



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 12213 ...
 City: ... State: MD Zip Code: 21244
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: _____
 Proposed Use: _____
 Estimated Construction Cost: \$...
 Description of Work: ...
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: _____
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
➤ Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____
 Email Address _____
 Title/Company _____

Print Name _____
 Date _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	5/9	<i>[Signature]</i>

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

HEALTH DEPT B17004433

CARUSO HOMES, INC.

2120 BALDWIN AVE. - SUITE 200
CROFTON, MD 21114

TEL (301) 261-0277
FAX (301) 261-6588

© 2014 DAVID R. ROBBINS EXPRESSLY RESERVES ITS COPYRIGHT AND PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER.

"WAKE FOREST"

SINGLE FAMILY

REVISIONS		
DATE	COMMENT	
12-04-13	NEW 3000 SQ. FT. HOUSE TYPE FROM OLD SET	JAS
12-05-13	REVISED 30% COMPLETE PROGRESS SET	JAS
01-16-14	REVISED 70% COMPLETE PROGRESS SET	JAS
01-21-14	REVISED 80% COMPLETE PROGRESS SET	JAS
01-28-14	REVISED 85% COMPLETE PROGRESS SET	JAS
01-29-14	REVISED 90% COMPLETE PROGRESS SET	JAS
02-10-14	SUBSTANTIAL COMPLETION W/ELECTRIC SCHEMATIC ADDED	JAS
03-11-14	REVISED BASED ON COMMENTS FROM CLIENT	
06-05-14	REVISE LAUNDRY RM. LAYOUT, REVISE ENTRY INTO FAMILY, ADD BUTLER'S PANTRY W/ OPT. DELUXE KITCHEN PLAN	th
09-04-14	REVISE WINDOW SIZES IN GABLES IN ALL ELEVATIONS	th
11-26-14	ADD RES-CHECK COMPLIANCE FORMS	th
01-09-15	REVISED PER COMMENTS FRONT PG COUNTY	th
03-20-15	ADD 2-STORY MORNING W/ STD. SECOND FLR. & ALT. ELEV'S	th
01-02-15	ADDITIONAL REVISIONS	JL
01-08-15	SWAP THE OWNER'S BATH & SITTING RM. W/ 2-STORY MORN. RM.	th
01-09-15	OMIT WINDOW AT OWNER'S BATH VANITY, RESIZE SHUR. WINDOW	th
01-25-15	WIDEN MAIN HALL IN STANDARD SECOND FLOOR	th
08-11-15	REVISED PER ADDITIONAL COMMENTS	JL
05-16-16	2015 CODE UPDATE	rc
06-01-16	ADD OPT. ONE & TWO-STORY CONSERVATORY DETAILS	rc
01-18-16	REVISED PER ADDITIONAL COMMENTS	rc
01-19-16	PG COUNTY PEER REVIEW COMMENTS	rc
09-16-16	STD. OPEN RAIL AT SECOND FLOOR	rc

INDEX	
SHEET	DRAWING
1	TITLE SHEET
21A	PRINCE GEORGE'S COUNTY GENERAL NOTES
22	RES-CHECK COMPLIANCE FORMS
PG-2	PRINCE GEORGE'S COUNTY DETAILS
3J	ELEVATION #1
3JB	ELEVATION #1 w/ OPT. FULL BRICK
3J8	ELEVATION #1 w/ OPT. PARTIAL STONE
3J1	ELEVATION #1 w/ STONE & BRICK
32	ELEVATION #2
32B	ELEVATION #2 w/ OPT. FULL BRICK
32S	ELEVATION #2 w/ OPT. PARTIAL STONE
32M	ELEVATION #2 w/ STONE & BRICK
33	ELEVATION #3
33A	PARTIAL PLANS - ELEVATION #3
33B	ELEVATION #3 w/ OPT. FULL BRICK
33S	ELEVATION #3 w/ OPT. PARTIAL STONE
33M	ELEVATION #3 w/ STONE & BRICK
34	SIDES & REAR ELEVATIONS w/ ALTERNATE SECOND FLOOR PLAN
41	FOUNDATION PLAN
42	OPT. FINISHED LOWER LEVEL PLAN
51	FIRST FLOOR PLAN
52	FIRST FLOOR PLAN - OPT. DELUXE KITCHEN
61	STANDARD SECOND FLOOR PLAN
62	ALTERNATE SECOND FLOOR PLAN
71	OPT. 2-CAR SIDE LOAD GARAGE DETAILS
72	OPT. 3-CAR SIDE LOAD GARAGE DETAILS
81	TYPICAL WALL SECTIONS - PRINCE GEORGE'S COUNTY
82	BUILDING SECTION 1A-A
83	BUILDING SECTION B-B
84	BUILDING SECTIONS C-C
85	BUILDING SECTIONS D-D' & E-E'
86	BUILDING SECTION F-F'
91	OPTIONAL ONE-STORY MORNING ROOM DETAILS
92	OPTIONAL TWO-STORY MORNING ROOM DETAILS
92A	OPTIONAL TWO-STORY MORNING ROOM DETAILS
93	OPTIONAL TWO-STORY 4' FAMILY / OWNER'S SUITE EXT.
94	OPTIONAL TWO-STORY MORNING RM./TWO-STORY 4' FAMILY RM. EXT.
94A	OPTIONAL TWO-STORY MORNING RM./TWO-STORY 4' FAMILY RM. EXT.
95	OPTIONAL ONE-STORY CONSERVATORY DETAILS
95A	OPTIONAL TWO-STORY CONSERVATORY DETAILS
SD-1	TYPICAL AREAWAY DETAILS
E11	FIRST FLOOR ELECTRIC PLAN & REAR OPTIONS
E12	OPTIONAL FIRST FLOOR ELECTRIC PLAN w/ DELUXE KITCHEN
E21	STANDARD SECOND FLOOR ELECTRIC PLAN & OPTIONS
E21A	STANDARD SECOND FLOOR ELECTRIC PLAN OPTIONS
E22	ALTERNATE SECOND FLOOR ELECTRIC PLAN & OPTIONS
S-0	STRUCTURAL NOTES & INDEX
S-1	FOUNDATION PLAN
S-1A	FOUNDATION PLAN
S-1B	FOUNDATION PLAN
S-2	FIRST FLOOR FRAMING PLAN
S-2A	FIRST FLOOR FRAMING PLAN
S-3	SECOND FLOOR FRAMING PLAN
S-3A	SECOND FLOOR FRAMING PLAN
S-3B	SECOND FLOOR FRAMING PLAN
S-4	ROOF FRAMING PLAN
S-4A	ROOF FRAMING PLAN
S-4B	ROOF FRAMING PLAN
SD-1	SECTION DETAILS
SD-2	SECTION DETAILS
SD-3	SECTION DETAILS
SD-4	SECTION DETAILS
SD-5	SECTION DETAILS

CUS 127- Iyamu Residence
12793 Frederick Rd
West Friendship 21794

Approved 4 BRs
B17004433 1/30/18
RAE

REVISED: 09-28-16

ALL WORK SHALL COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

2015 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:		Prince Georges County, MD									
GROUND SNOW LOAD	WIND SPEED (mph)		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	Speed (mph)	Topographic Effects		Weathering	Frost Line Depth	Terrace					
35 PSF	15		A / B	SEVERE	30"	MODERATE TO HEAVY					

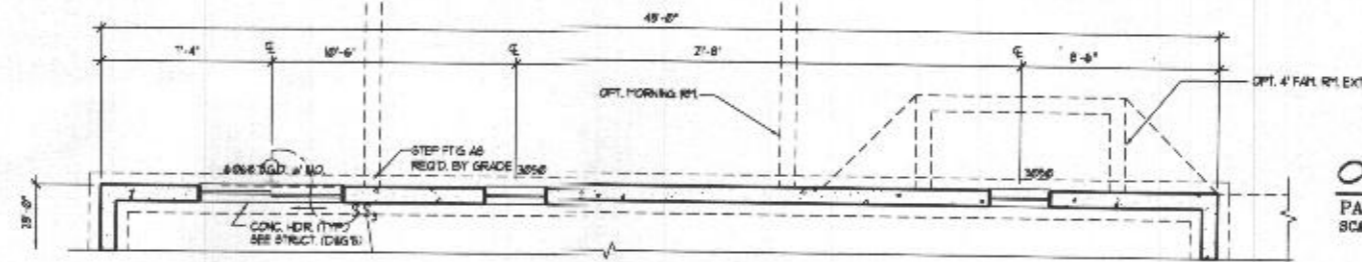
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
license number: 5981
expiration date: 04-03-2018

STRUCT. REVIEW	5-17-13
PROJECT REVIEW	5-17-13
"II" STAIR DESIGN	YES

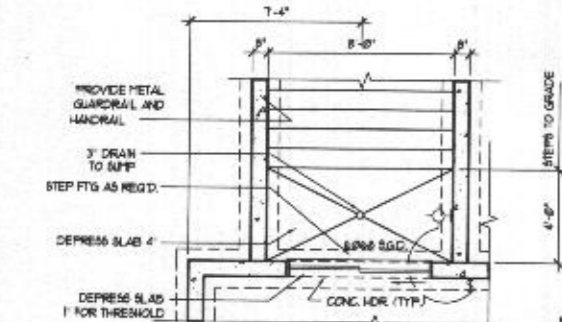
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

WAKE FOREST

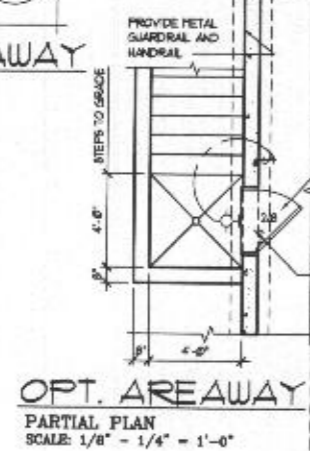
CA703068



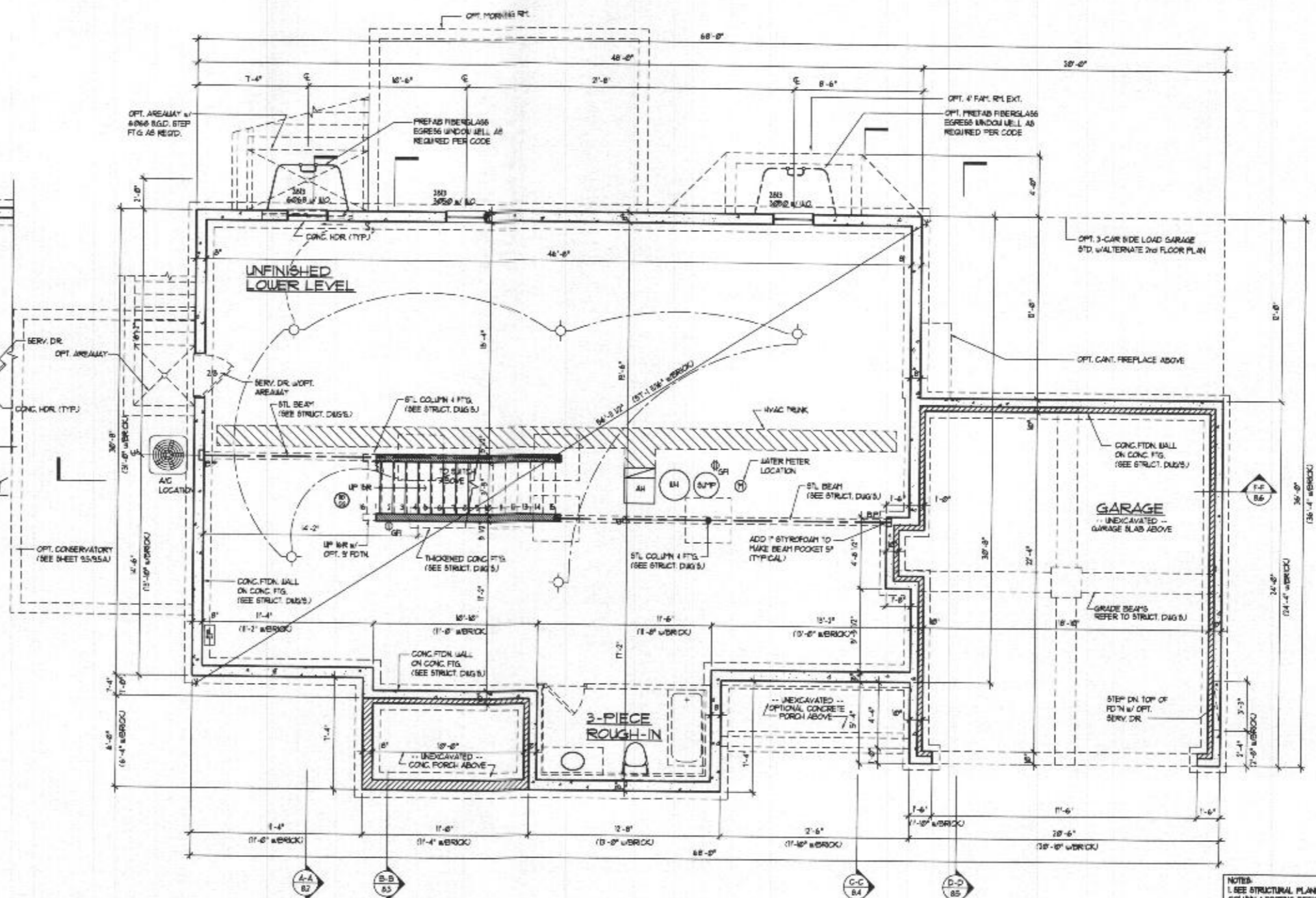
OPT. WALK OUT
PARTIAL FOUNDATION PLAN
SCALE: 1/8" = 1/4" = 1'-0"



OPT. WIDE WELL AREAWAY
PARTIAL PLAN
SCALE: 1/8" = 1/4" = 1'-0"



OPT. AREAWAY
PARTIAL PLAN
SCALE: 1/8" = 1/4" = 1'-0"



FOUNDATION PLAN
W/ ELEVATION #1 & #2
SCALE: 1/8" = 1/4" = 1'-0"

NOTES:
1. SEE STRUCTURAL PLANS FOR BEAM, COLUMN + FOOTING DESIGN.
2. SEE STRUCTURAL PLANS FOR FOUNDATION WALL + FOOTING DESIGN.

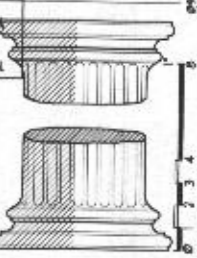
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
license number 0021
expiration date 04-05-2018

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcoll.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

FOUNDATION PLAN
content
scale: 1" = 4' (36x24) 1/4" = 1'-0" (17x17) 1/4" = 1'-0" (17x17)
drawn: JAS date: 11-27-13
CARUSO HOMES, INC.
WAKE FOREST
title

date	revision	description
01-09-15	1	REVISE GRADE BEAM NOTE
06-11-15	2	ADDITIONAL REVISIONS
08-04-15	3	REVISED PER ADDL. COMMENTS
05-16-16	4	2015 CODE UPDATE
06-01-16	5	ADD OPT. CONSERVATORY NOTES

SHEET 4.1

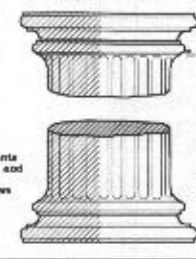


Architecture Collaborative, Inc.
 8334 Main Street
 Elkoot City, MD 21043
 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0803

FIRST FLOOR PLAN
 scale: 1/8" = 1'-0" (36x24) file: JAS date: 11-27-13
 CARUSO HOMES, INC.
 WAKE FOREST
 title

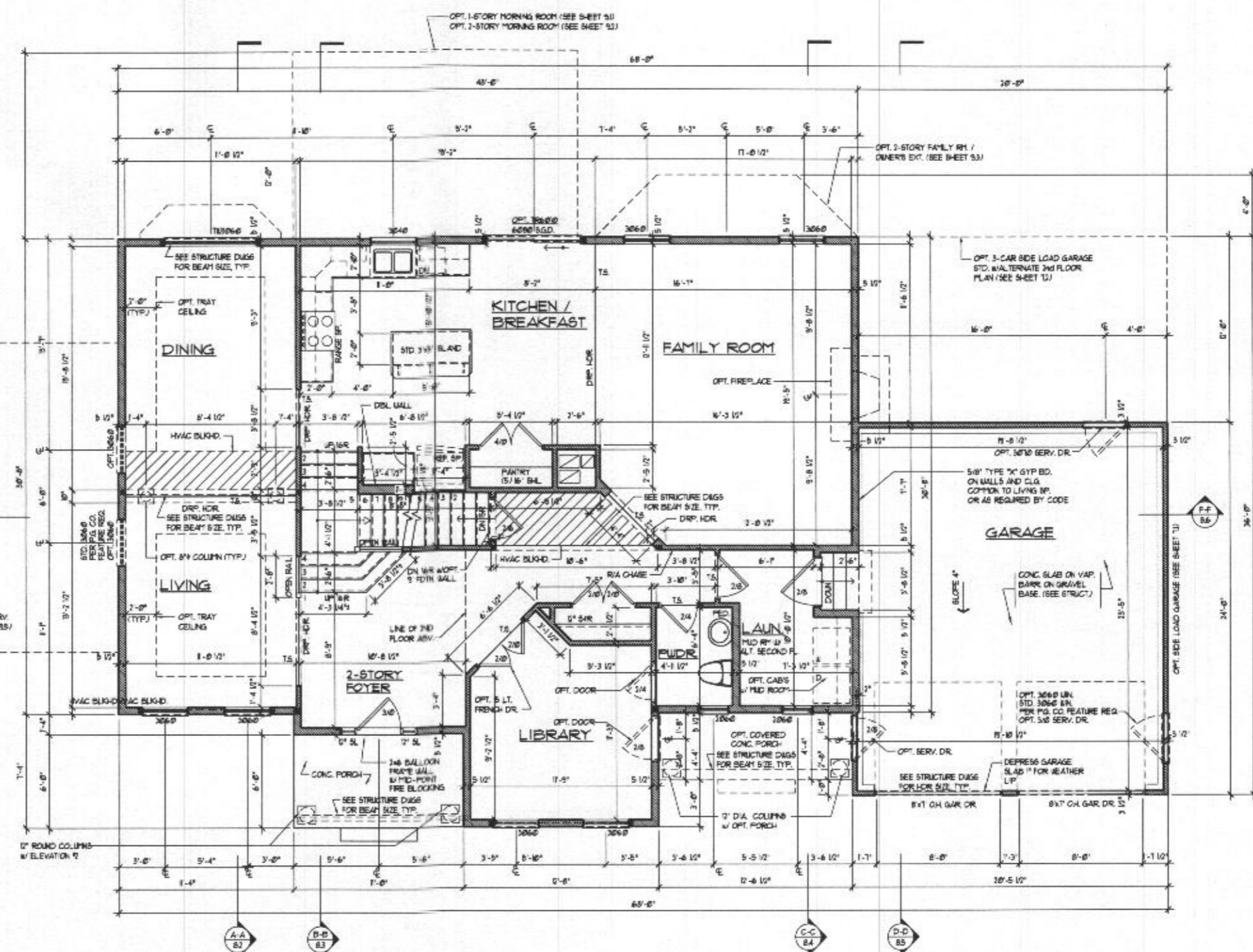
revision	date	by
08-05-15	REV KITCHEN LAYOUT / FAMILY RM.	J.L.
08-11-15	ADDITIONAL REVISIONS	J.L.
08-04-15	REVISED PER ADD'L COMMENTS	J.L.
08-01-16	ADD OPT. CONSERVATORY NOTES	NC

SHEET #
5.1

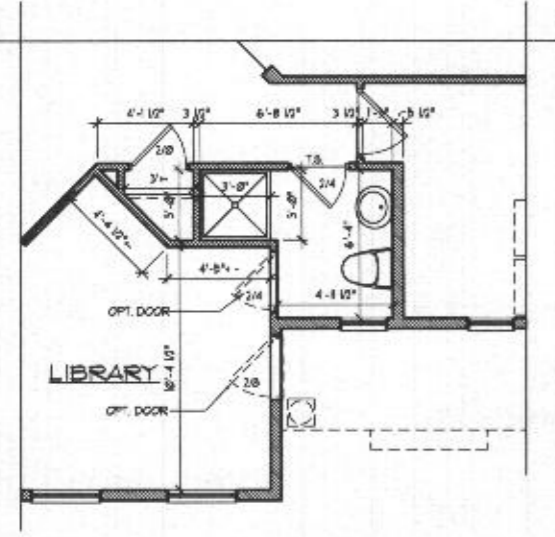


Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 license number: 04-03-0018
 expiration date: 04-03-2018

FIRST FLOOR PLAN
 W/ ELEVATION #1 & #2
 SCALE: 1/8" = 1'-0"



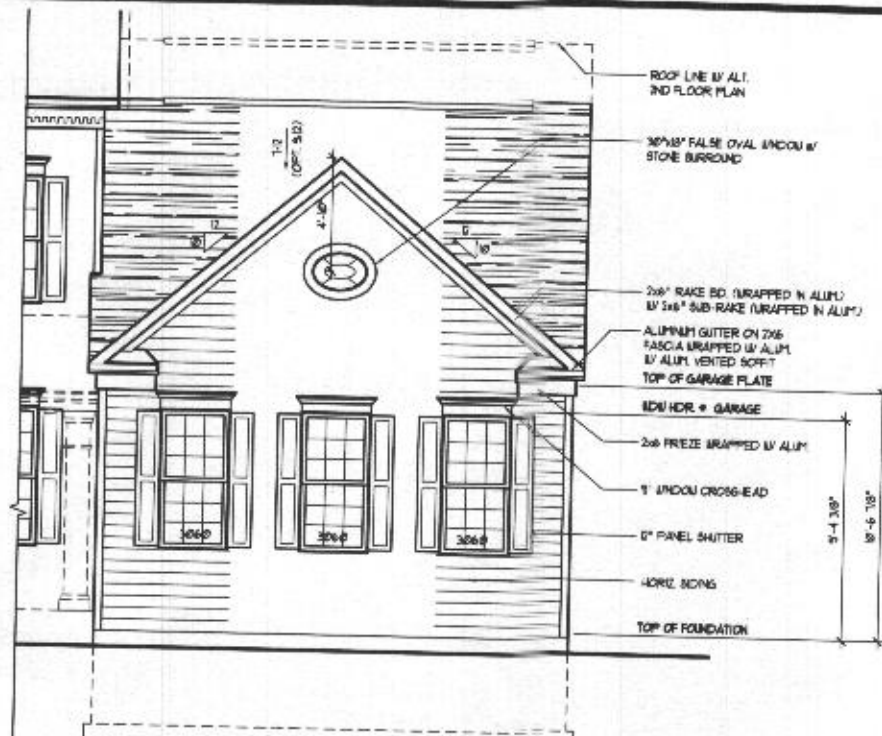
NOTE:
 SEE KITCHEN MANUFACTURER'S
 PLANS FOR EXACT LAYOUT AND
 DIMENSIONS.



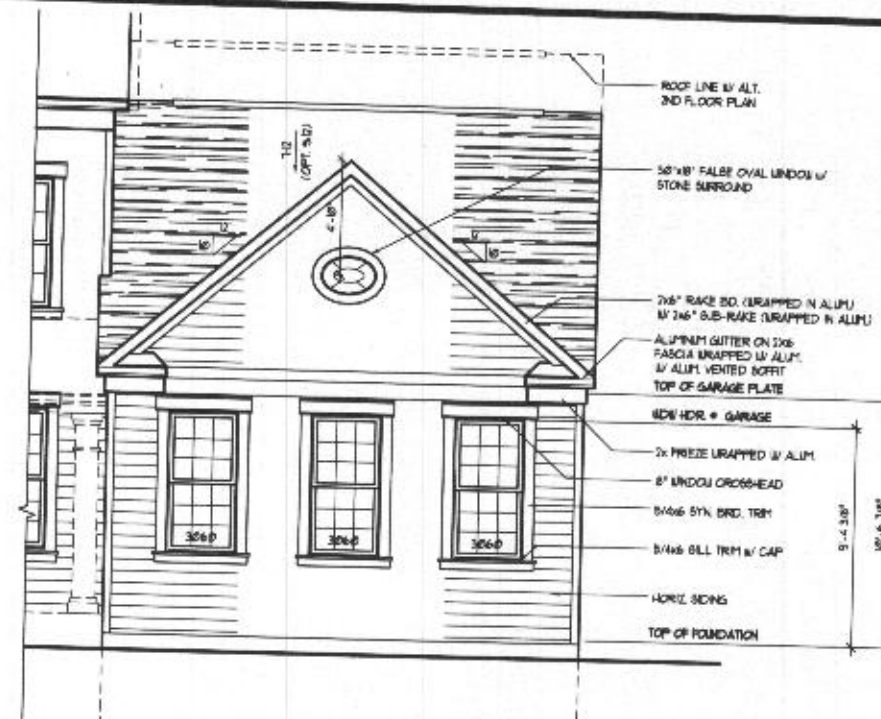
© 2011 David R. Robbins expressly reserves his copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner without written consent.



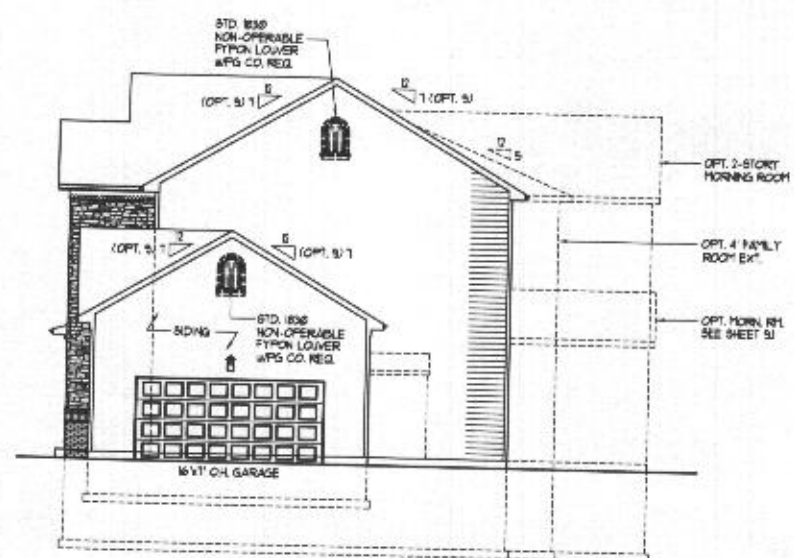
FRONT ELEVATION #1
 SCALE: 1/8" - 1/4" = 1'-0"
 PARTIAL ELEVATION SHOWN w/ SIDE LOAD or 3-CAR GARAGE



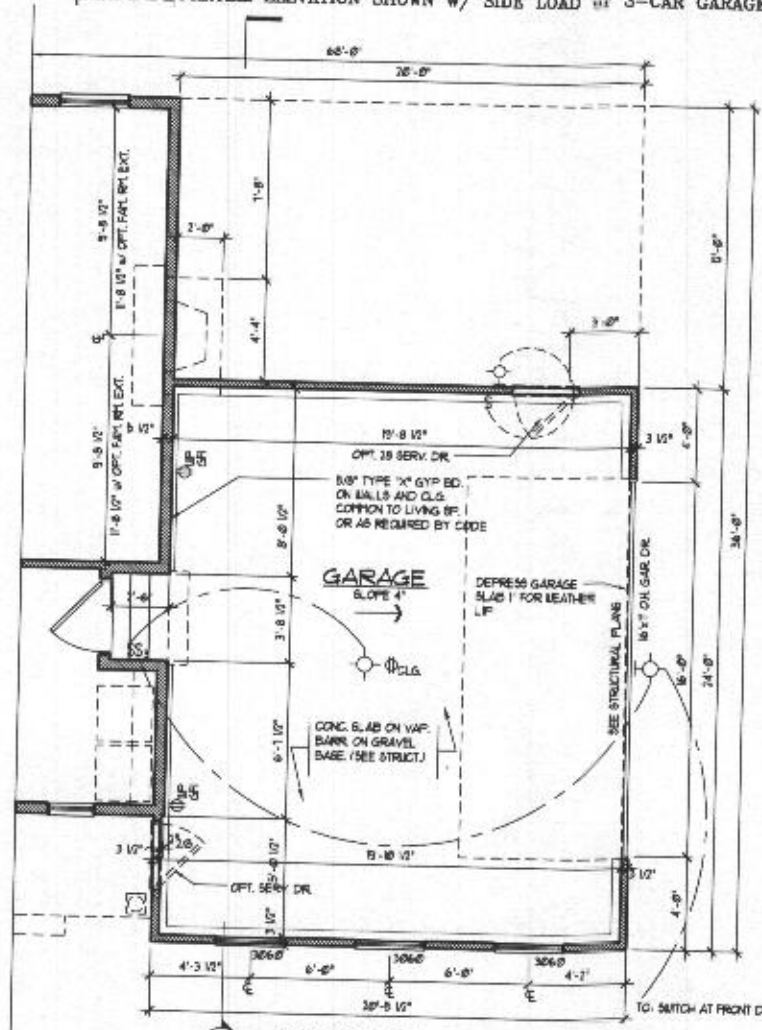
FRONT ELEVATION #2
 SCALE: 1/8" - 1/4" = 1'-0"
 PARTIAL ELEVATION SHOWN w/ SIDE LOAD or 3-CAR GARAGE



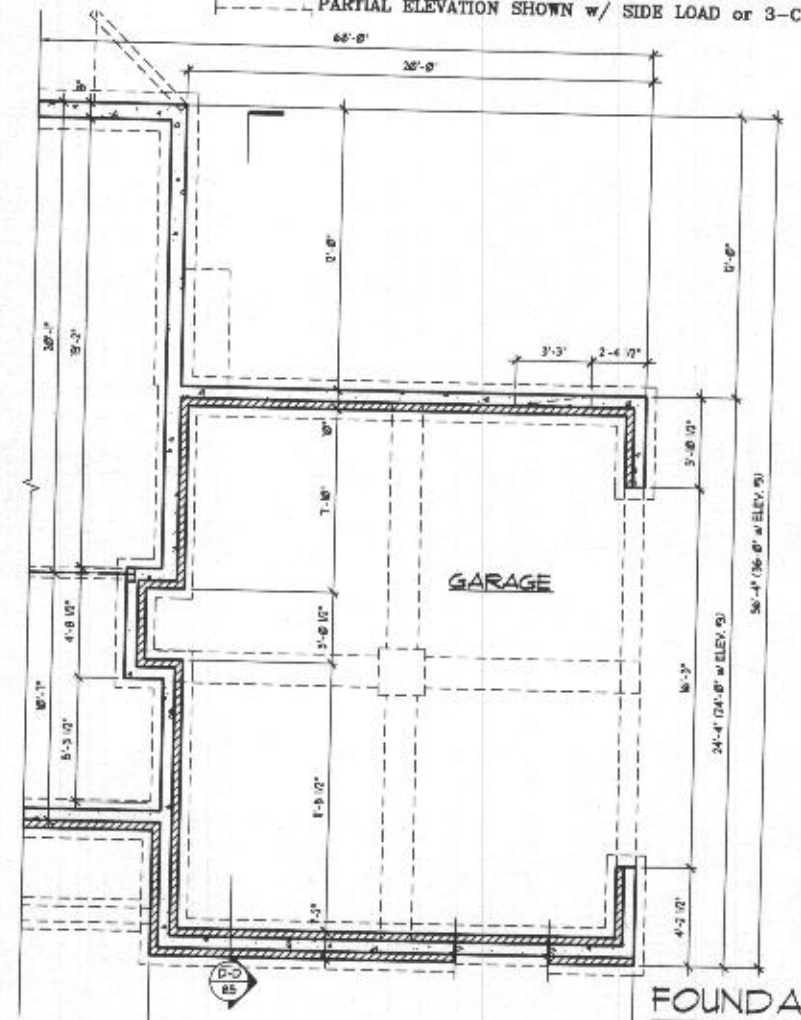
FRONT ELEVATION #3
 SCALE: 1/8" - 1/4" = 1'-0"
 PARTIAL ELEVATION SHOWN w/ SIDE LOAD or 3-CAR GARAGE



RIGHT SIDE ELEVATION
 SCALE: 1/8" - 1/4" = 1'-0"
 w/ OPT. SIDE LOAD GARAGE



FIRST FLOOR PLAN
 PARTIAL PLAN w/ OPT. SIDE LOAD GARAGE
 SCALE: 1/8" - 1/4" = 1'-0"



FOUNDATION PLAN
 PARTIAL PLAN
 SCALE: 1/8" - 1/4" = 1'-0"
OPT. 2-CAR SIDE LOAD GARAGE DETAILS
 SCALE: 1/8" - 1/4" = 1'-0"

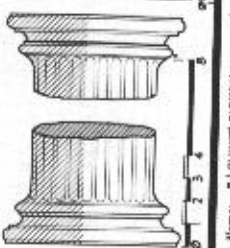
Architecture Collaborative, Inc.
 8334 Main Street
 Ellicott City, MD 21043
 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0903

CARUSO HOMES, INC.
 WAKE FOREST
 content: OPT. 2-CAR SIDE LOAD GARAGE DETAILS
 scale: 1/8" - 1/4" = 1'-0"
 date: 11-27-13
 drawn: JAS
 title

DATE	REVISION	BY
09-04-14	REVISE GABLE DOIL SIZES	JL
08-11-15	ADDITIONAL REVISIONS	JL
08-04-15	ADDL. REVISIONS PER COMMENTS	JL

SHEET 7.1

Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
 license number: 085
 expiration date: 04-09-2018



26 YR FIBERGLASS SHINGLES ON 1/2" ROOF FELT ON 1x6 OSB ROOF SHEATHING W/ H-CLIPS

TPI APPROVED WOOD ROOF TRUSSES 24" O.C. BRACED AND INSTALLED ACCORDING TO MANUF. SPECIFICATIONS.

R-36 BLOWN OR BATT INSULATION w/ BAFFLE

HURRICANE CLIPS EACH END OF TRUSS OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT FROM EAVE EDGE TO 24" BACK FROM INSIDE FACE OF EXTERIOR WALL

MIN 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON 2x6 FASCIA BOARD WRAPPED IN ALUM.

VINYL VENTED SOFFIT

2x6 FREEZE BOARD WRAPPED IN ALUM. (RIP TO FIT) ON 2x BULK.

(2) 2x6 TOP PLATE

BRICK SOLDIER ABOVE WEA (OR AS PER PLAN)

UNDOIL INSTALL PER MANF. SPEC.

BRICK VENEER W/ 1" AIR SPACE 1 GAL. V. TES & 1/2" O.C. VERTICAL & HORIZONTAL

R-15 FIBERGLASS WALL INSULATION w/ WALL INSULATION PER RES-CHECK w/ VAPOR BARRIER

HOUSEWRAP OVER 1x6 OSB WOOD SHEATHING (OR EQUAL) OVER 2x6 FRAMING 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

REBOARD - INSTALL PER MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

BRICK SOLDIER ABOVE WEA (OR AS PER PLAN)

3 1/2" x 3 1/2" x 5/8" STEEL LINTEL + SOLDIER 1/2" x 1/2" x 1/2" OR AS REQD FOR OPENING

PROVIDE FLASHING AROUND WINDOWS AND DOORS

ROULOCK LEDGE + UNDOILS SLOPE FOR DRAINAGE (FLASHING + KEEPHOLES)

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

R-15 MINU INSULATION w/ VAPOR BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SLL PLATES w/ STD. 8' FOUNDATION

(1) 2x6 PRESSURE TREATED SLL PLATE w/ OPT. 8' FOUNDATION (SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF ANCHORS)

METAL FLASHING

KEEP HOLES AND LEATHER RESISTANT MEMBRANE PER CODE

12" OF COHESIVE SOIL SLOPE GRADE AWAY FROM BUILDING MIN. 6" IN 10'-0" (ALL SIDES)

REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

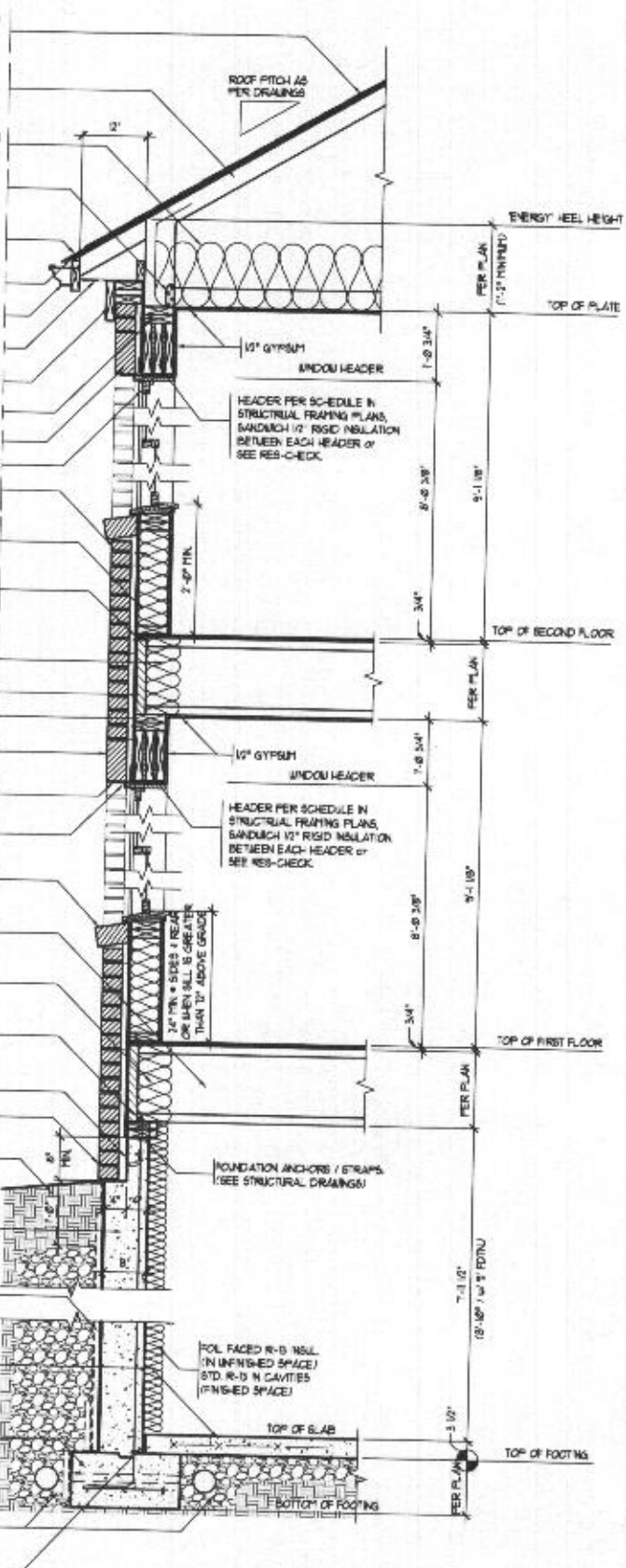
BITUMINOUS WATERPROOFING FROM TOP OF FOOTING TO GRADE - w/ J-DRAIN FOUNDATION DRAINAGE SYSTEM, INSTALLED PER MANUFACTURERS SPECIFICATIONS

CONCRETE SLAB ON GRADE OVER VAPOR BARRIER (SEE STRUCTURAL DRAWINGS FOR SIZES AND REINFORCEMENT REQUIREMENTS)

CONTINUOUS CONCRETE FOOTING (PER STRUCTURAL FOTN PLAN) PROVIDE FROST FOOTING + WALK-OUT AS REQD BY CODE

4" MIN. DRAIN EXTERIOR + INTERIOR DRAIN TILE (or) OPTIONAL 1/2" DRAIN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

FIBER EXPANSION JOINT



3 WALL SECTION w/ BASEMENT
SCALE: 3/8" = 1'-0" x 1/4" = 1'-0" x 3/4" = 1'-0" x 24" x 36"
FULL BRICK

26 YR FIBERGLASS SHINGLES ON 1/2" ROOF FELT ON 1x6 OSB ROOF SHEATHING W/ H-CLIPS

TPI APPROVED WOOD ROOF TRUSSES 24" O.C. BRACED AND INSTALLED ACCORDING TO MANUF. SPECIFICATIONS.

R-36 BLOWN OR BATT INSULATION w/ BAFFLE

HURRICANE CLIPS EACH END OF TRUSS OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT FROM EAVE EDGE TO 24" BACK FROM INSIDE FACE OF EXTERIOR WALL

MIN 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON 2x6 FASCIA BOARD WRAPPED IN ALUM.

VINYL VENTED SOFFIT

2x6 FREEZE BOARD WRAPPED IN ALUM. (RIP TO FIT) ON 2x BULK.

(2) 2x6 TOP PLATE

MANUFACTURED STONE UNDOIL CROSSHEAD

UNDOIL INSTALL PER MANF. SPEC.

R-15 FIBERGLASS WALL INSULATION w/ WALL INSULATION PER RES-CHECK w/ VAPOR BARRIER

HOUSEWRAP OVER 1x6 OSB WOOD SHEATHING (OR EQUAL) OVER 2x6 FRAMING 16" O.C. (OR PER PLAN)

MANUFACTURED STONE VENEER IN NOTAR SETTING BED, ON SCRATCH COAT WITH GALVANIZED METAL LATH OVER (2) LAYERS OF WATER RESISTANT BARRIER

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

REBOARD - INSTALL PER MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND WINDOWS AND DOORS

INTERIABLE / STONE SILL

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

R-15 MINU INSULATION w/ VAPOR BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SLL PLATES w/ STD. 8' FOUNDATION

(1) 2x6 PRESSURE TREATED SLL PLATE w/ OPT. 8' FOUNDATION (SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF ANCHORS)

PROVIDE WEEP SCREED / FLASHING WHERE REQUIRED

12" OF COHESIVE SOIL SLOPE GRADE AWAY FROM BUILDING MIN. 6" IN 10'-0" (ALL SIDES)

REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

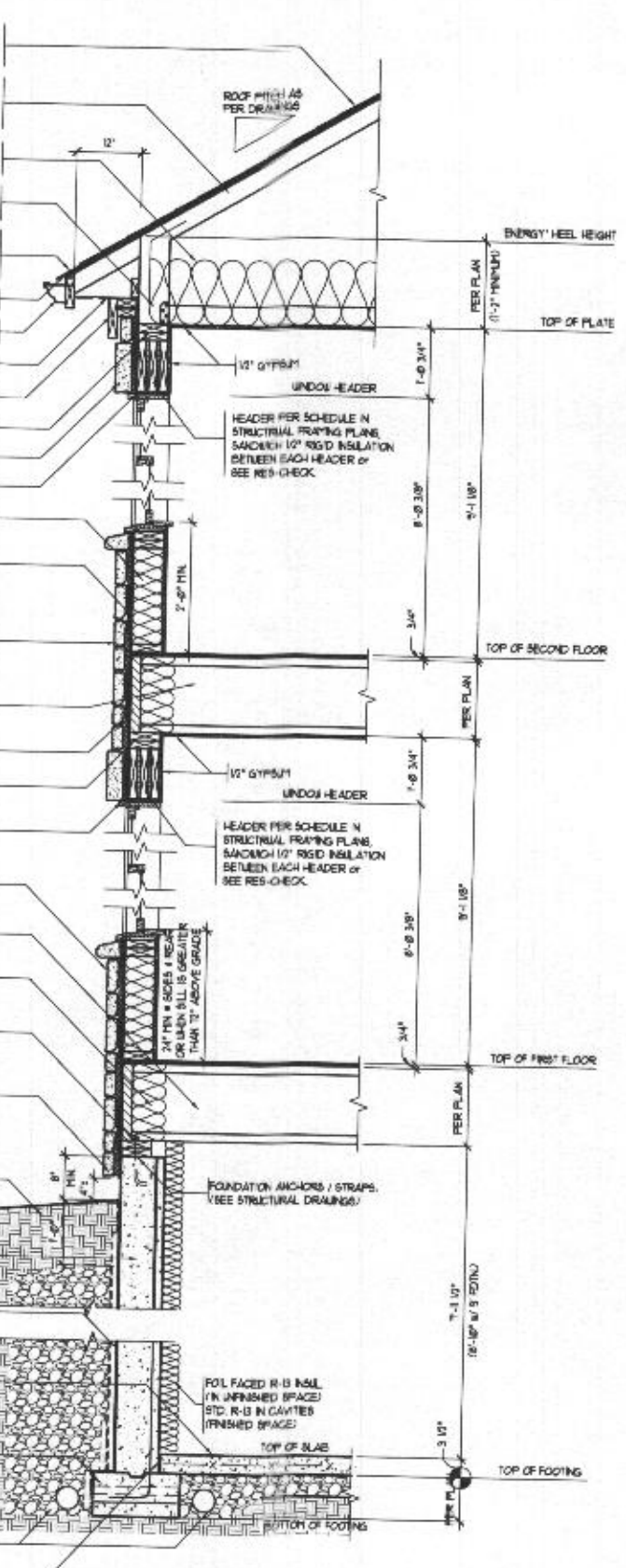
BITUMINOUS WATERPROOFING FROM TOP OF FOOTING TO GRADE - w/ J-DRAIN FOUNDATION DRAINAGE SYSTEM, INSTALLED PER MANUFACTURERS SPECIFICATIONS

CONCRETE SLAB ON GRADE OVER VAPOR BARRIER (SEE STRUCTURAL DRAWINGS FOR SIZES AND REINFORCEMENT REQUIREMENTS)

CONTINUOUS CONCRETE FOOTING (PER STRUCTURAL FOTN PLAN) PROVIDE FROST FOOTING + WALK-OUT AS REQD BY CODE

4" MIN. DRAIN EXTERIOR + INTERIOR DRAIN TILE (or) OPTIONAL 1/2" DRAIN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

FIBER EXPANSION JOINT



2 WALL SECTION w/ BASEMENT
SCALE: 3/8" = 1'-0" x 1/4" = 1'-0" x 3/4" = 1'-0" x 24" x 36"
FULL STONE

26 YR FIBERGLASS SHINGLES ON 1/2" ROOF FELT ON 1x6 OSB ROOF SHEATHING W/ H-CLIPS

TPI APPROVED WOOD ROOF TRUSSES 24" O.C. BRACED AND INSTALLED ACCORDING TO MANUF. SPECIFICATIONS.

R-36 BLOWN OR BATT INSULATION

HURRICANE CLIPS EACH END OF TRUSS OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT FROM EAVE EDGE TO 24" BACK FROM INSIDE FACE OF EXTERIOR WALL

MIN 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON 2x6 FASCIA BOARD WRAPPED IN ALUM.

VINYL VENTED SOFFIT

2x6 FREEZE BOARD WRAPPED IN ALUM. (RIP TO FIT)

(2) 2x6 TOP PLATE

UNDOIL CROSS-HEAD OR TRIM

UNDOIL INSTALL PER MANF. SPEC.

R-15 FIBERGLASS WALL INSULATION w/ WALL INSULATION PER RES-CHECK w/ VAPOR BARRIER

HOUSEWRAP OVER 1x6 OSB WOOD SHEATHING (OR EQUAL) OVER 2x6 FRAMING 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

REBOARD - INSTALL PER MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND WINDOWS AND DOORS

HORIZONTAL SIDING

3/4" T & G FLOOR SHEATHING GLED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

R-15 MINU INSULATION w/ VAPOR BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SLL PLATES w/ STD. 8' FOUNDATION

(1) 2x6 PRESSURE TREATED SLL PLATE w/ OPT. FOUNDATION (SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF ANCHORS)

METAL FLASHING

12" OF COHESIVE SOIL SLOPE GRADE AWAY FROM BUILDING MIN. 6" IN 10'-0" (ALL SIDES)

REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

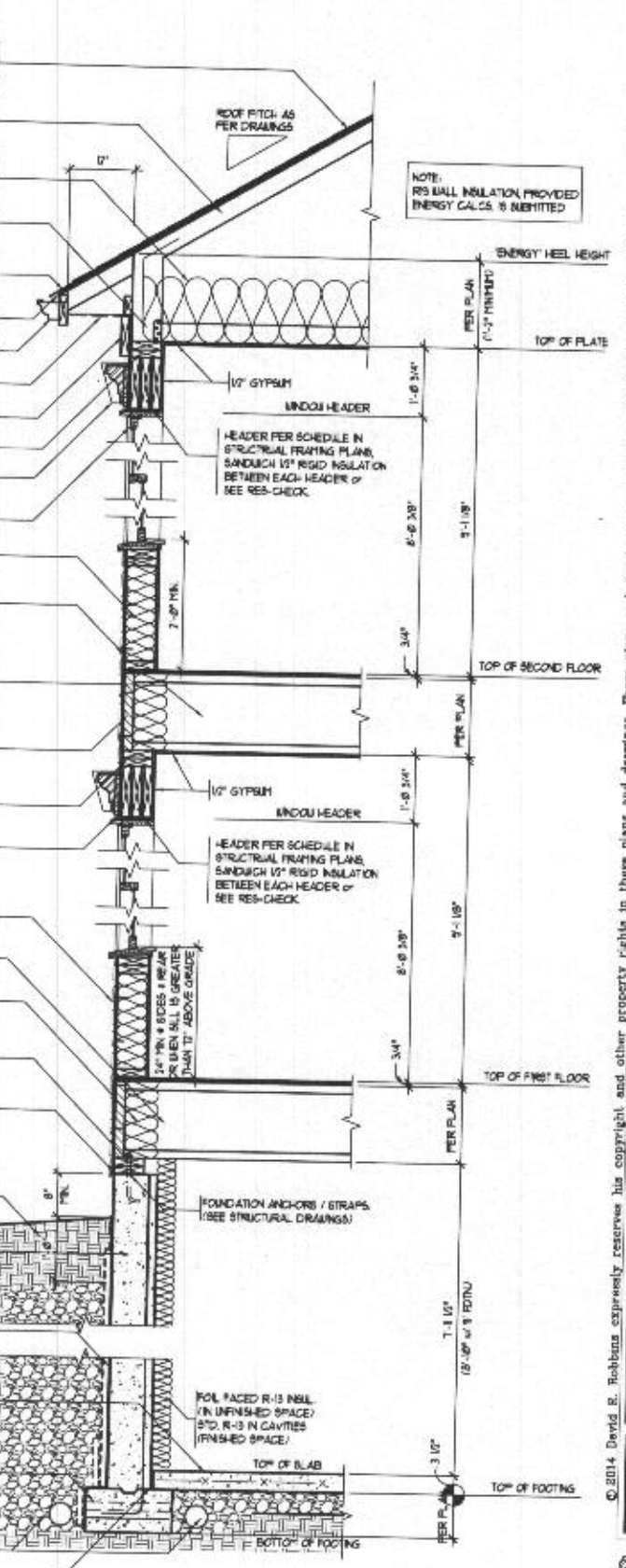
BITUMINOUS WATERPROOFING FROM TOP OF FOOTING TO GRADE - w/ J-DRAIN FOUNDATION DRAINAGE SYSTEM, INSTALLED PER MANUFACTURERS SPECIFICATIONS

CONCRETE SLAB ON GRADE OVER VAPOR BARRIER (SEE STRUCTURAL DRAWINGS FOR SIZES AND REINFORCEMENT REQUIREMENTS)

CONTINUOUS CONCRETE FOOTING (PER STRUCTURAL FOTN PLAN) PROVIDE FROST FOOTING + WALK-OUT AS REQD BY CODE

4" MIN. DRAIN EXTERIOR + INTERIOR DRAIN TILE (or) OPTIONAL 1/2" DRAIN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

FIBER EXPANSION JOINT



1 WALL SECTION w/ BASEMENT
SCALE: 3/8" = 1'-0" x 1/4" = 1'-0" x 3/4" = 1'-0" x 24" x 36"
STD. SIDING

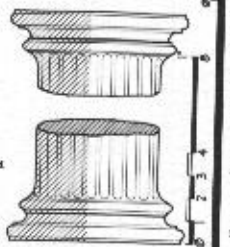
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License number: 5821
expiration date: 04-03-2018

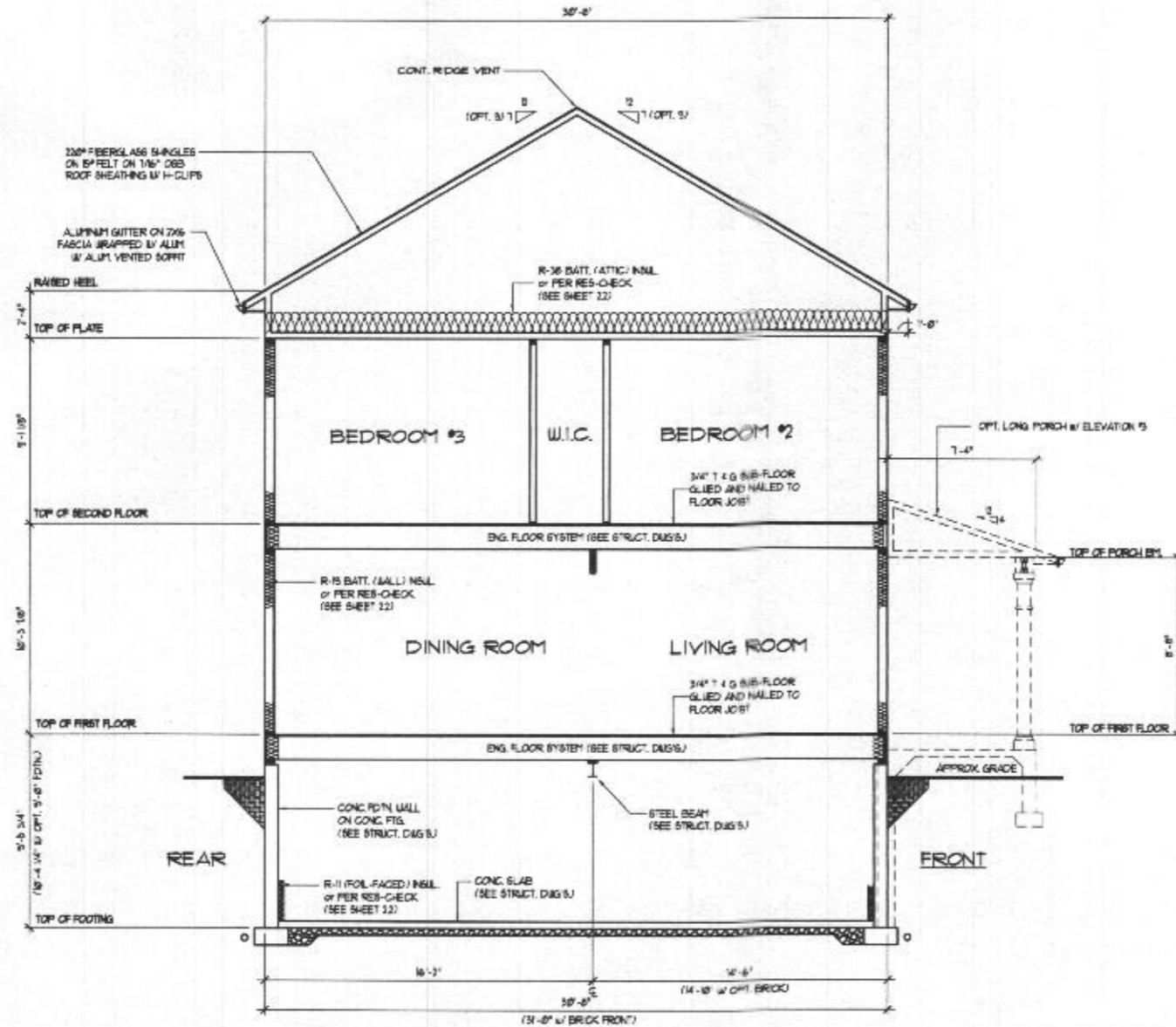
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

TYPICAL WALL SECTIONS - PC COUNTY
scale: 1/4" = 1'-0" (25/32") 1/8" = 1'-0" (1 1/2") 1/16" = 1'-0" (1 1/2")
date: 11-27-13
drawn: JAS
title: CARUSO HOMES, INC. WAKE FOREST

revision	date	by
REVISED PER ADDL COMMENTS		

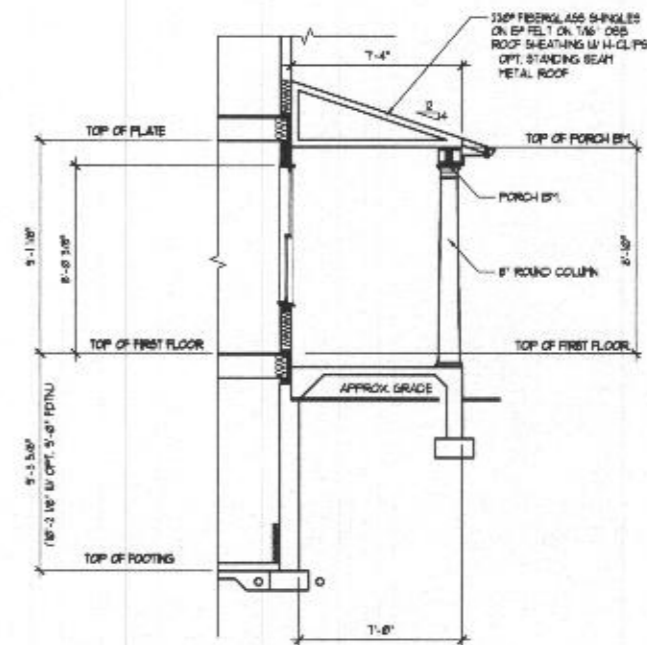
SHEET #
8.1





BUILDING SECTION 'A-A'

SCALE: 1/8" = 1/4" = 1'-0"



PARTIAL SECTION 'A-A'

SCALE: 1/8" = 1/4" = 1'-0"
W/ ELEVATION #3 w/ LONG PORCH

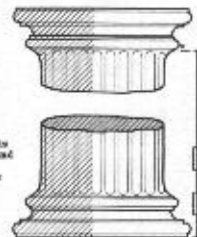
© 2011 David R. Robbin expressly reserves his copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner without written consent.

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

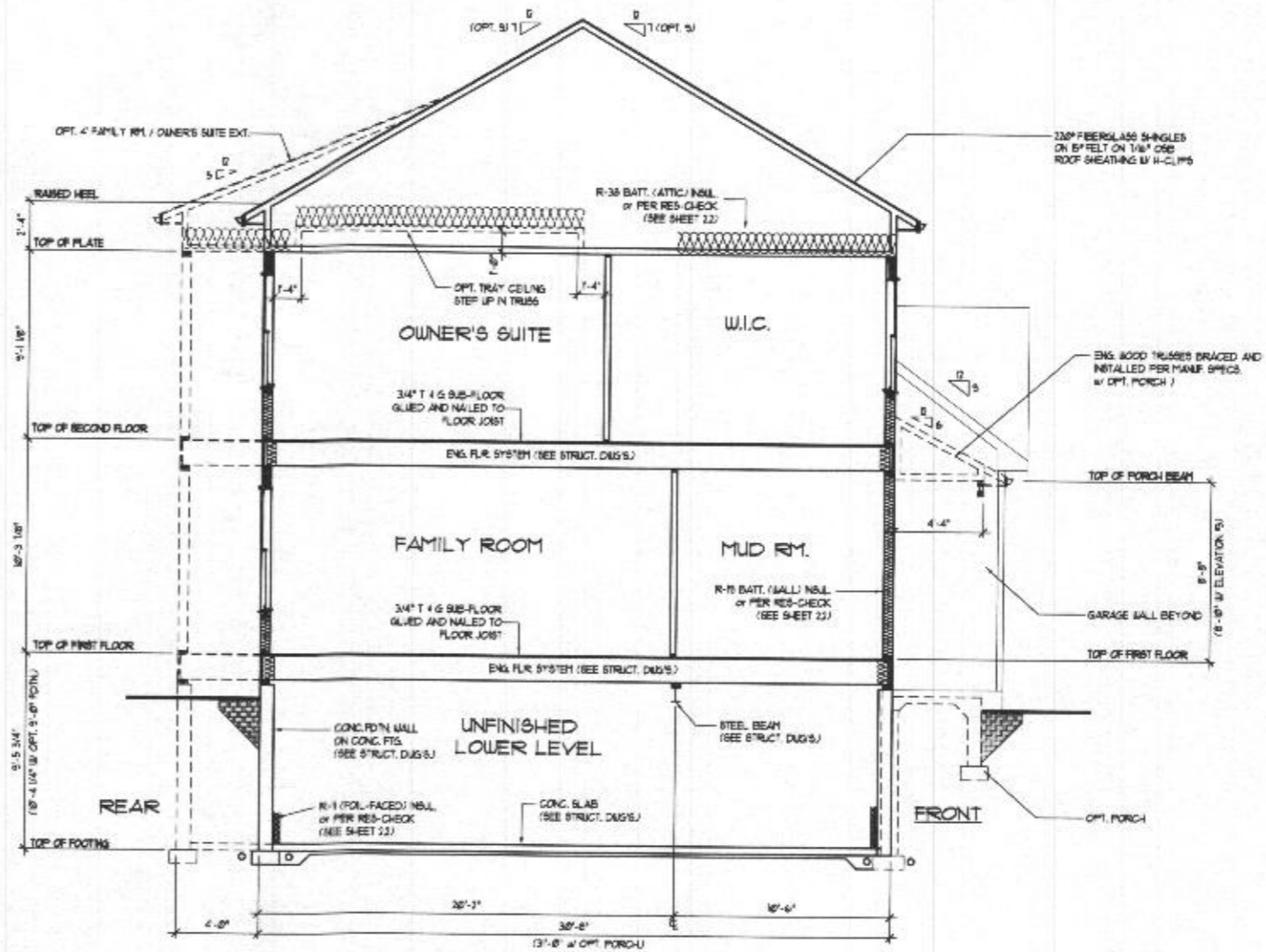
CARUSO HOMES, INC.
WAKE FOREST
content: BUILDING SECTION 'A-A'
date: 11-27-13
scale: 1/8" = 1/4" = 1'-0" (36224) JAS
drawn: JAS
date: 11-27-13
title: CARUSO HOMES, INC. WAKE FOREST

date	revision	by
01-09-15	REMOVE SCHEMATIC NOTATION	JL
06-11-15	ADDITIONAL REVISIONS	JL
08-04-15	REVISED PER ADDL. COMMENTS	JL
...

SHEET 4
8.2



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
license number: 5803
expiration date: 04-03-2018



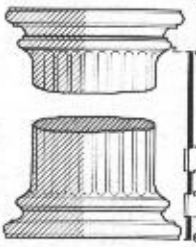
BUILDING SECTION 'C-C'
SCALE: 1/8" = 1'-0"

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

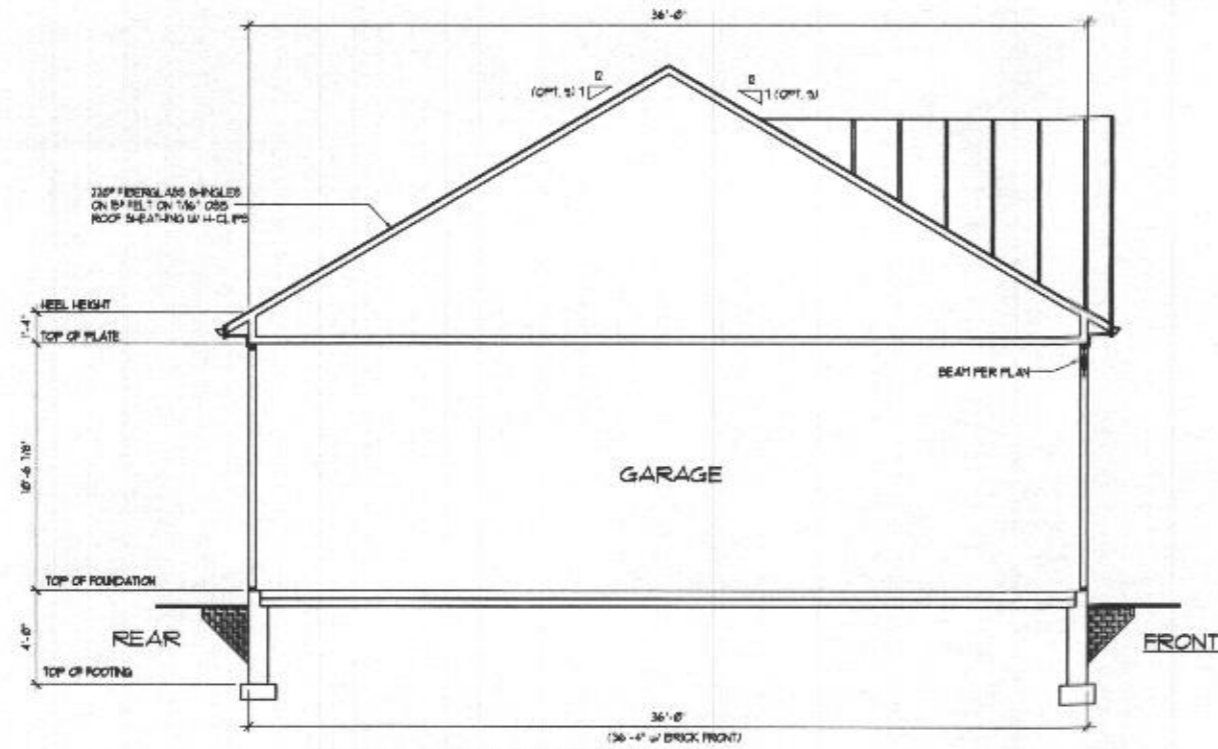
content: BUILDING SECTION 'C-C'
scale: 1/8" = 1'-0" (30x24) file: JAS date: 11-27-13
drawn: JAS
CARUSO HOMES, INC.
WAKE FOREST

date	revision	by
06-11-15	ADDITIONAL REVISIONS	L
...
...
...

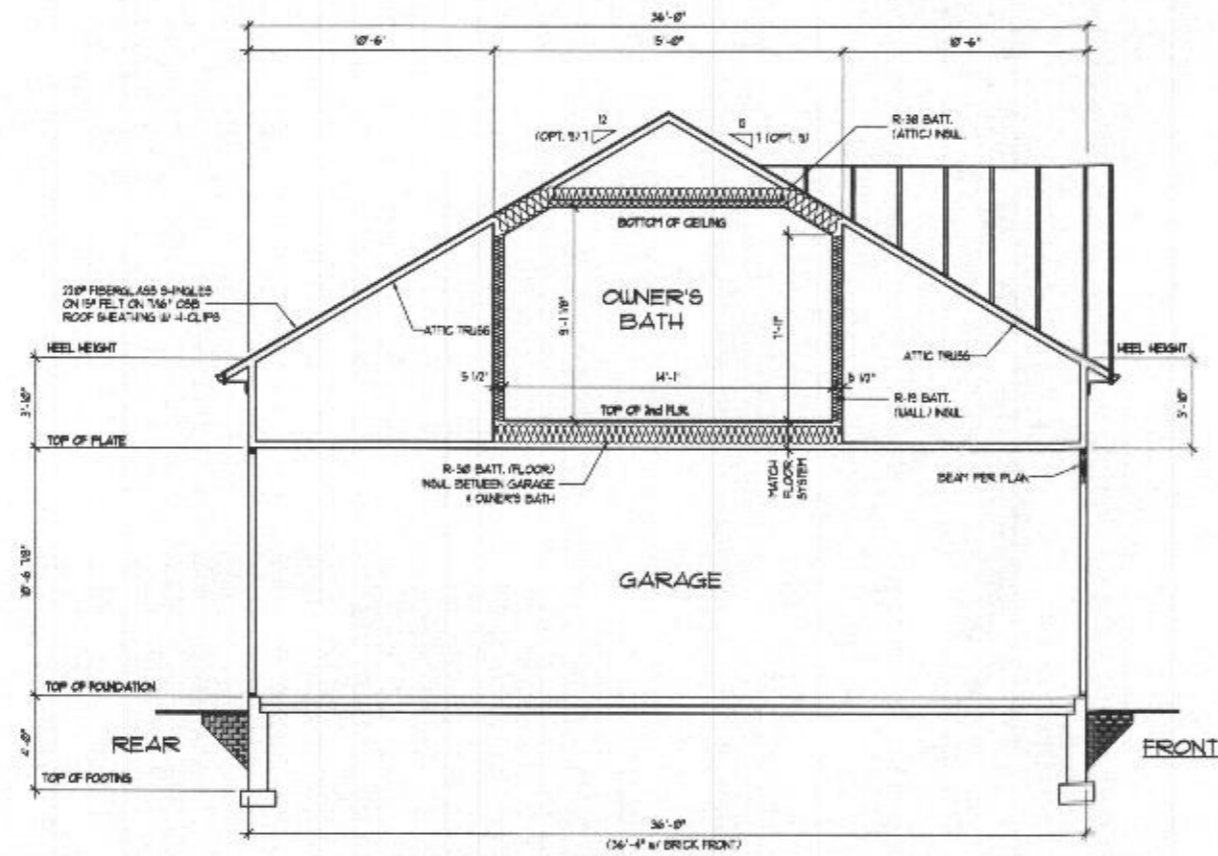
SHEET #
8.4



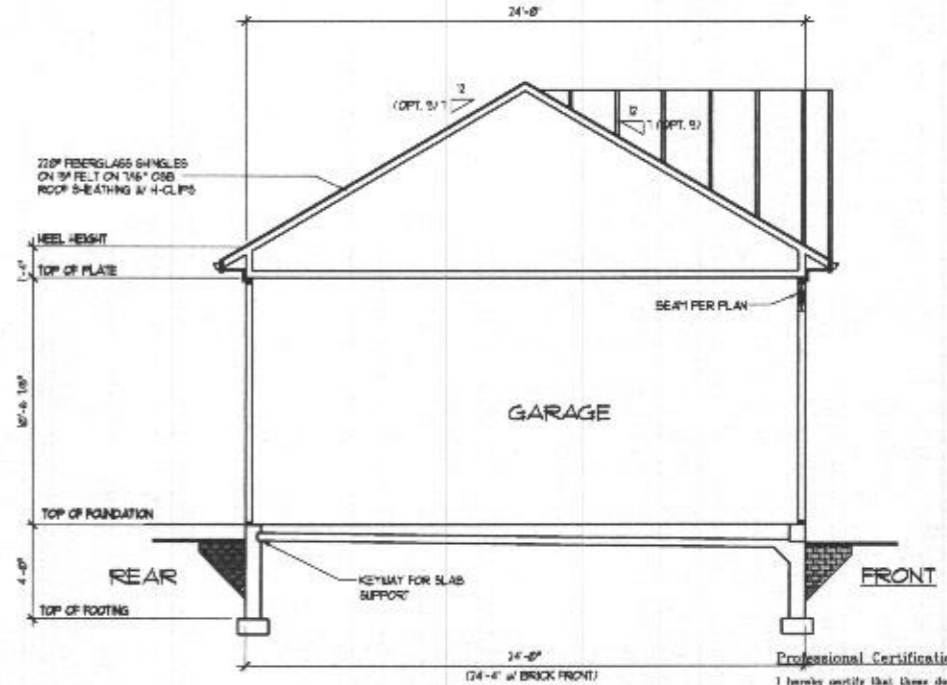
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
license number: 5821
expiration date: 04-03-2018



BUILDING SECTION 'E-E'
w/ OPT. 3-CAR SIDE LOAD GARAGE
SCALE: 1/8" = 1/4" = 1'-0"



BUILDING SECTION 'E-E'
w/ OPT. 3-CAR SIDE LOAD GARAGE & ALTERNATE 2nd FLOOR
SCALE: 1/8" = 1/4" = 1'-0"



BUILDING SECTION 'D-D'
SCALE: 1/8" = 1/4" = 1'-0"

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
Name number 5821
expiration date 04-05-2018

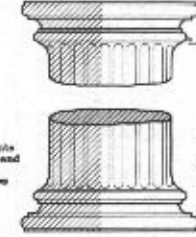
© 2011 David R. Robbins expressly reserves his copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner without written consent.

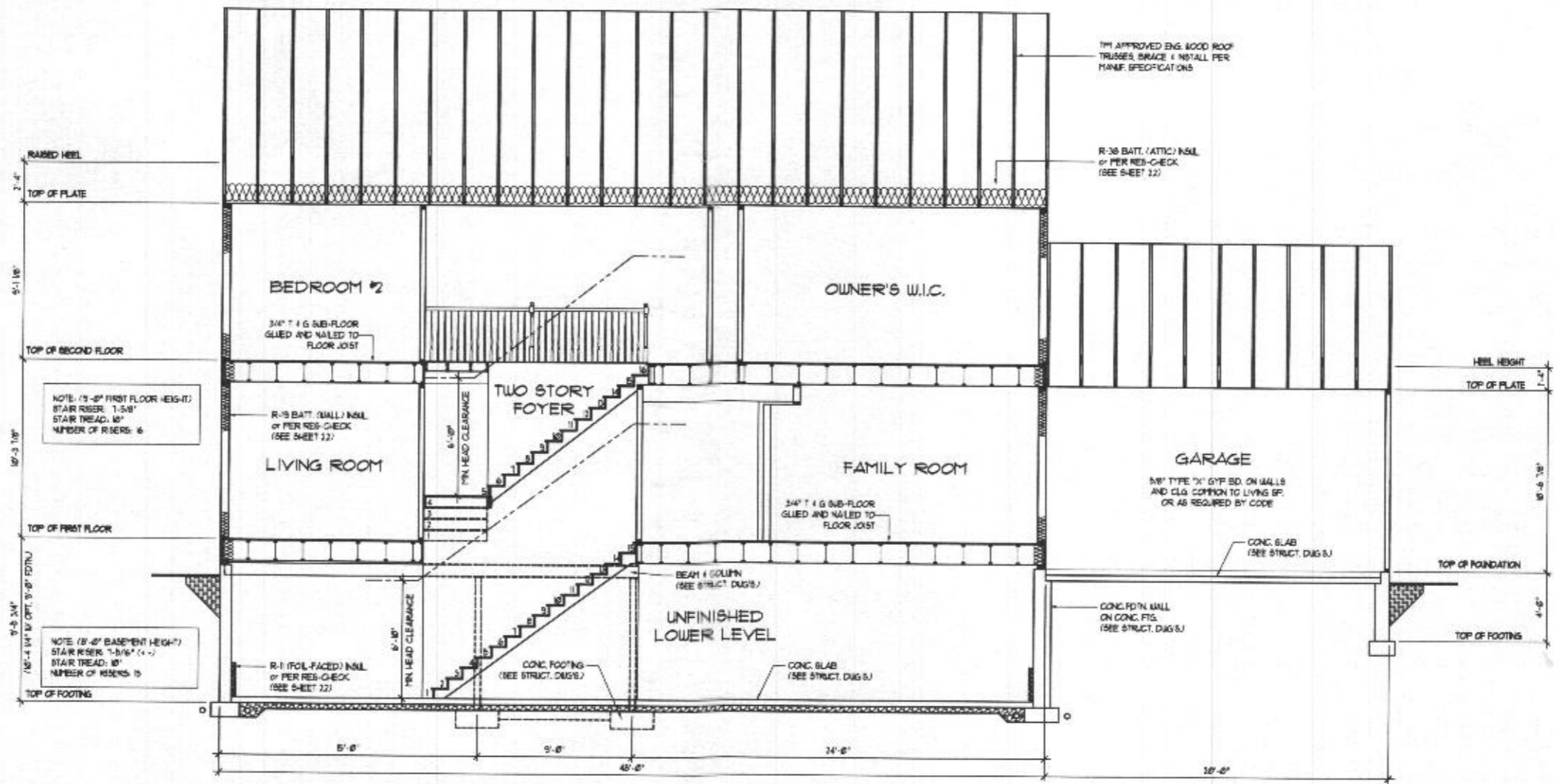
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

PROJECT: BUILDING SECTIONS 'D-D' & 'E-E'
scale: 1'-4" (36224) file: JAS date: 11-27-13
drawn: JAS
CARUSO HOMES, INC.
WAKE FOREST
Little

date	revision	by
06-14-15	ADDITIONAL REVISIONS	JL
07-16-16	REVISED PER ADDL COMMENTS	RC

SHEET 8.5





NOTE: (9'-0" FIRST FLOOR HEIGHT)
 STAIR RISER: 1'-5/8"
 STAIR TREAD: 10"
 NUMBER OF RISERS: 6

NOTE: (8'-0" BASEMENT HEIGHT)
 STAIR RISER: 1'-5/8"
 STAIR TREAD: 10"
 NUMBER OF RISERS: 5

BUILDING SECTION 'F-F'
 SCALE: 1/8" = 1'-0"

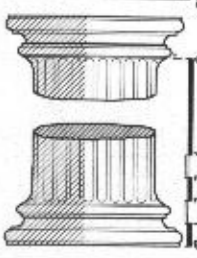
© 2014 David R. Roblinske expressly reserves his copyright, and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner without written consent.

Architecture Collaborative, Inc.
 8334 Main Street
 Ellicott City, MD 21043
 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0903

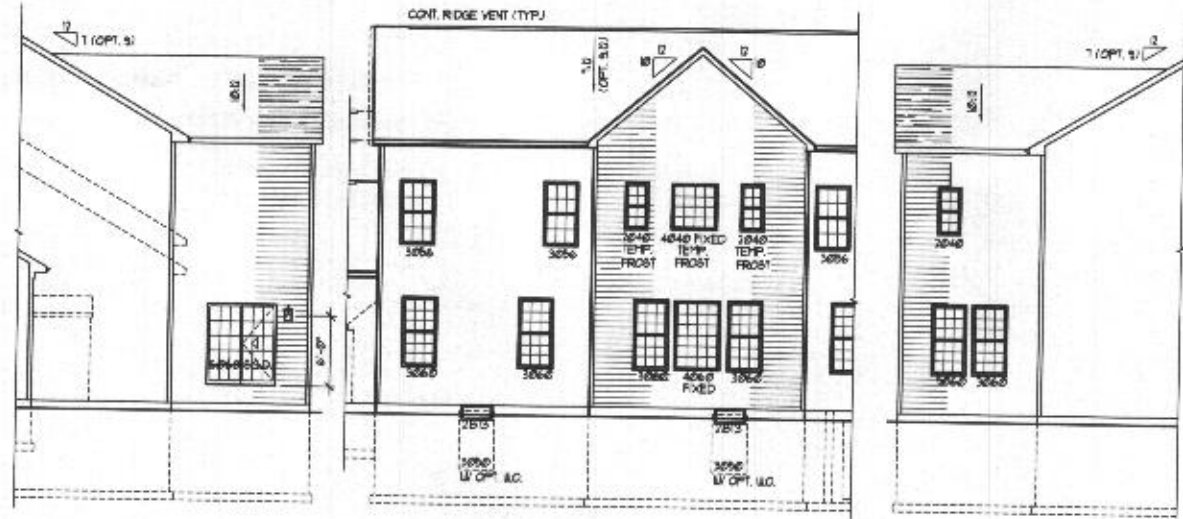
contact: **BUILDING SECTION 'F-F'**
 scale: 1/8" = 1'-0" (3/16" = 1'-0")
 date: 07-19-16
 drawn: RC
 title: **CARUSO HOMES, INC.**
 WAKE FOREST

date	revision	by
09-04-16	STD. OPEN RAIL AT SECOND FLOOR	RC
...
...
...

SHEET 4
8.6



File Name: 2:\CLIENT\CARUSO\CARUSO\SUBSETS\8.6.DWG



RIGHT ELEVATION

SCALE: 1/16" - 1/8" = 1'-0"

REAR ELEVATION

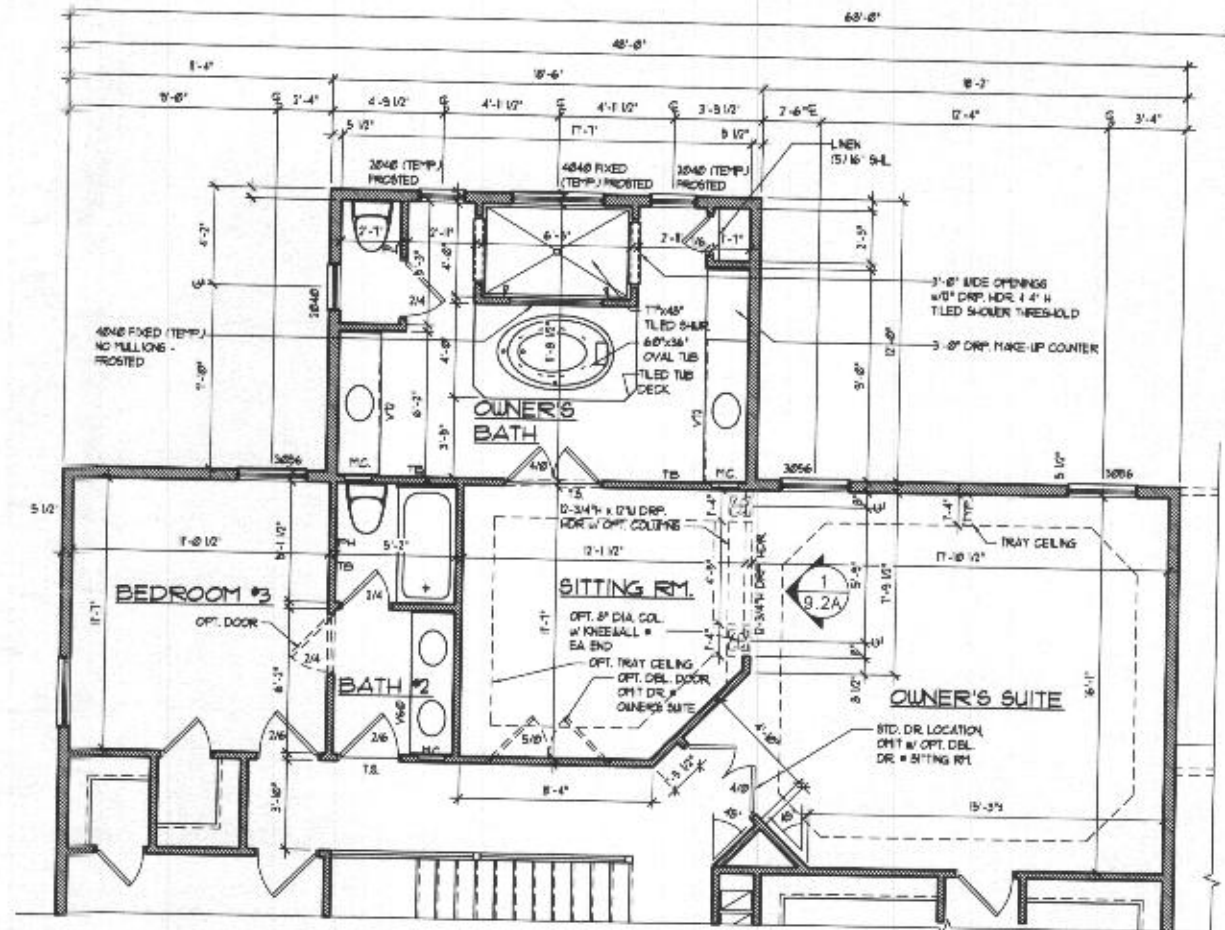
SCALE: 1/16" - 1/8" = 1'-0"

LEFT ELEVATION

SCALE: 1/16" - 1/8" = 1'-0"

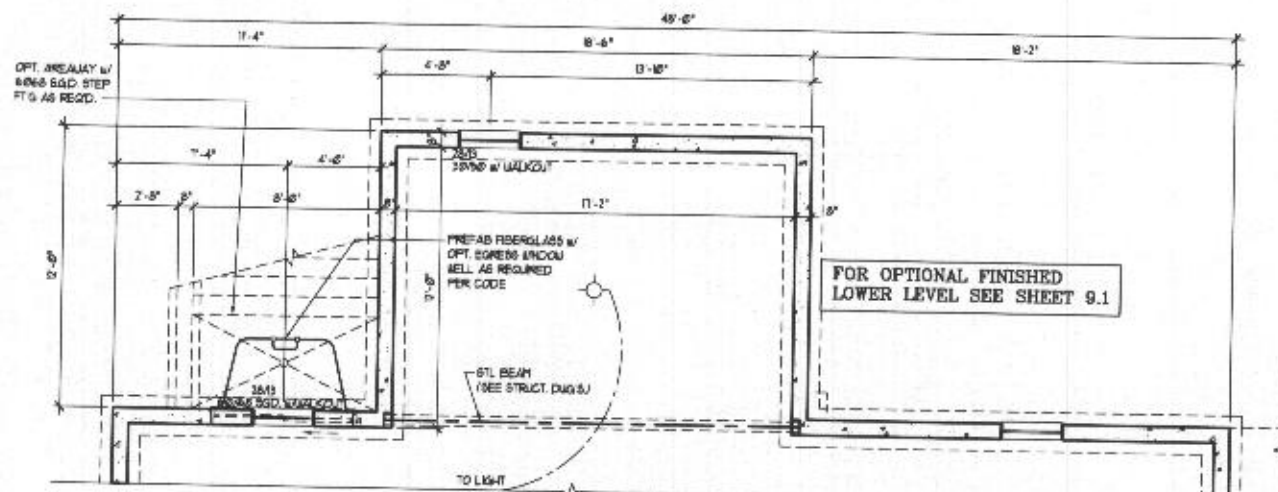
OPT. 2-STORY MORNING/OWNER'S BATH

w/ STANDARD SECOND FLOOR PLAN
SCALE: 1/16" - 1/8" = 1'-0"



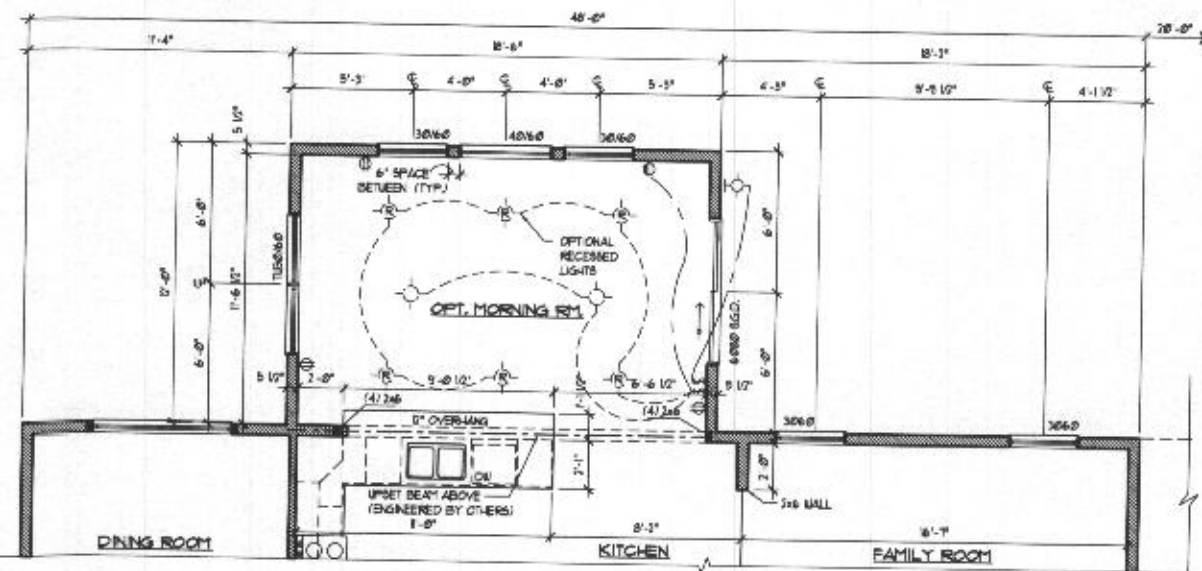
STANDARD SECOND FLOOR PLAN

PARTIAL PLAN w/ OPT. 2-STORY MORNING ROOM
SCALE: 1/8" - 1/4" = 1'-0"



FOUNDATION PLAN

PARTIAL PLAN w/ OPT. MORNING ROOM
SCALE: 1/8" - 1/4" = 1'-0"



FIRST FLOOR PLAN

PARTIAL PLAN w/ OPT. MORNING ROOM
SCALE: 1/8" - 1/4" = 1'-0"

Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.

license number: 6621
expiration date: 04-09-2018

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

OPT. TWO STORY MORNING ROOM DETAILS

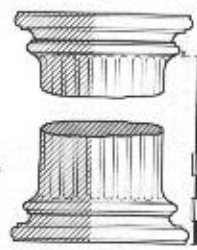
scale: 1'-4" (36x24) 1/8" (17x11) 8.2
DATE: 11-27-13
DRAWN: JAS

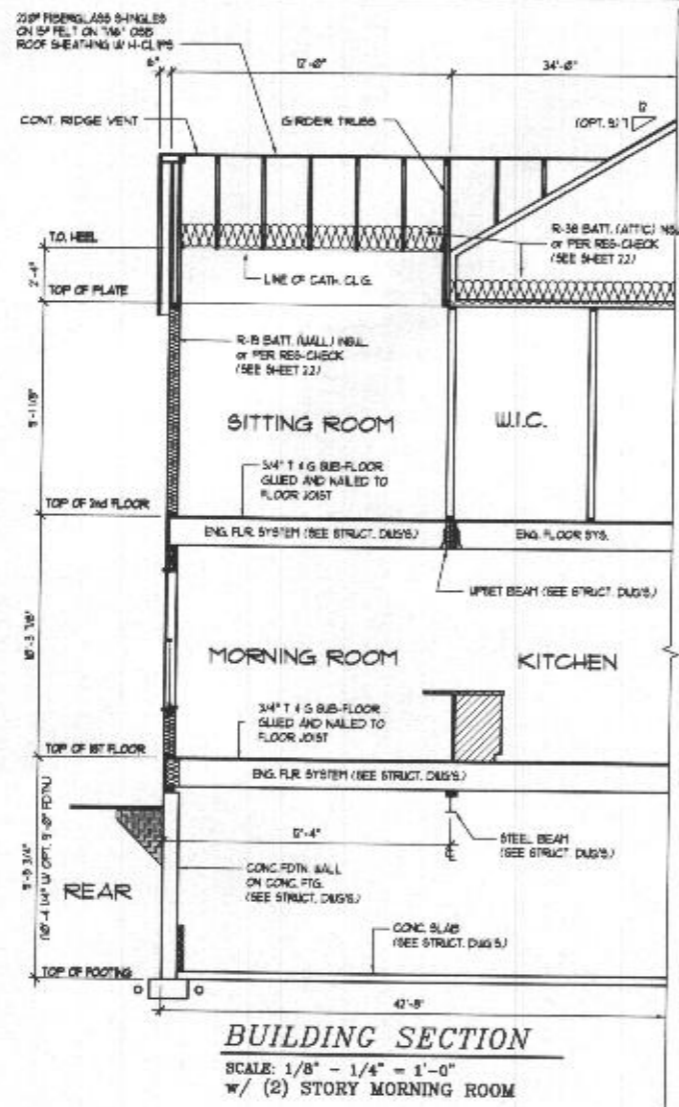
CARUSO HOMES, INC.

WAKE FOREST

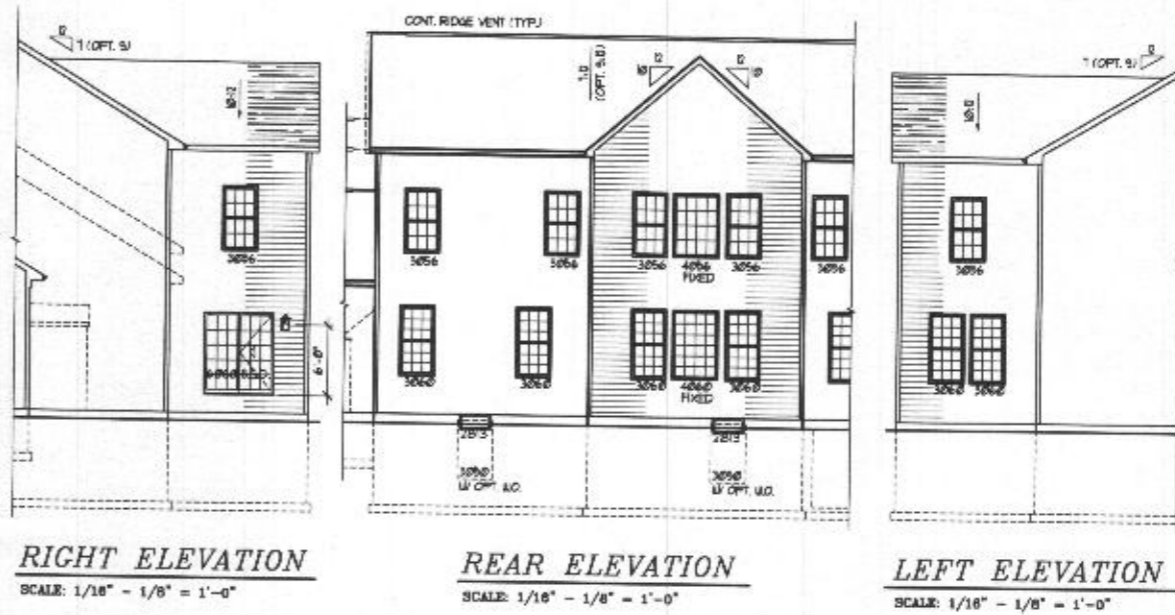
date	revision	by
08-05-05	LAUNCH RTR / ADD NOTE w/ ALT. 2ND FLR	JL
08-11-05	ADDITIONAL REVISIONS	JL
08-04-05	REVISED PER ADDL COMMENTS	JL
07-18-05	REVISED PER ADDL COMMENTS	RC
09-16-06	STD. OPEN RAIL AT SECOND FLOOR	RC

SHEET 8
9.2



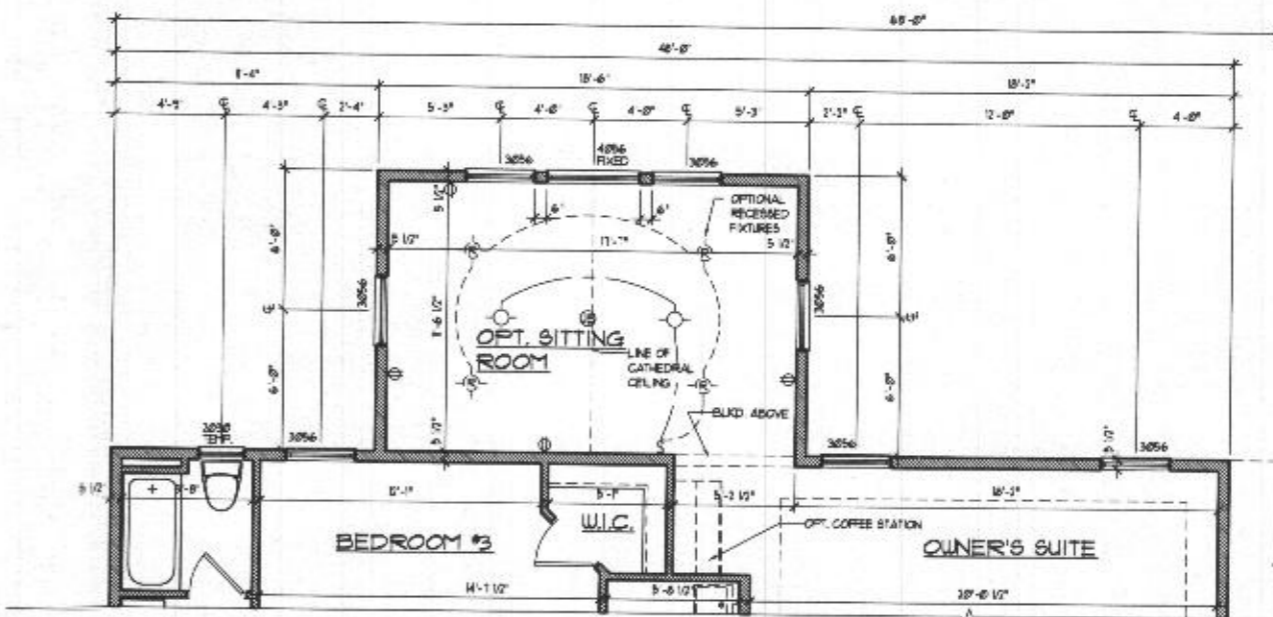


BUILDING SECTION
SCALE: 1/8" = 1/4" = 1'-0"
w/ (2) STORY MORNING ROOM



RIGHT ELEVATION SCALE: 1/16" = 1/8" = 1'-0"
REAR ELEVATION SCALE: 1/16" = 1/8" = 1'-0"
LEFT ELEVATION SCALE: 1/16" = 1/8" = 1'-0"

OPT. 2-STORY MORNING/SITTING ROOM
w/ ALTERNATE SECOND FLOOR PLAN
SCALE: 1/16" = 1/8" = 1'-0"



ALT. SECOND FLOOR PLAN
PARTIAL PLAN w/ OPT. 2-STORY MORNING RM.
SCALE: 1/8" = 1/4" = 1'-0"

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of the State of Maryland.
license number: **MD1**
expiration date: **04-05-2008**

© 2014 David R. Robbins expressly reserves his copyright and other proprietary rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner without written consent.

content: **OPT. 2-STORY MORNING ROOM DETAILS**
scale: 1" = 8' (3/64x24) (file: JAS date: 11-27-13)
scale: 1" = 8' (17x11) 9.2A drawn: JAS

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

CARUSO HOMES, INC.
WAKE FOREST

revision	date	by	title
06-1-5	06-1-5	JL	ADDITIONAL REVISIONS
07-08-5	07-08-5	TH	SUAP OWNER'S BATH + SITTING RT.
07-23-5	07-23-5	TH	WIDEN HALL + ANGLE DR TO OS.
08-06-5	08-06-5	JL	WIDEN HALL TO 3'-0"
07-18-6	07-18-6	RC	REVISED PER ADDL COMMENTS

SHEET 9.2A

File Name: Z:\CLIENT\CARUSO\CARUSO\060606\060606\9.2A.DWG