



# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 12125 SUDBURY COURT  
 City: CLARKSVILLE State: MD Zip Code: 21029  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: SINGLE FAMILY HOME  
 Proposed Use: SAME WITH SUNROOM, MEDIA ROOM OFFICE ADDITION & EXISTING KITCHEN  
 Estimated Construction Cost: \$ 40,000  
 Description of Work: MEDIA - OFFICE - SUNROOM ADDITION WITH NEW FRONT PORCH AND EXISTING KITCHEN REM. ADDITION 1029 SF  
 Occupant/Tenant Name: MALNIK LEON & JUDY  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: MALNIK LEON & JUDY  
 Address: 12125 SUDBURY COURT  
 City: CLARKSVILLE State: MD Zip Code: 21029  
 Phone: 301 854 9871 Fax: SAME  
 Email: JB MALNIK @ G MAIL . COM

Property Owner's Name: MALNIK LEON & JUDY  
 Address: 12125 SUDBURY COURT  
 City: CLARKSVILLE State: MD Zip Code: 21029  
 Phone: 301 854 9871 Fax: SAME  
 Email: JB MALNIK @ G - MAIL . COM

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: WAYNE CASSENTINO  
 Address: 9068 FURROW AVENUE  
 City: ELICOTT CITY State: MD Zip Code: 21042  
 Phone: 410 977 5781 Fax: 410 442 5765  
 Email: WAYNE CASSENTINO @ YAHOO . COM

Contractor Company: CASSENTINO REMODELING  
 Contact Person: WAYNE CASSENTINO  
 Address: 9068 FURROW AVENUE  
 City: ELICOTT CITY State: MD Zip Code: 21042  
 License No.: \_\_\_\_\_  
 Phone: 410 977 5781 Fax: 410 442 5765  
 Email: WAYNE CASSENTINO @ YAHOO . COM

Engineer/Architect Company: AISA SCHMIDT ARCHITECT INC.  
 Responsible Design Prof.: YES  
 Address: 2739 THORNTON BROOK ROAD  
 City: ELICOTT CITY State: MD Zip Code: 21042  
 Phone: 410 461 3462 Fax: SAME  
 Email: AISA I @ VERIZON . NET

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:
	2 <sup>nd</sup> floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units: <u>SEE</u>
	Other Structure: <u>PLANS</u>
	Dimensions: <u>PLANS</u>
> Roadside Tree Project Permit	Footings: <u>PLANS</u>
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Wayne Casentino  
 Email Address: WAYNECASSENTINO @ YAHOO . COM  
 Title/Company: RESIDENT / CASSENTINO REMODELING

Print Name: WAYNE CASSENTINO  
 Date: FEBRUARY 2018

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>2-20-18</u>	<u>Dana Deard</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

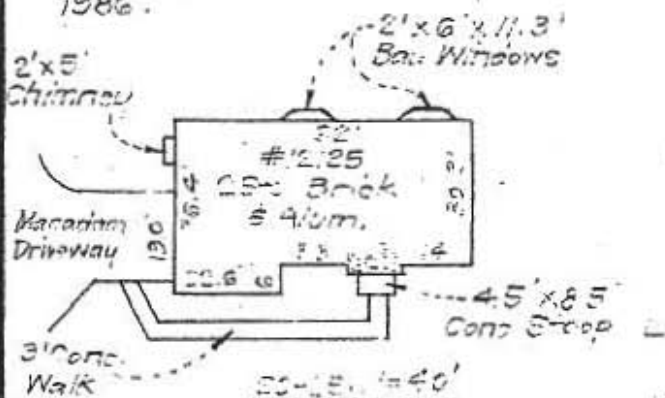
DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

NOTE: This Lot lies in Zone C, as shown on Flood Insurance Rate Map for Howard Co., Md., Map Panel: 38 of 45, dated Dec. 4, 1986.

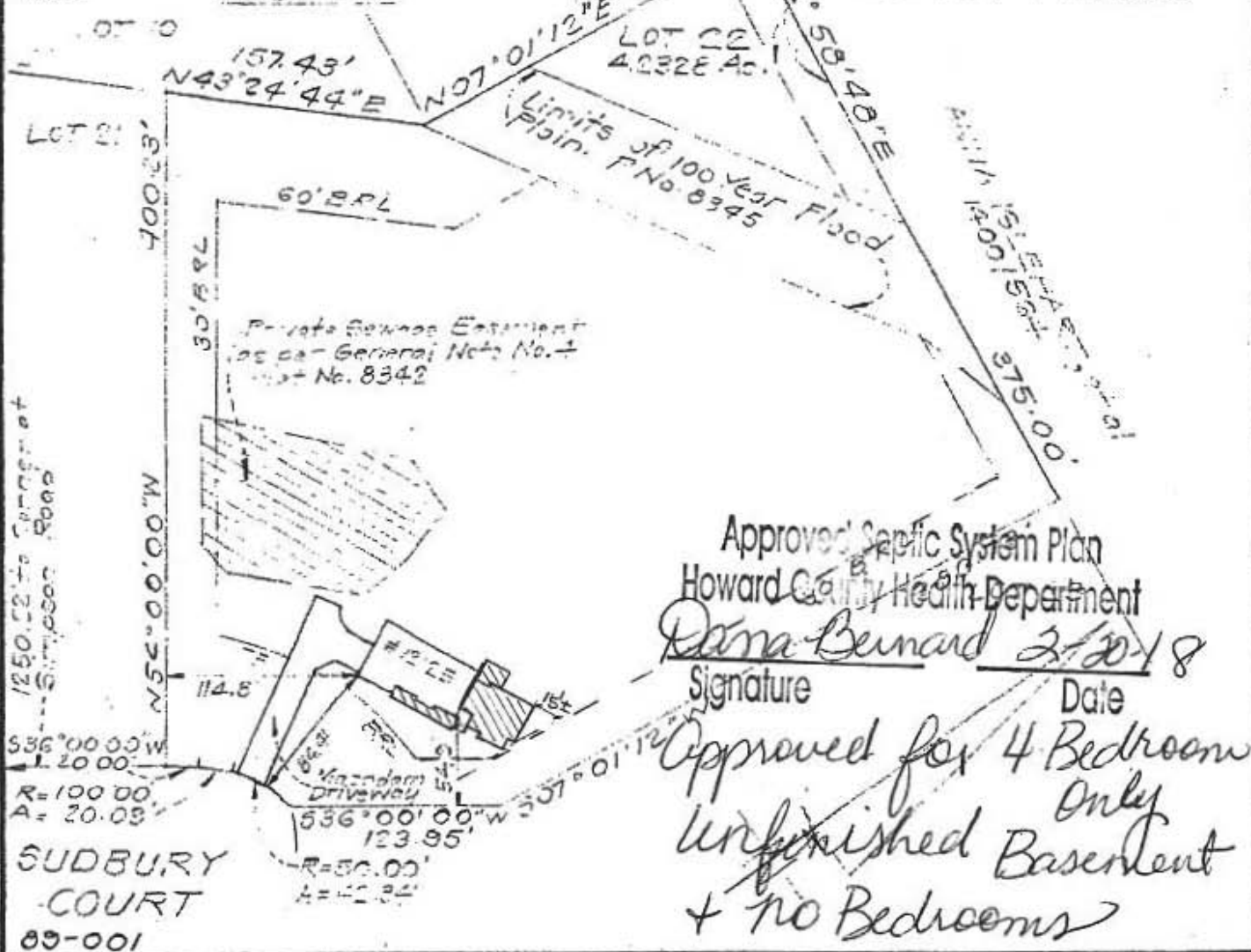
LOCATION OF HOUSE  
12125 SUDBURY COURT  
LOT 22

ASHLEIGH GREENE  
SUBDIVISION  
SECTION 1  
LOTS 1 THRU 27  
5TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND



wall Check: 8-21-80  
Top of Wall Elev. 1480.3  
Final: 11-28-80

20' Storm Drain & Utilities  
Easement - P No 8345



Approved Specific System Plan  
Howard County Health Department  
*Dana Bernard* 2/20/8  
Signature Date

Approved for 4 Bedroom  
Only  
Unfinished Basement  
& no Bedrooms

BRUNING 40-22 60545-01

**SURVEYOR'S CERTIFICATE**

I hereby certify that the position of all existing improvements on the above described property have been carefully established by a transit tape survey and that unless otherwise shown, there are no encroachments.

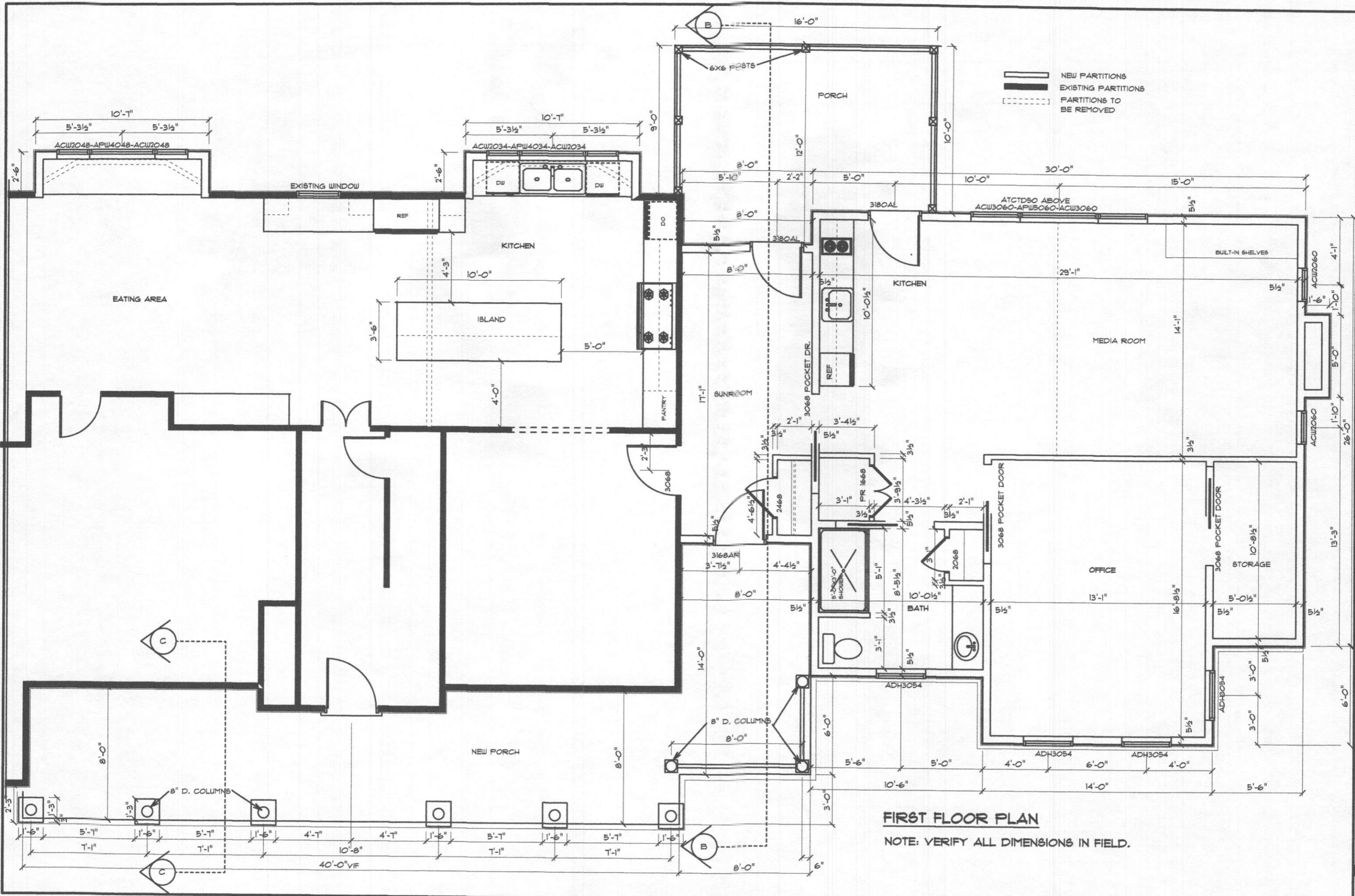
*Donald B. Sackett* 2059

**CLARK • FINEFROCK & SACKETT, INC.**

ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY COLUMBIA, MD. 21045  
(301) 381-7500-BALTO. • (301) 621-8100-WASH.

REFERENCE	DRAWN BY <i>SNP</i>	CHECKED BY <i>KNC</i>
Plat No. 8345	DATE 11-28-80	FILE NO. 2196-W
	SCALE 1"=100'	





[Solid Line] NEW PARTITIONS  
 [Thick Solid Line] EXISTING PARTITIONS  
 [Dashed Line] PARTITIONS TO BE REMOVED

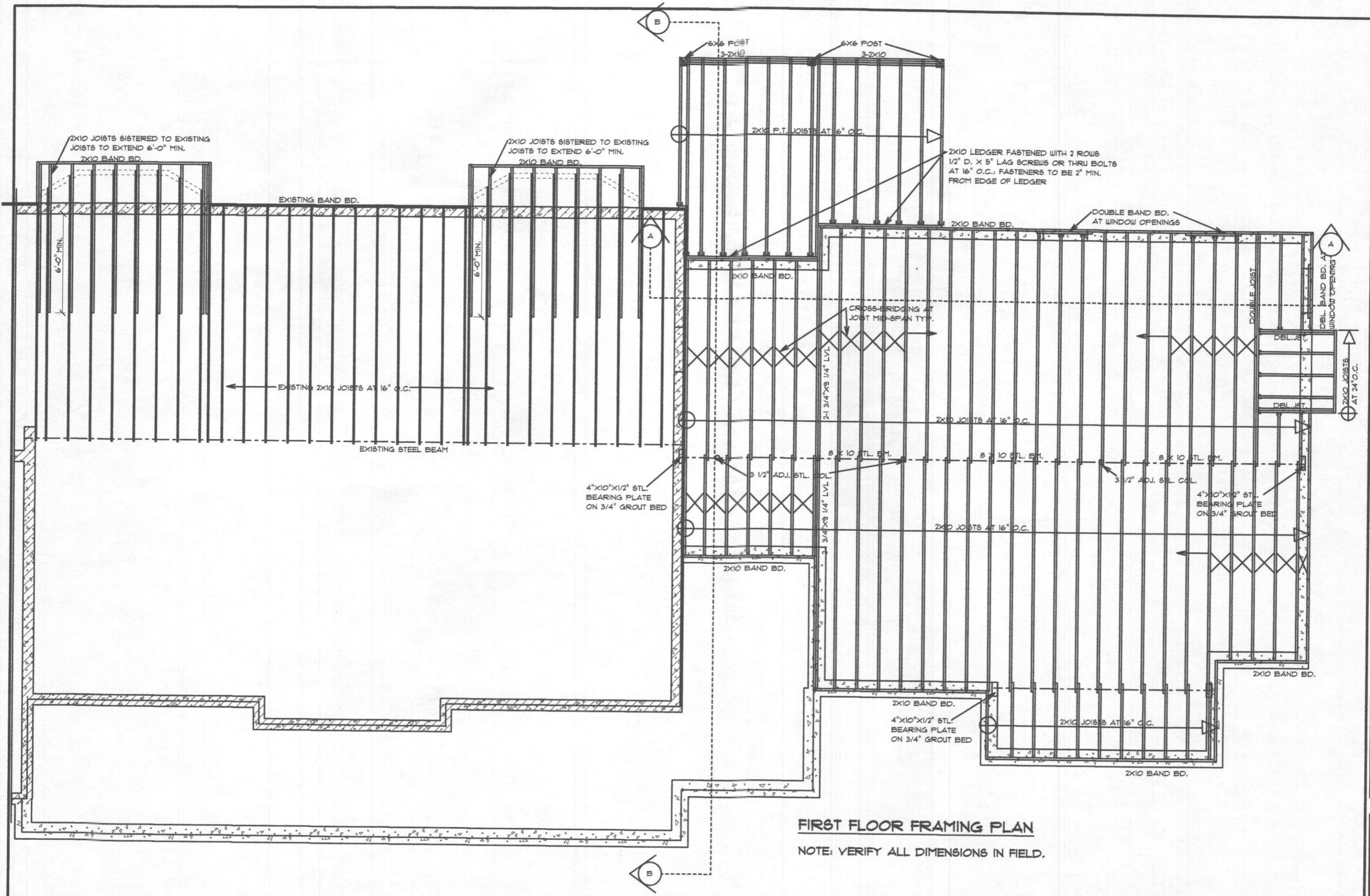
**FIRST FLOOR PLAN**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

**MALNIK RESIDENCE ADDITION-HOWARD COUNTY, MD**  
 ALJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE: 02/15/2018  
 SCALE: 3/16"=1'-0"

A2



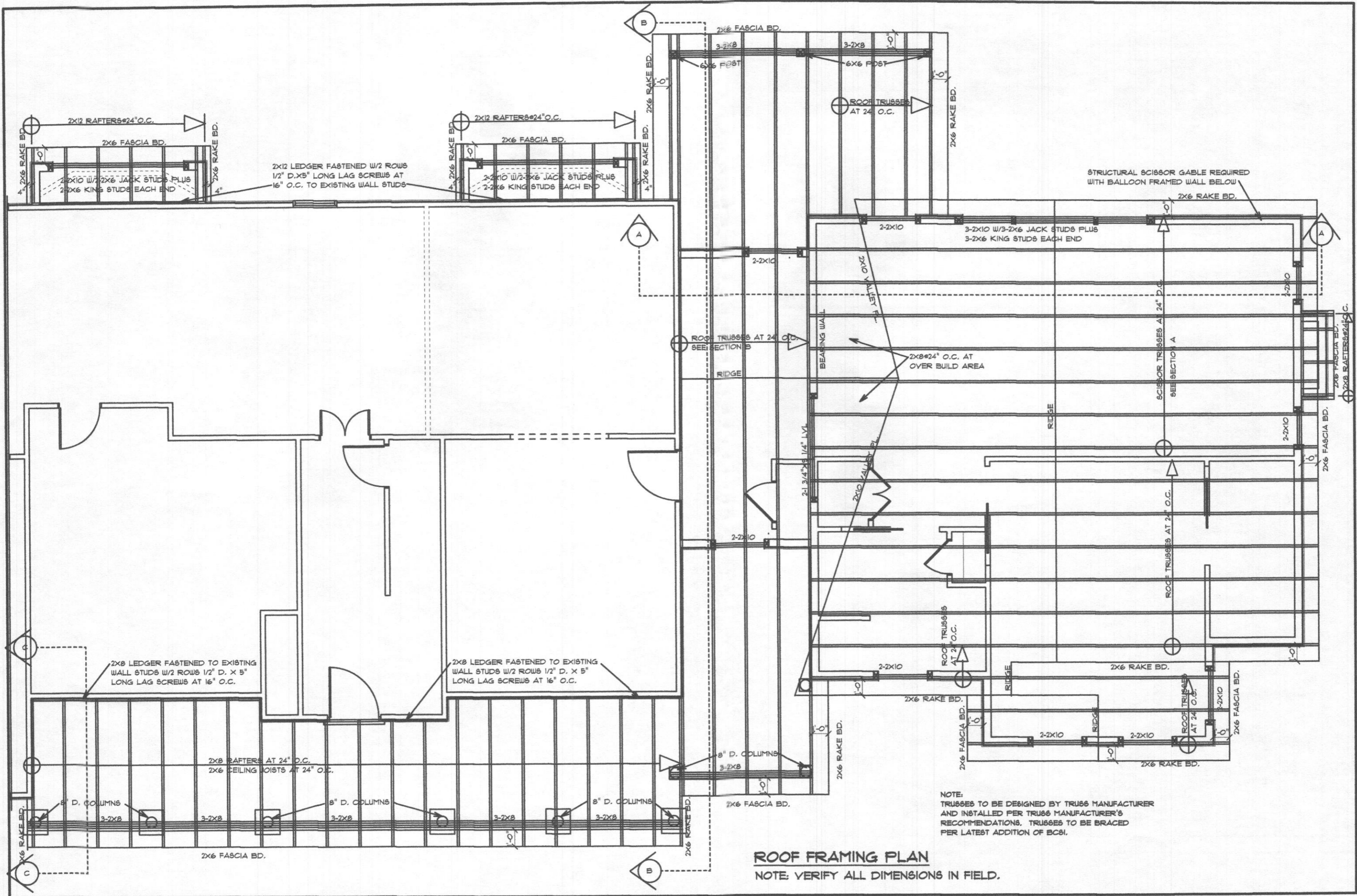
**FIRST FLOOR FRAMING PLAN**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

**MALNIK RESIDENCE ADDITION-HOWARD COUNTY, MD**  
**ANA SCHMIDT ARCHITECT, INC.**  
**ELLCOTT CITY, MARYLAND**

DATE:  
 02/15/2018  
 SCALE:  
 3/16"=1'-0"

**A3**



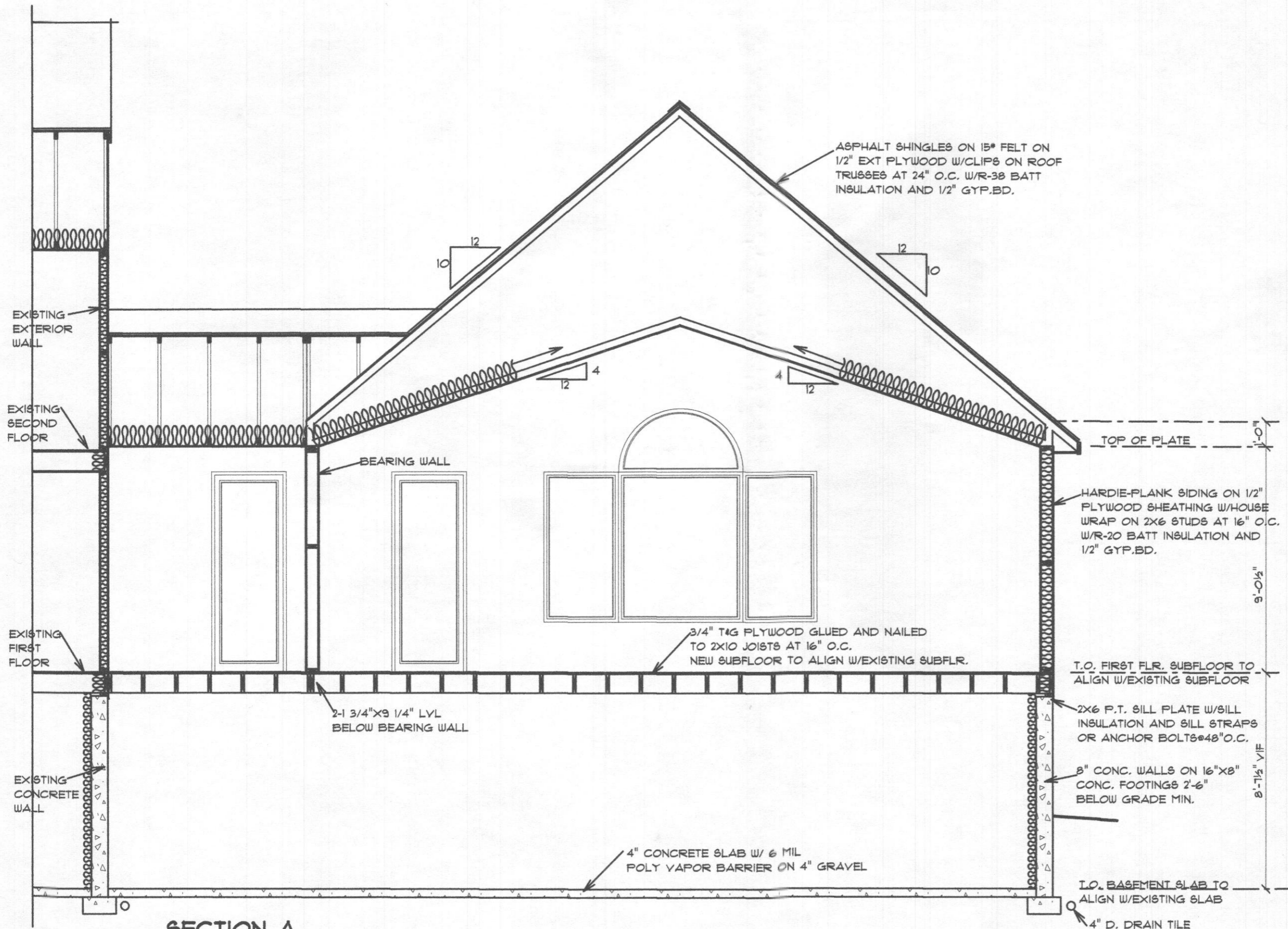
**ROOF FRAMING PLAN**  
 NOTE: VERIFY ALL DIMENSIONS IN FIELD.

NOTE:  
 TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER  
 AND INSTALLED PER TRUSS MANUFACTURER'S  
 RECOMMENDATIONS. TRUSSES TO BE BRACED  
 PER LATEST ADDITION OF BC81.

MALNIK RESIDENCE ADDITION-HOWARD COUNTY, MD  
 AIJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018  
 SCALE:  
 3/16"=1'-0"

**A4**



**SECTION A**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

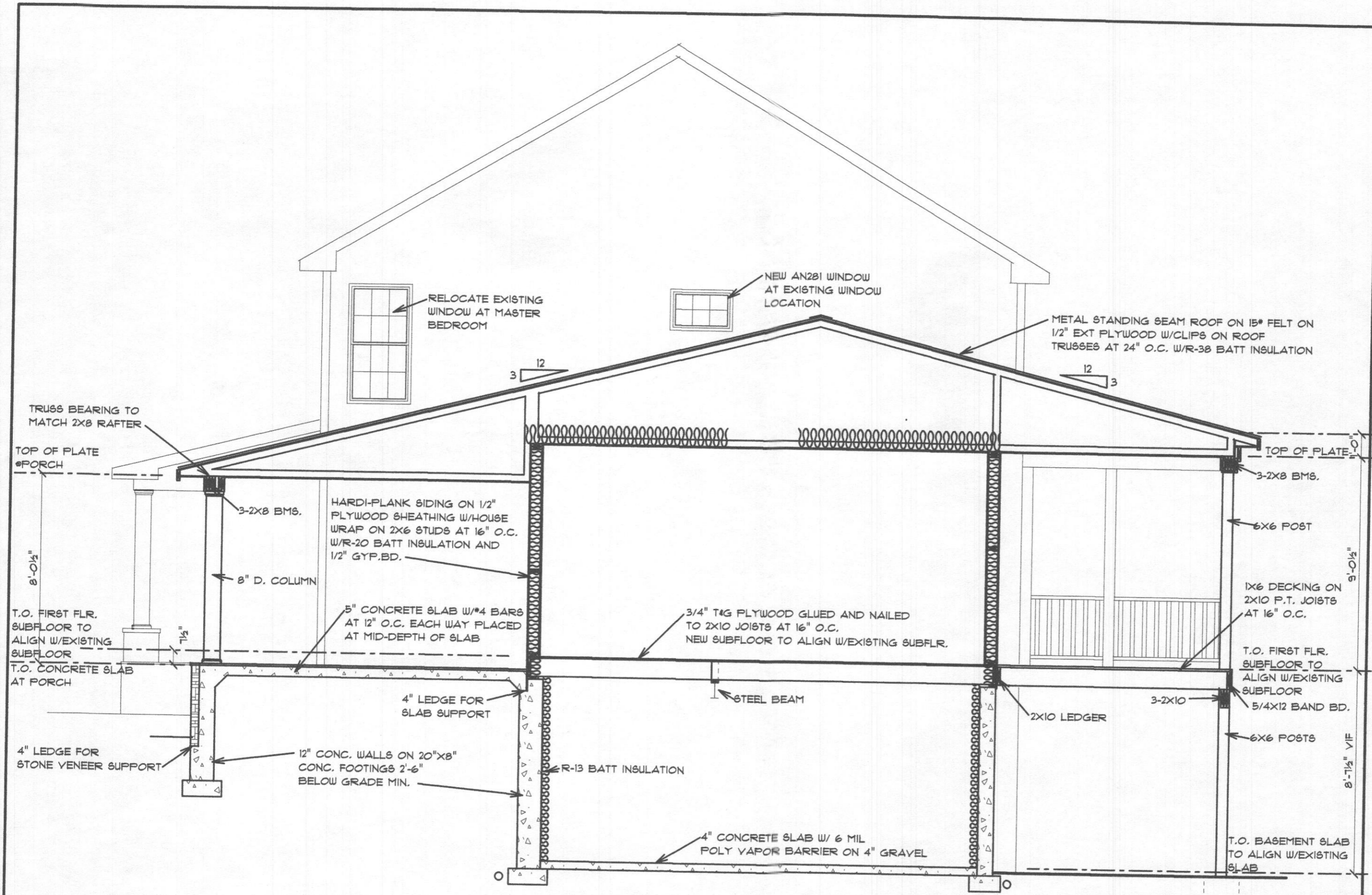
MALNIK RESIDENCE ADDITION - HOWARD COUNTY, MD

AJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018

SCALE:  
 1/4"=1'-0"

**A5**



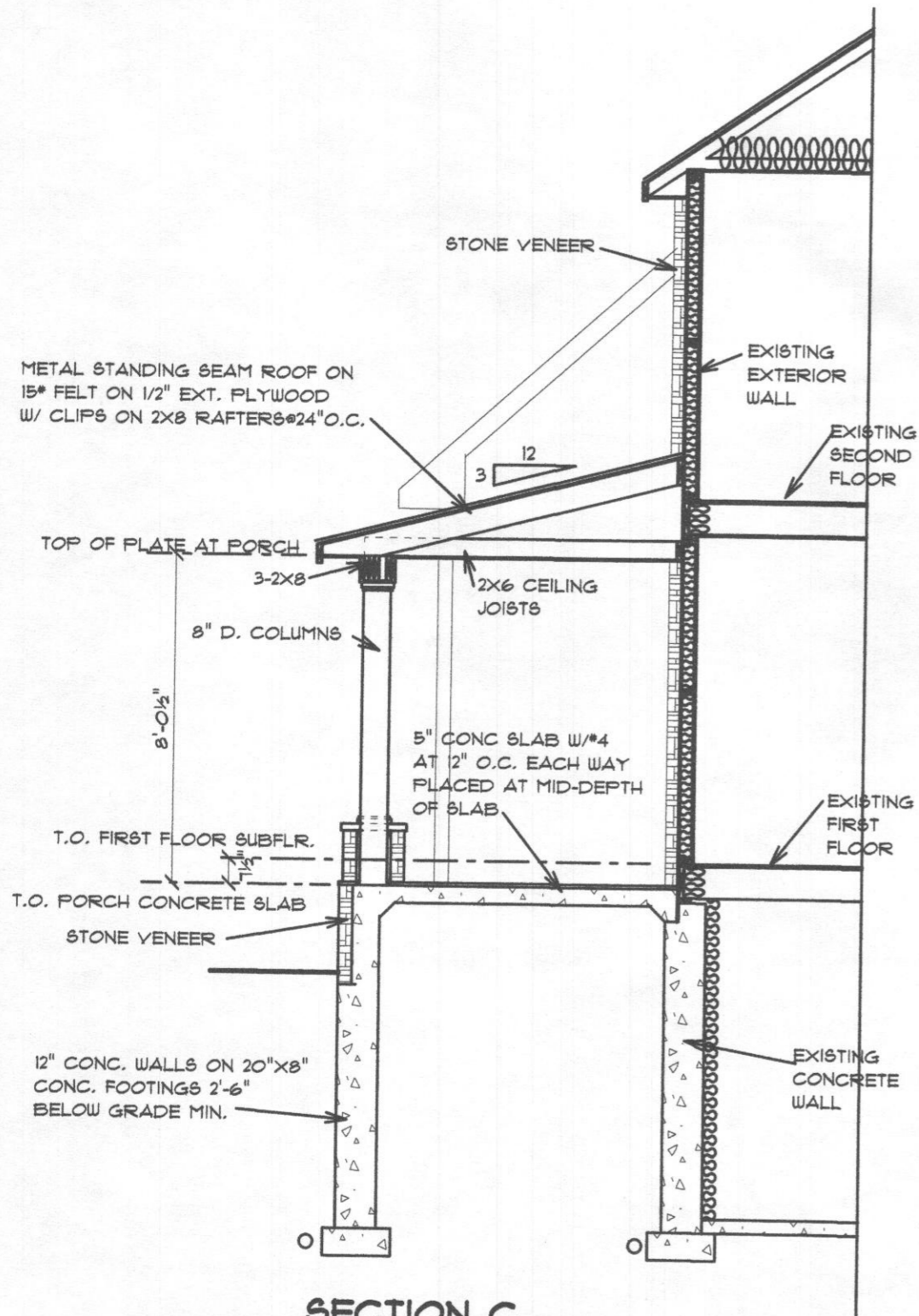
**SECTION B**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

MALNIK RESIDENCE ADDITION - HOWARD COUNTY, MD  
 AJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018  
 SCALE:  
 1/4" = 1'-0"

**A6**



**SECTION C**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

**STRUCTURAL NOTES**

**SOIL BEARING AND WATER CONDITION:**

ASSUMED 2,500 pcf WITH NO WATER CONDITION ANTICIPATED.

**LIVE LOADS:**

- ROOF - 30 pcf
- FLOOR - 40 pcf
- FLOOR AT BEDROOM LEVEL - 30 pcf

**BACKFILL:**

SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE AND FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS HAVE BEEN MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME. BACKFILL AGAINST BASEMENT WALLS SHALL NOT EXCEED AN EQUIVALENT FLUID PRESSURE OF 30 pcf.

**FOUNDATIONS:**

BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 2'-6" BELOW GRADE. FOOTING DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED. CONTRACTOR TO NOTIFY ARCHITECT OF ANY UNUSUAL SOIL CONDITIONS. FOUNDATION WALL FOOTINGS TO BE 8" THICK MIN. U.N.O. AND PROJECT 4" MINIMUM BEYOND FACE OF WALL UNLESS OTHERWISE SHOWN.

**CONCRETE:**

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST ACI CODE. 28 DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

- F'C=3000 pcf FOR FOOTINGS, INTERIOR SLABS ON GRADE AND BASEMENT WALLS
- F'C=3500 pcf FOR EXTERIOR SLABS ON GRADE AND GARAGE SLABS WITH 6% AIR ENTRAINMENT.

**ROOF TRUSSES:**

WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, TO BE SUBMITTED FOR APPROVAL. TRUSSES TO BE INSTALLED AND BRACED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. TRUSSES TO BE BRACED PER LATEST ADDITION OF BCSI.

**WOOD FRAMING:**

JOISTS SHALL HAVE A 4" MINIMUM BEARING ON MASONRY. WOOD JOISTS AND HEADERS SHALL NOT BE CUT OR DRILLED UNLESS AUTHORIZED BY THE STRUCTURAL CONSULTANT. ALL BEARING PARTITIONS SHALL BE HORIZONTALLY BRACED AT MID-HEIGHT OR SHEATHED ON ONE FACE WITH PLYWOOD. FLUSH JOIST TO BEAM CONNECTIONS TO BE ATTACHED WITH METAL FASTENERS; USE GALVANIZED FASTENERS AT EXTERIOR CONDITIONS.

UNLESS OTHERWISE NOTED, ALL STRUCTURAL MEMBERS SHALL BE:

- JOISTS AND RAFTERS: HEM FIR #2, 19% M.C.
- HEADERS, POSTS AND BEAMS: SO. PINE #2, 19% M.C.
- STUD WALLS: SPF #2, 19% M.C.

**LVL BEAMS:**

- E = 2,000,000 pcf
- Fb = 2,900 pcf
- Fv = 285 pcf

**STRUCTURAL STEEL:**

STEEL SHALL CONFORM TO ASTM A-36.

**BASEMENT WALLS:**

MAX. DEPTH OF UNBALANCE FILL FOR 8" CONCRETE WALLS IS 1'-0"; IF OVER 1'-0", MUST USE 10" THICK CONCRETE WALLS WITH 20"X8" CONCRETE FOOTINGS.

MALNIK RESIDENCE ADDITION - HOWARD COUNTY, MD

AJJA SCHMIDT ARCHITECT, INC.  
ELLICOTT CITY, MARYLAND

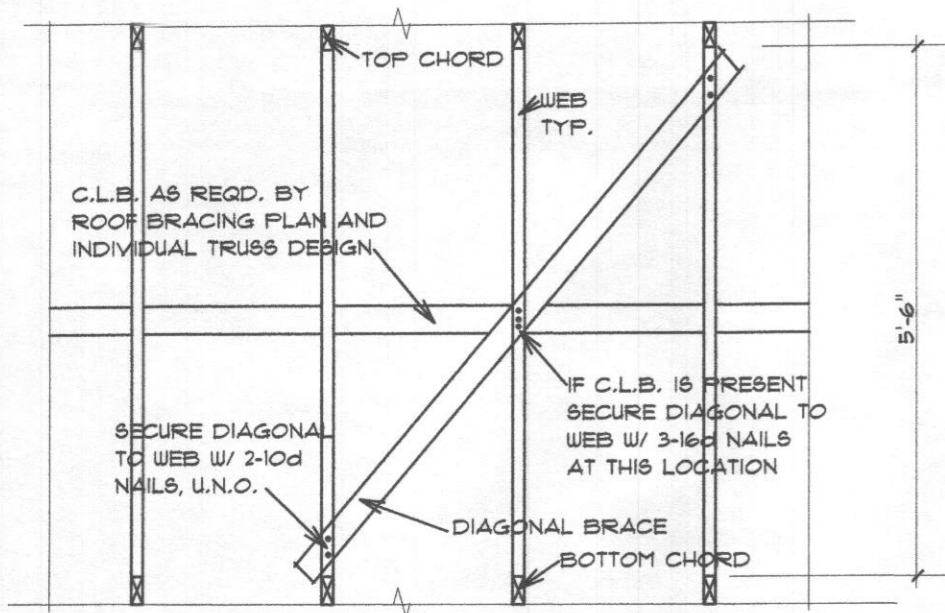
DATE:

02/15/2018

SCALE:

1/4"=1'-0"

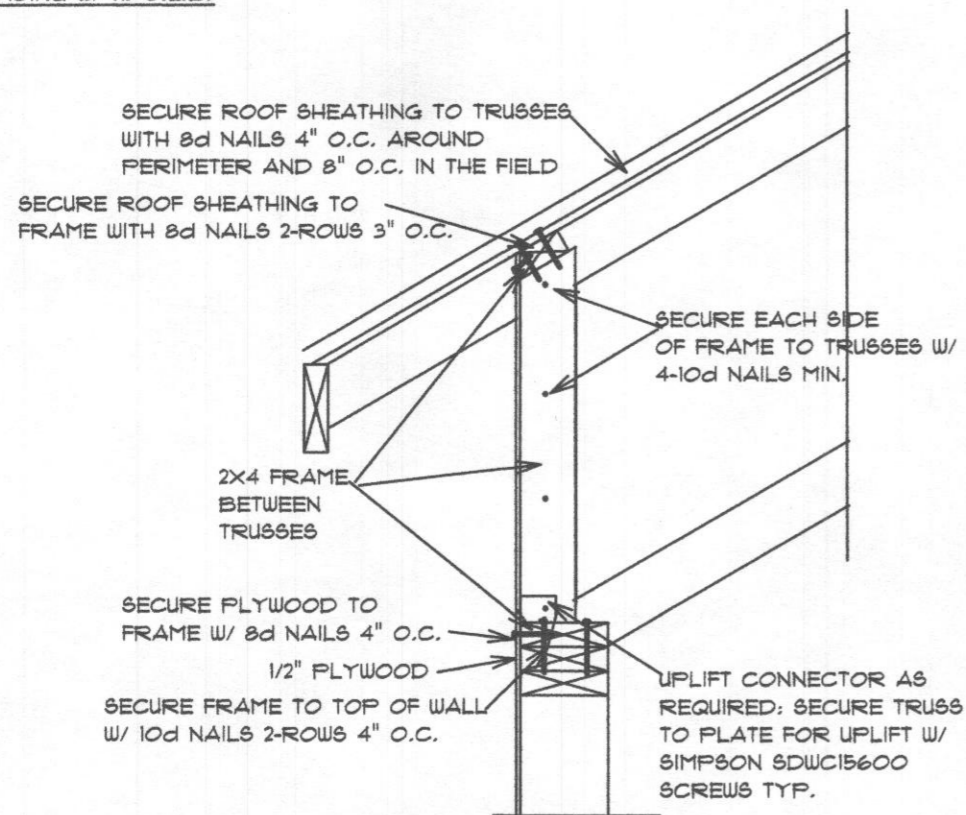
AT



**NOTES:**

1. DIAGONAL BRACES TO BE INSTALLED AT 20'-0" O.C. MAX, OR AS SHOWN ON THE TRUSS BRACING PLAN IF PROVIDED.
2. BRACE TO BE INSTALLED AT APPROX. A 45 DEGREE ANGLE.
3. FOR WEBS SHORTER THAN 5'-6" THAT REQUIRE (1) C.L.B., COVER 3 TRUSSES, FOR LONGER WEBS COVER (5) TRUSSES
4. SPLICE ALL C.L.B. DIRECTLY OVER A TRUSS AND COVER WITH A SPLICE BLOCK
5. ALL BRACING TO BE 2X4 #2 MIN.

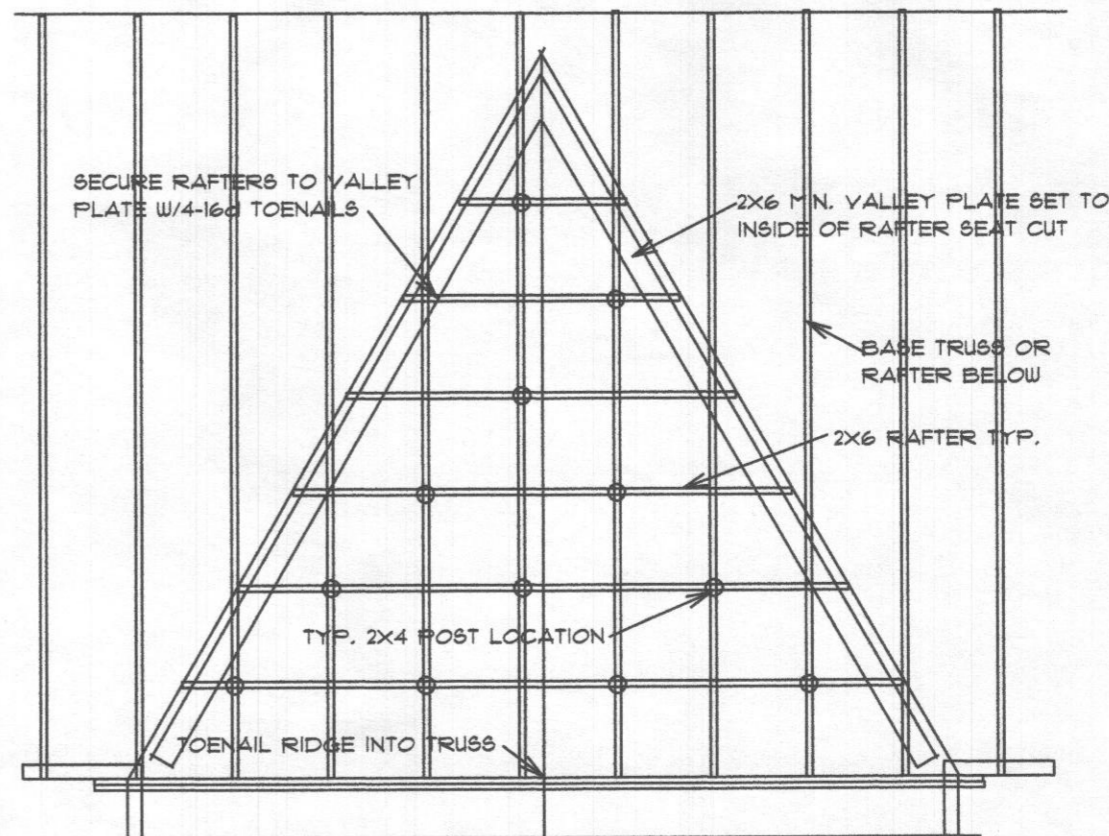
DETAIL AT 5'-6" WEB BRACING W/ (1) C.L.B.  
SCALE: 1/2"=1'-0"



**NOTES:**

1. BLOCKING PANELS REQUIRED ABOVE SHEAR WALLS.
2. CAPACITY OF BLOCKING IS APPROX. 100#/FT.
3. NAIL BLOCKING PANEL INTO EACH TRUSS FROM BOTH SIDES WITH 4-10d NAILS.
4. H2.5 CLIPS TO BE INSTALLED ON EXTERIOR OF WALL WITH SHEATHING PER MANUFACTURER.

DETAIL C - ROOF END CONNECTION  
SCALE: 1"=1'-0"



**NOTES:**

1. "O" DESIGNATES LOCATION OF 2X4 BRACES. THEY ARE TO BE PLACED 48" O.C. STAGGERED FROM ONE RAFTER TO THE OTHER.
2. VERT. BRACES OVER 6' LONG ARE REQUIRED TO BE 'T' BRACED.
3. SECURE RAFTERS TO RIDGE W/ 4-16d TOENAILS.
4. SECURE POSTS TO RAFTERS W/ 5-10d NAILS.
5. SECURE POSTS TO TRUSSES OR RAFTERS BELOW WITH SIMPSON VTC2 CONNECTORS PER MANUFACTURERS RECOMMENDATIONS.

**STICK FRAMED VALLEY FRAMING**

SCALE: 1/4"=1'-0"

MALNIK RESIDENCE ADDITION - HOWARD COUNTY, MD

AJJA SCHMIDT ARCHITECT, INC.  
ELLICOTT CITY, MARYLAND

DATE:

02/15/2018

SCALE:

1/4"=1'-0"

A7a



**FRONT ELEVATION**

NOTE: VERIFY ALL DIMENSIONS IN FIELD.

MALNIK RESIDENCE ADDITION-HOWARD COUNTY, MD  
 AIJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018  
 SCALE:  
 3/16"=1'-0"

**A8**



**RIGHT SIDE ELEVATION**  
 NOTE: VERIFY ALL DIMENSIONS IN FIELD.

**GENERAL NOTES**

1. ALL MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC AND LOCAL CODES; ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL CODES.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS.
5. ALL DIMENSIONS ARE TO FACE OF STUD. ALL DIMENSIONS ON SCHEDULES AND PLANS ARE NOMINAL; CONTACT GENERAL CONTRACTOR AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS IN FIELD CONCERNING DOORS, WINDOWS, PANELS, TRUSSES, STAIRS AND THEIR OPENINGS PRIOR TO THEIR FABRICATION AND CONSTRUCTION.
6. PROVIDE TEMPERED GLASS TO COMPLY WITH CODE REQUIREMENTS.
7. ALL WOOD LESS THAN 8" FROM GRADE TO BE PRESSURE TREATED.
8. DRYER VENTS, RANGE HOODS AND BATHROOMS TO BE VENTED TO THE OUTSIDE.
9. PROVIDE FLASHING AT ALL WINDOW AND DOOR HEADS; PROVIDE FLASHING AND/OR SEALANT AT ALL OPENINGS IN THE ROOF OR WALLS TO PROVIDE A WEATHERTIGHT BUILDING.

10. PROVIDE PLYWOOD BRACING AT ALL EXTERIOR CORNERS.
11. PROVIDE 3/8" PLYWOOD UNDERLAYMENT ON SUBFLOOR WITH CERAMIC TILE FLOOR FINISH.
12. PROVIDE CONTINUOUS FOOTING DRAIN TILE ALONG THE BUILDING BASEMENT PERIMETER. DRAIN TO POSITIVE OUTFALL.
13. PROVIDE 3/4" CONDENSATE DRAIN LINE FROM WATER HEATER AND HVAC AND INSTALL UNDER SLAB TO POSITIVE OUTFALL.
14. PROVIDE 1"x24" RIGID PERIMETER INSULATION UNDER SLAB WHEN SLAB IS WITHIN 24" FROM FINISHED GRADE.
15. PROVIDE 1/2" PREMOULDED JOINTS BETWEEN CONC. SLABS AND WALLS.
16. SLOPE ALL STOOPS/PORCHES/WALKS AND GARAGE SLABS 1/8"/FT. TO DRAIN.
17. PROVIDE A SPLASHBLOCK AT ALL DOWNSPOUTS TO DIRECT WATER AWAY FROM BUILDING.
18. PROVIDE OVERFLOW PAN AND DRAIN AT WASHER/WATERING UNIT OR ROOM LOCATED OVER FRAMED FLOORS.
19. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS. SLEEPING ROOM WINDOWS MAXIMUM SILL HEIGHT 44" ABOVE FINISHED FLOOR. EGRESS WINDOWS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ.FT. (5.0 SQ.FT. AT GRADE FLOOR WINDOWS) AND A MINIMUM CLEAR WIDTH OF 20" AND MIN. HEIGHT OF 24".
20. PROVIDE FOUNDATION AND ATTIC VENTING PER CODE.
21. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPERATED FROM ALL HABITABLE ROOMS WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT.

MALNIK RESIDENCE ADDITION-HOWARD COUNTY, MD

AJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018  
 SCALE:  
 3/16"=1'-0"

**A9**



**REAR ELEVATION**  
 NOTE: VERIFY ALL DIMENSIONS IN FIELD.

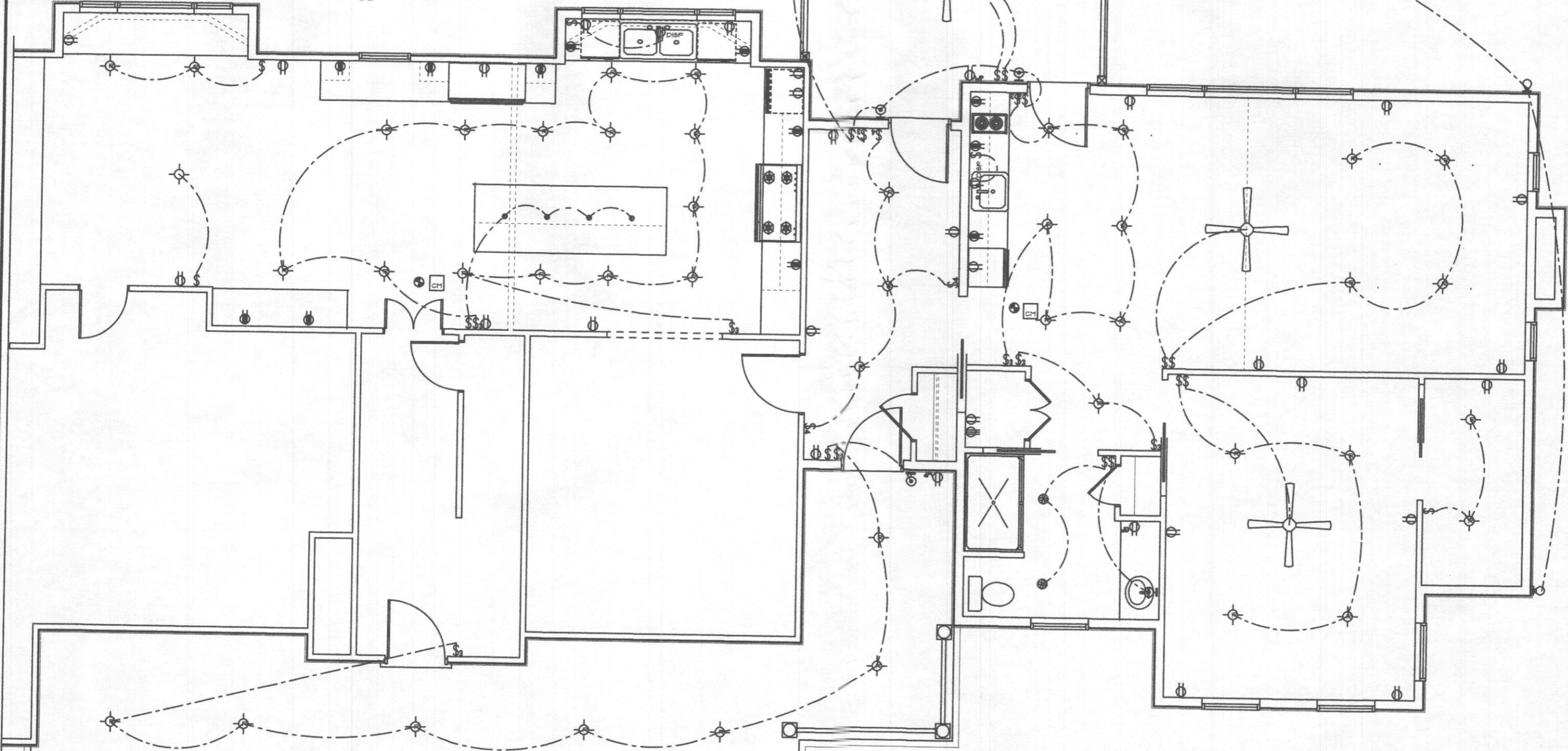
MALNIK RESIDENCE ADDITION HOWARD COUNTY, MD  
 AIJA SCHMIDT ARCHITECT, INC.  
 ELLICOTT CITY, MARYLAND

DATE:  
 02/15/2018  
 SCALE:  
 3/16"=1'-0"

**A10**

**ELECTRICAL SCHEDULE**

- |                       |                                       |                             |
|-----------------------|---------------------------------------|-----------------------------|
| ⊙ Wall mount light    | \$3 3-way switch                      | ⊙ Flood light               |
| ⊕ Ceiling fan         | \$4 4-way switch                      | TV Cable                    |
| ⊖ Recessed light      | ⊕ Duplex receptacle<br>Counter height | ⊙ Pendant light             |
| ⊙ Light               | ⊕ GFI Duplex GFI receptacle           | CM Carbon Monoxide Detector |
| \$ Single pole switch | ⊕ Range/washer outlet                 | ⊕ Smoke detector            |
|                       | ⊕ WP outlet                           |                             |



**FIRST FLOOR ELECTRICAL PLAN**  
NOTE: VERIFY ALL DIMENSIONS IN FIELD.

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AIJA SCHMIDT ARCHITECT, INC.  
ELLICOTT CITY, MARYLAND

DATE:  
02/15/2018  
SCALE:  
3/16"=1'-0"

**All**