443-604-3127

Sajid Residence  
Proposed Additions  
11790 Old Frederick Road  
Ellicott City, Maryland

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

Drawn by: \_\_\_\_\_

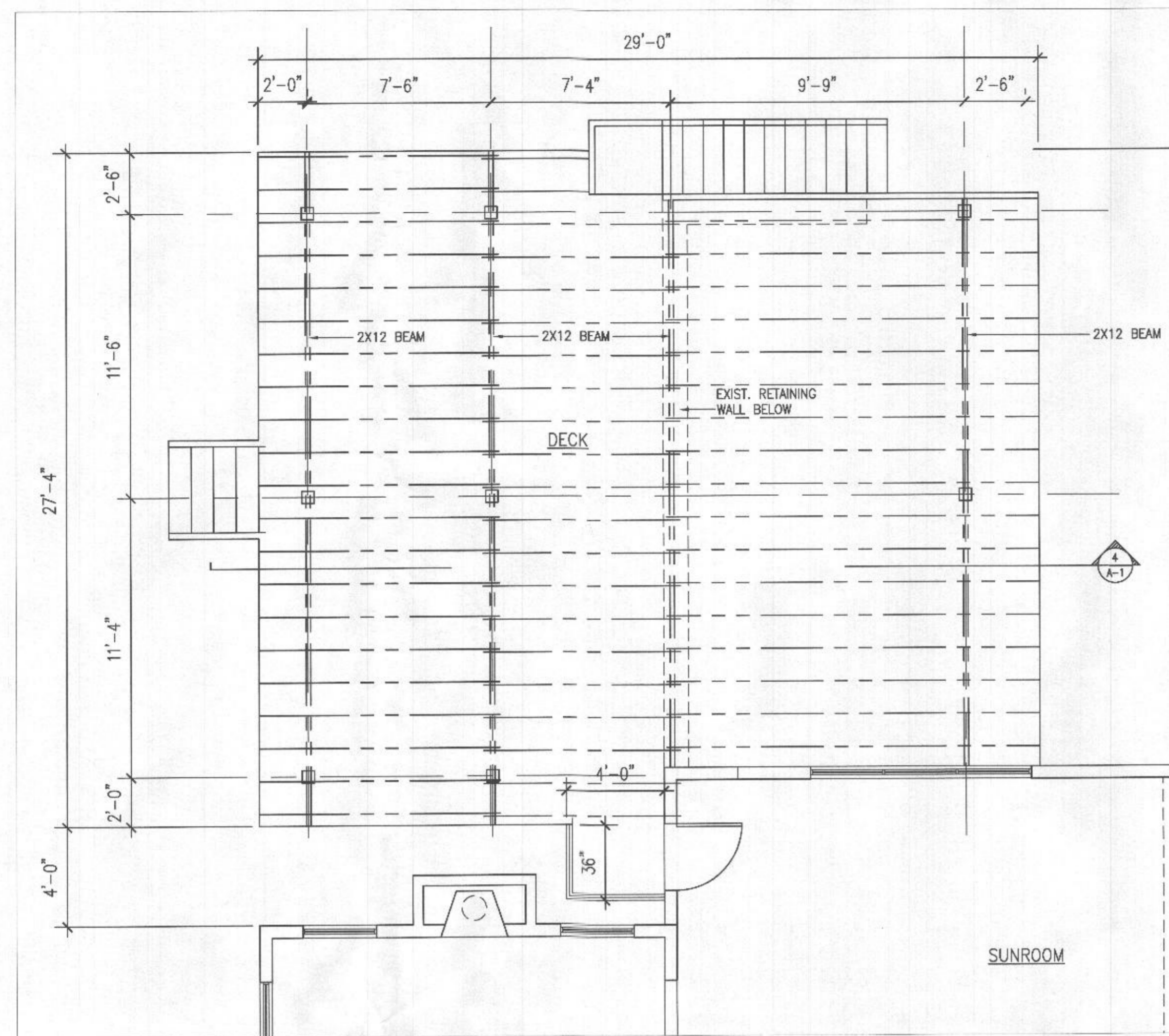
Designed by: MM 5/18/18

Sheet Title:

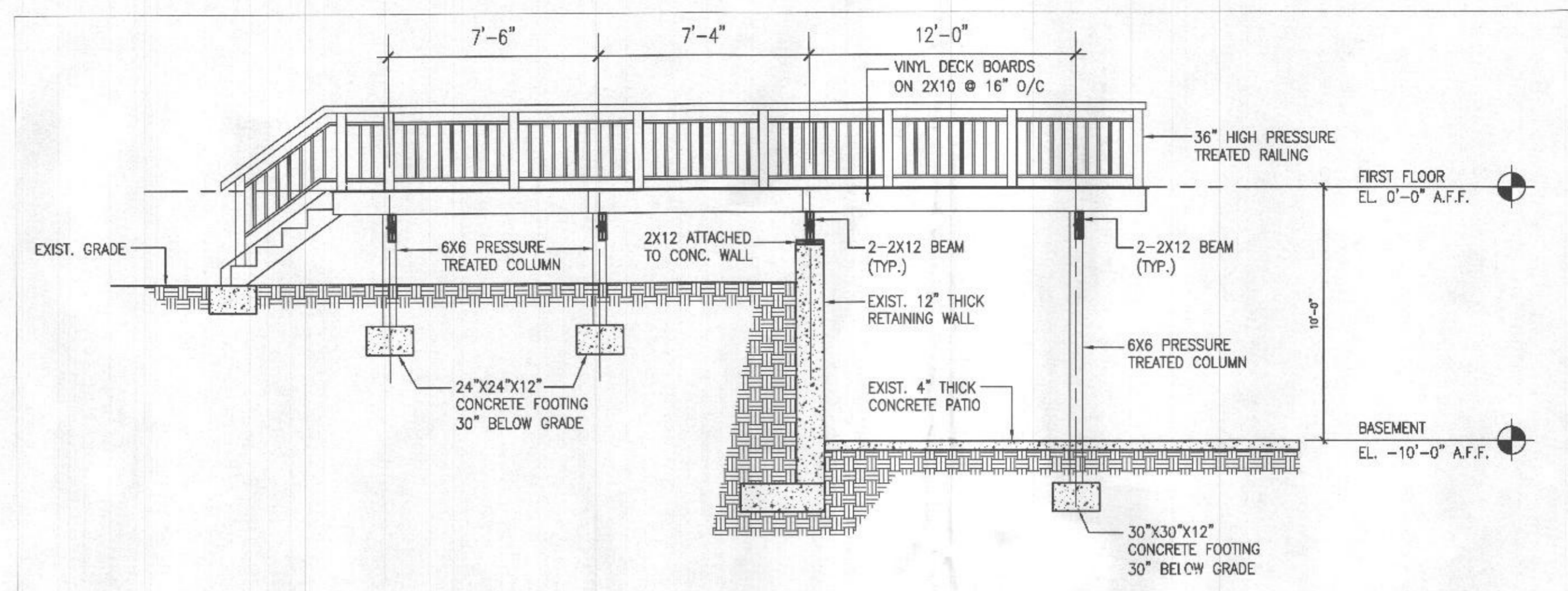
PLANS  
ELEVATIONS  
SECTION

Scale: AS NOTED

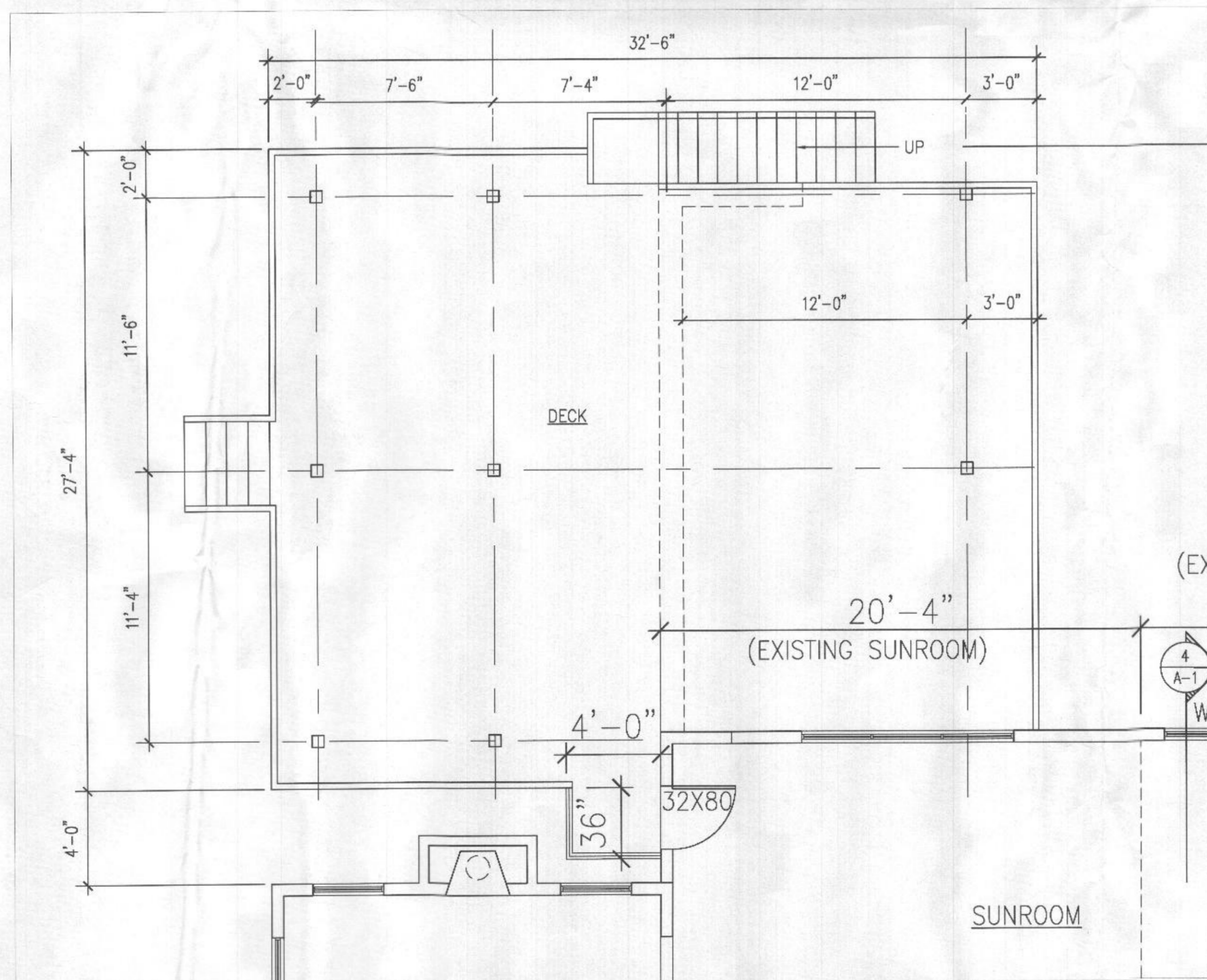
A-1



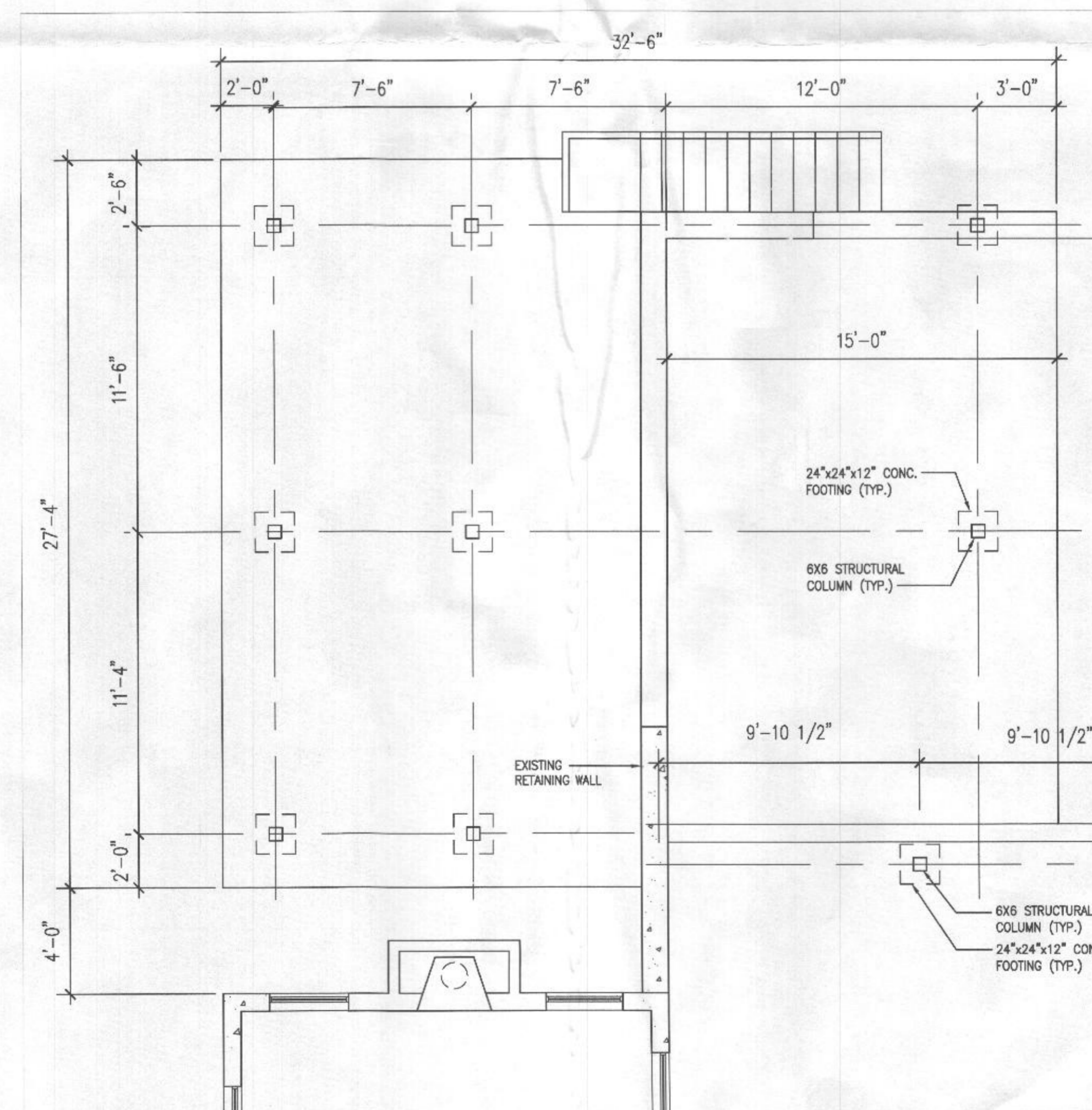
3 Deck Framing Plan  
A-2 SCALE: 1/4" = 1'-0"



4 Deck Section  
A-2 SCALE: 1/4" = 1'-0"



2 First Floor Deck Plan  
A-2 SCALE: 1/4" = 1'-0"



1 Basement Level Foundation Plan  
A-2 SCALE: 1/4" = 1'-0"

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Baltimore, Md 21207

Phone: 443-604-3127

Sajid Residence  
Proposed New Deck Construction  
11790 Old Frederick Road  
Ellicott City, Maryland

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_  
Drawn by: \_\_\_\_\_  
Designed by: MM 5/13/18

Sheet Title:

PLANS

Scale: AS NOTED

A-2